

7504 McLean Rd W – 6th Submission Comment Summary

Consultant	Documents reviewed	Comment
GRIT Engineering	<ul style="list-style-type: none">• GRCA Permit• Parcel Register• Civil Drawings• Comment Response Matrix	Water service shown



Administration Centre: 400 Clyde Road, P.O. Box 729 Cambridge, ON N1R 5W6

Phone: 519-621-2761 Toll free: 1-866-900-4722 Fax: 519-621-4844 www.grandriver.ca

May 11, 2026

HBC Real Estate 1 Incorporated
7504 McLean Road
Puslinch, ON N0B 2J0

by email

Re: Application for Permission No. 132/26, Pursuant to Ontario Regulation 41/24.

The Grand River Conservation Authority approved your application on May 11, 2026. The permit and attached schedules are enclosed. The schedules form part of the permit and describe the work as approved by the Grand River Conservation Authority. Any changes to these plans must be reviewed and approved by Grand River Conservation Authority staff.

Please note that this permission is based on existing information, policies, and practices, and does not bind nor imply that any other permission will be forthcoming. Please review when the permit expires as per the attached permit and keep a copy of the permit on-site.

If you have questions regarding this letter or the conditions described on the permit, please contact Chris Foster-Pengelly, Supervisor of Planning and Regulations, at (519) 621-2763 Extension 2319.

Encl.

c.c. Clerk, Township of Puslinch
Building Inspector, Township of Puslinch
Thomas Demers, A&A Environmental Consultants Inc.



Permit No. 132/26

Grand River Conservation Authority

Under Ontario Regulation 41/24 made under the Conservation Authorities Act, R.S.O. 1990, c. C.27, permission is granted to:

HBC Real Estate 1 Incorporated

Whose address for purposes pertaining to this project is:

7504 McLean Road
Puslinch, ON N0B 2J0

To execute proposed works in accordance with the following particulars and conditions:

- Location of Work:** 7504 McLean Road
Township of Puslinch
- Purpose of Work:** To grade and construct a parking area.
- This permit is valid from:** May 11, 2026
- and expires on:** May 11, 2028

The attached Schedules form parts of this permit describing the approved work and must be implemented in order so that the true intent of the permit can be achieved.

The Permittee, by acceptance and in consideration of the issuance of this permit, agrees to the conditions listed on the reverse side of Schedule "A".

Dated at Cambridge, Ontario, this 11th day of May, 2026

GRAND RIVER CONSERVATION AUTHORITY

A handwritten signature in black ink, reading "Chris Foster-Pengelly", is enclosed in a red rectangular box. The signature is written in a cursive style.

Chris Foster-Pengelly,
Supervisor of Planning and Regulations



GRCA USE ONLY
APPLICATION NUMBER
132/26

Schedule "A" - Application for Permit Pursuant to Ontario Regulation 41/24

(Prohibited Activities, Exemptions and Permits Regulation)

Please read, complete each section as required, attach fee payment and sign and date this application. Payment must be addressed to the Grand River Conservation Authority. Applications can be mailed to:

Grand River Conservation Authority Administration Office
400 Clyde Road, P.O. Box 729, Cambridge, Ontario N1R 5W6
Telephone: 519-621-2761 Fax: (519) 621-4945

Owner's Contact Information:	
Name: HBC Real Estate 1 Inc (Bikram Dhillon)	E-mail: bikram.dhillon@bvdpetroleum.com
Mailing Address: 7504 McLean Road	City/Town: Puslinch
Postal Code: N0B 2J0	Business Telephone:
Residential Telephone: 4168484111	Fax:

Agent/Consultant/Contractor's Contact Information	
Name: A&A Environmental Consultants Inc. (Thomas Demers)	E-mail: tdemers@aaenvironmental.ca
Mailing Address: 16 Young Street	City/Town: Woodstock
Postal Code: N4S 2L4	Business Telephone: 519-266-4680
Residential Telephone:	Fax:

Location of Proposed Work:	
Municipal Address: 7504 McLean Rd, Guelph, ON N0B 2J0	
City/Town/Village: TOWNSHIP OF PUSLINCH	County/Region: WELLINGTON COUNTY
Lot and Concession:	Township:

Application Type (check which applies). Refer to Fee Schedule on Pages 3 and 4.

- Minor Development
- Minor Interference with Wetlands, Alteration to Shorelines & Watercourses
- Standard Development
- Standard Interference with Wetlands, Alteration to Shorelines & Watercourses
- Major Development
- Major Interference with Wetlands, Alteration to Shorelines & Watercourses

Description of Proposed Work:

Construct parking, Construct storm water management, New building
Redevelopment of a vacant site to a proposed transportation depot

Please Note: This application must include appropriate plan(s) showing the proposed work. Pre-consultation prior to submission is encouraged to confirm required information, plans, reports, and studies as applicable.

Current Land Use: Commercial
Proposed Change in Use (if any):

I declare that I have read and agree to the General Conditions of Permit on the reverse of this form and that all information provided is true.

Signature of Owner:	Date:
Signature of Agent:	Date:

GENERAL CONDITIONS OF PERMIT

1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - (a) to indemnify and save harmless, the Grand River Conservation Authority and its officers, employees, or agents, from and against all damage, injury, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the permittee or of any of his agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - (b) that this permit shall not release the permittee from any legal liability or obligation and remains in force subject to all limitations, requirements and liabilities imposed by law.
 - (c) that all complaints arising from the proposed works authorized under this permit shall be reported immediately by the permittee to the Grand River Conservation Authority. The permittee shall indicate any action which has been taken, or is planned to be taken, with regard to each complaint.
 - (d) to provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Grand River Conservation Authority will be granted entry at any time into lands which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
4. The Grand River Conservation Authority may add conditions of approval or cancel this permit in accordance with the *Conservation Authorities Act* and/or Ontario Regulation 41/24.
5. This permit shall not be reassigned (non-transferable).
6. Permits are valid for up to two years unless otherwise noted on the permit. The maximum period of validity of a permit, including extensions, is 60 months. No notice will be issued on expiration of the permit, and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.
7. Requests to consider a permit extension must be received 60 calendar days before the expiry date on the permit.
8. The Grand River Conservation Authority may make copies of Schedule A and materials submitted in conjunction with Schedule A, as required, for the purposes of assessing the proposal and, where approved, to form part of the permit issued.
9. The Grand River Conservation Authority may request that GIS data files be submitted as part of Schedule A, to be used for business purposes pursuant to Regulation 41/24.

NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act R.S.O 1990, C.M.56 the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1990, c.27, as amended. This information is used to assess applications for and, where approved, issue the Permit. Information on this form may be disclosed to Government and Municipal Agencies for review and comment. The name of the applicant, location of the work and a description of the project may be published in GRCA documents including agendas, reports and meeting minutes which are posted on the GRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Coordinator, Administration Division, Grand River Conservation Authority, 400 Clyde Road, P.O. Box 729, Cambridge, Ontario, N1R 5W6, (519) 621-2761.

GRCA Permit, Plan Review, Title Clearance, and Inquiry Fee Schedule 2023-2026

Please refer to the **Fee Notes** outlined below for more details.

Permit Fee Schedule	
Note: Applicants are encouraged to apply online on the GRCA Permits Application Page .	
Minor - Low risk of impact on natural hazards or natural feature. No technical reports required	
• Fee for Development Applications	\$465
• Fee for Alterations or Interference with Wetlands, Shorelines and Watercourses Applications	\$465
Standard - Moderate risk and/or potential impact on natural hazards or natural features. Detailed report and/or plans, site visit required	
• Fee for Development Applications	\$675
• Fee for Alterations or Interference with Wetlands, Shorelines and Watercourses Applications	\$1,185
Major - Requires one or more reports (Environmental Impact Study, Hydraulic Analysis, Stormwater Management, Geotechnical, etc.)	
• Fee for Development Applications	\$10,230
• Fee for Alterations or Interference with Wetlands, Shorelines and Watercourses Applications	Culvert/Bridge replacement \$6,710 All other applications \$10,230
Large Fill - over 1,000m ³	\$10,230 plus \$0.50/m ³
Works initiated prior to GRCA approval	2 times the fee for the category
Rural Water Quality Programs or GRCA projects	\$90
Permit Extension	\$90
Plans amended to an approved permit	\$90

Inquiry Schedule	
Title Clearance, Real Estate, and other Inquiry Fee (per request)	\$255/property

Plan Review Fee Schedule	
Subdivision and Vacant Land Condominium	
• Base fee	\$2,505
• Per net hectare	\$1,305/hectare
• Applicant driven modification	\$1,670
• Final clearance for registration of each stage: technical review required	\$6,708
• Final clearance Processing Fee: no reports or review required	\$255
• Fourth (4 th) and subsequent submission for review (same report)	\$575

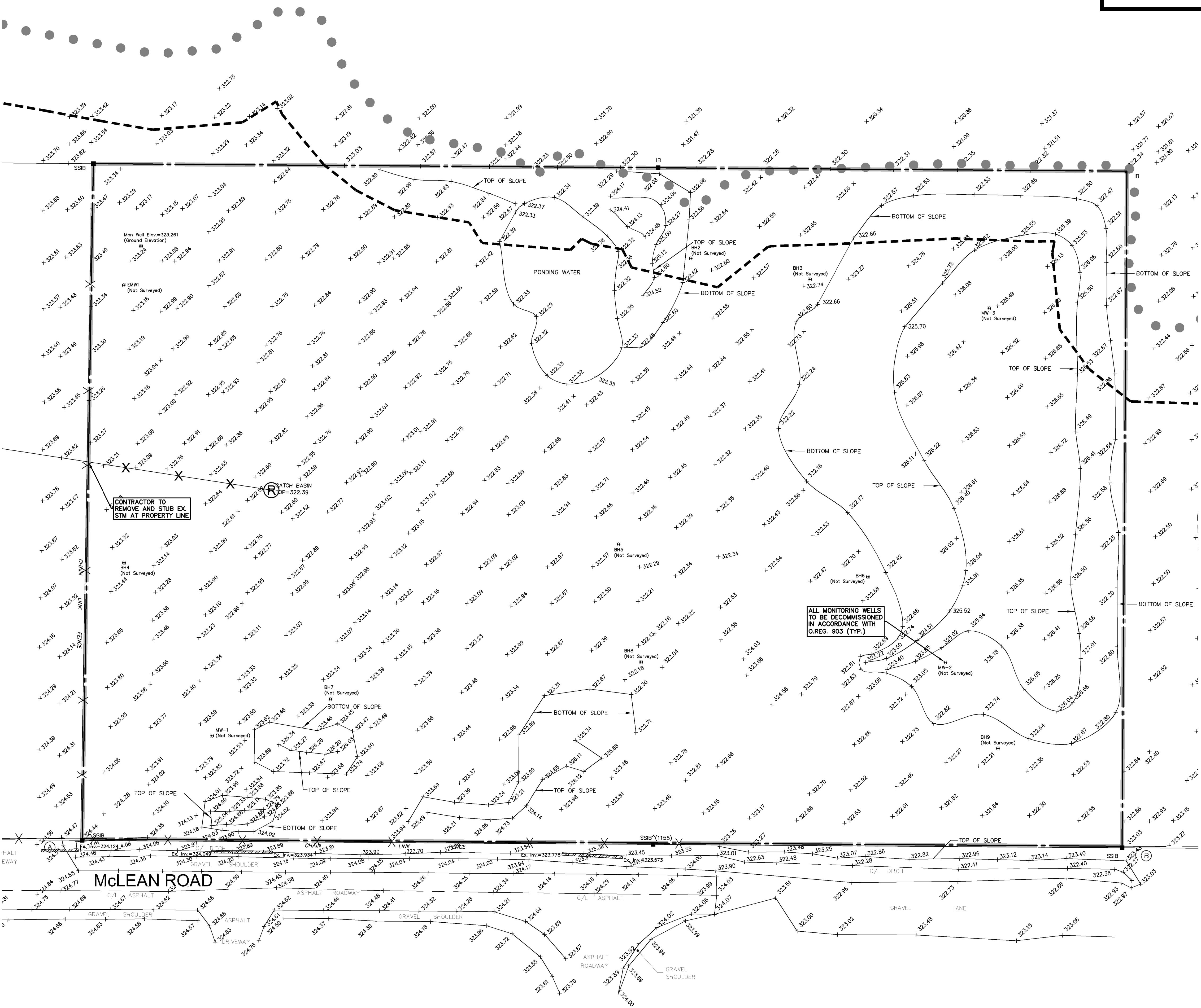
Plan Review Fee Schedule	
Official Plan and/or Zoning Bylaw Amendment	
• Major	\$2,500
• Minor	\$465
Consent	
• Major	\$1,185
• Minor	\$465
Minor Variances	
• Major	\$675
• Minor	\$300
Site Plan Approval Applications	
• Major	\$3,515
• Minor	\$465
Complex Applications	\$10,230
Below Water Table Aggregate Applications	
• No features of interest within 30 metres of licence limit	\$10,230
• Features of interest within 30 metres of licence limit	\$42,850
Above Water Table Aggregate Applications	
• No features of interest within 30 metres of licence limit	\$465
• Features of interest within 30 metres of licence limit	\$10,230

2026 Fee Notes

1. All fees are made payable and submitted directly to Grand River Conservation Authority.
2. Applicants are encouraged to consult with staff prior to submission of all applications to determine the extent and nature of the information required to accompany the application, and to determine the appropriate fee.
3. Applicants are encouraged to submit Permit applications through **the GRCA's online Permit Application System** after pre-submission consultation where appropriate.
4. Permit applications that fall into one or more categories will be charged one fee, at the highest rate.
5. Plan review applications that fall into one or more categories will be charged one fee, at the highest rate.
6. The Conservation Authority may provide a refund or require the applicant submit additional funds for a permit or plan review fee if it is found that an incorrect fee has been submitted.
7. Minor Categories – Low risk of impact on natural hazards. Plans required. No technical reports or site visits required.
8. Standard Permit Category – Moderate hazard risk and/or potential impact on natural hazards. Detailed plans required. Scoped technical reports and/or site visits required.
9. Major Permit Category– High hazard risk and/or potential impact to natural hazards. Detailed plans required. One or more technical report required (Environmental Impact Study, Hydraulic Analysis, Storm Water Management, Geotechnical, etc.). Development permit applications for: golf courses, trailer parks, campgrounds, lifestyle communities will be considered as a major permit.
10. Major Plan Review Category– High or Moderate hazard risk and/or potential impact on natural hazards. Detailed plans required. One or more technical reports (may be scoped) are required, and a site visit may be required.
11. Complex Plan Review Category - Planning Act (e.g. OPA/ZC) and/or Site plan applications for: golf courses, trailer parks, campgrounds, lifestyle communities.
12. Large Fill - The fee is applicable to material placed within the Conservation Authority's regulated areas. Grading associated with Planning Act approvals is not considered a large fill application.
13. Major permit applications that have previously paid application or clearance plan review fees to the GRCA will be charged fees under the Minor or Standard category.
14. Permit fees are non-refundable, except where review indicates that no permit is necessary.
15. Permit Extension – Permits are valid for up to 24 months unless otherwise specified on the permit. An application for an extension is \$90 and must be requested at least 60 calendar days before the expiry of the permit. Extensions will not be granted after the expiry date and will require a new application, full review, and the Schedule of Fees in effect at the time of submission will apply. The maximum period of validity of a permit, including extensions, is 60 months.
16. The subdivision or vacant land condominium base fee including per net hectare fee will be capped at \$30,000.
17. The net hectare fee will be based on the initial submission and will exclude lands outside of the development limit (e.g. natural hazard, natural heritage areas and buffers). Stormwater management facilities and other open space or park uses are to be included in the net hectare fee calculation.
18. At the submission of a subdivision or vacant land condominium application, 70% of the base fee and per net hectare is required. Prior to issuance of conditions of draft plan approval, the remaining 30% of the fee is required.
19. A Processing Fee will apply for a clearance letter for a subdivision or condominium application where no technical review/reports (e.g. no Erosion and Sediment Control plan, SWM brief, etc.) are required.
20. For Aggregate Applications, features of interest include all natural hazards including wetlands and watercourses.
21. Responses to Title Clearances, Real Estate and other Inquiries includes: Correspondence and mapping related to natural hazards and areas regulated under Ontario Regulation 41/24
22. Permit applications will be closed if information/studies/plans required by the GRCA have not been received from the applicant/agent within 1 year of the date requested. No refunds will be issued

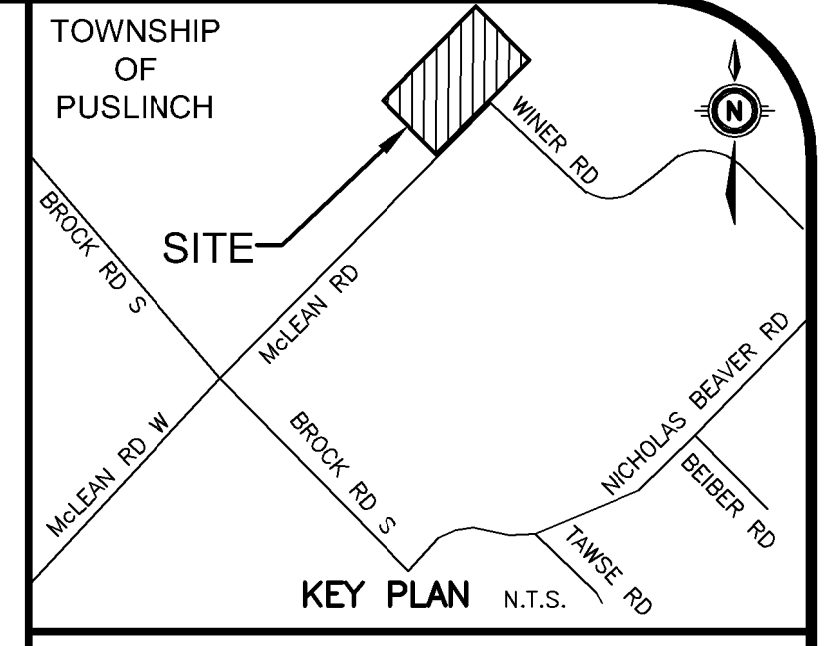
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MTE FILE PATH:
March 4, 2026 - 1:27:50 PM - Plotted By: Adam Slawich

SCHEDULE B



LEGEND OF EXISTING FEATURES

	SITE BOUNDARY (APPROXIMATE ONLY)
	GRCA REGULATION LIMIT
	EXISTING FLOODLINE LIMIT (ELEVATION=322.30)
	EXISTING SPOT ELEVATIONS
	EXISTING FENCE
	EXISTING STORM CULVERT
	EXISTING DITCH
	EXISTING MONITORING WELL



GEODETIK BM ELEV. = m
REFER TO PLAN BY BSR&D LTD. DATED SEPTEMBER 9, 2020.

SITE BENCHMARK ELEV. = m
REFER TO PLAN BY BSR&D LTD. DATED SEPTEMBER 9, 2020.

NOTE TO CONTRACTOR :
DO NOT SCALE DRAWINGS.
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE ENGINEER'S WRITTEN PERMISSION.
THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT M.T.E. CONSULTANTS INC. CANNOT CERTIFY ANY COMPONENT OF THE SITE WORKS NOT INSPECTED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY M.T.E. CONSULTANTS INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ARRANGE FOR INSPECTION.

- NOTE:**
1. PROPERTY LINE IS APPROXIMATE ONLY AND SHOULD NOT BE USED FOR DETERMINING SETBACKS OR LAYOUT.
 2. EXISTING TOPOGRAPHICAL INFORMATION PROVIDED BY BSR&D, DATED SEPTEMBER 9, 2020.
 3. THIS PLAN IS PART OF A SET OF PLANS WHICH COMPRISE OF THE FOLLOWING: C1.1, C2.1, C2.2, C2.3 AND THE SWM REPORT.

8.		
7.		
6.		
5.		
4.	Revised grading	AJS 2026-03-04
3.	Revised per Township comments	AJS 2025-10-22
2.	Revised per Township comments	AJS 2025-08-20
1.	ISSUED FOR APPROVAL	AJS 2025-01-22
No.	REVISION	BY YYYY-MM-DD

MTE
Engineers, Scientists, Surveyors
519-743-6500

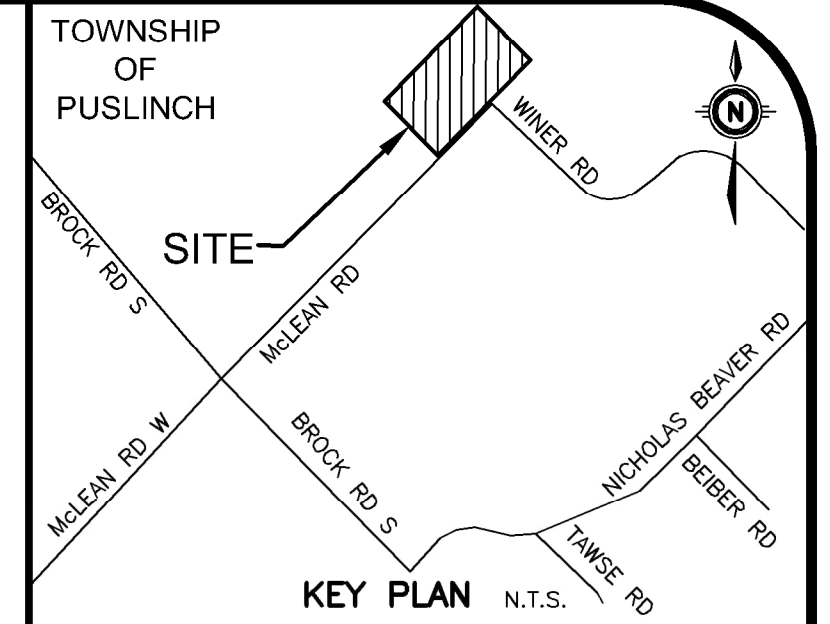
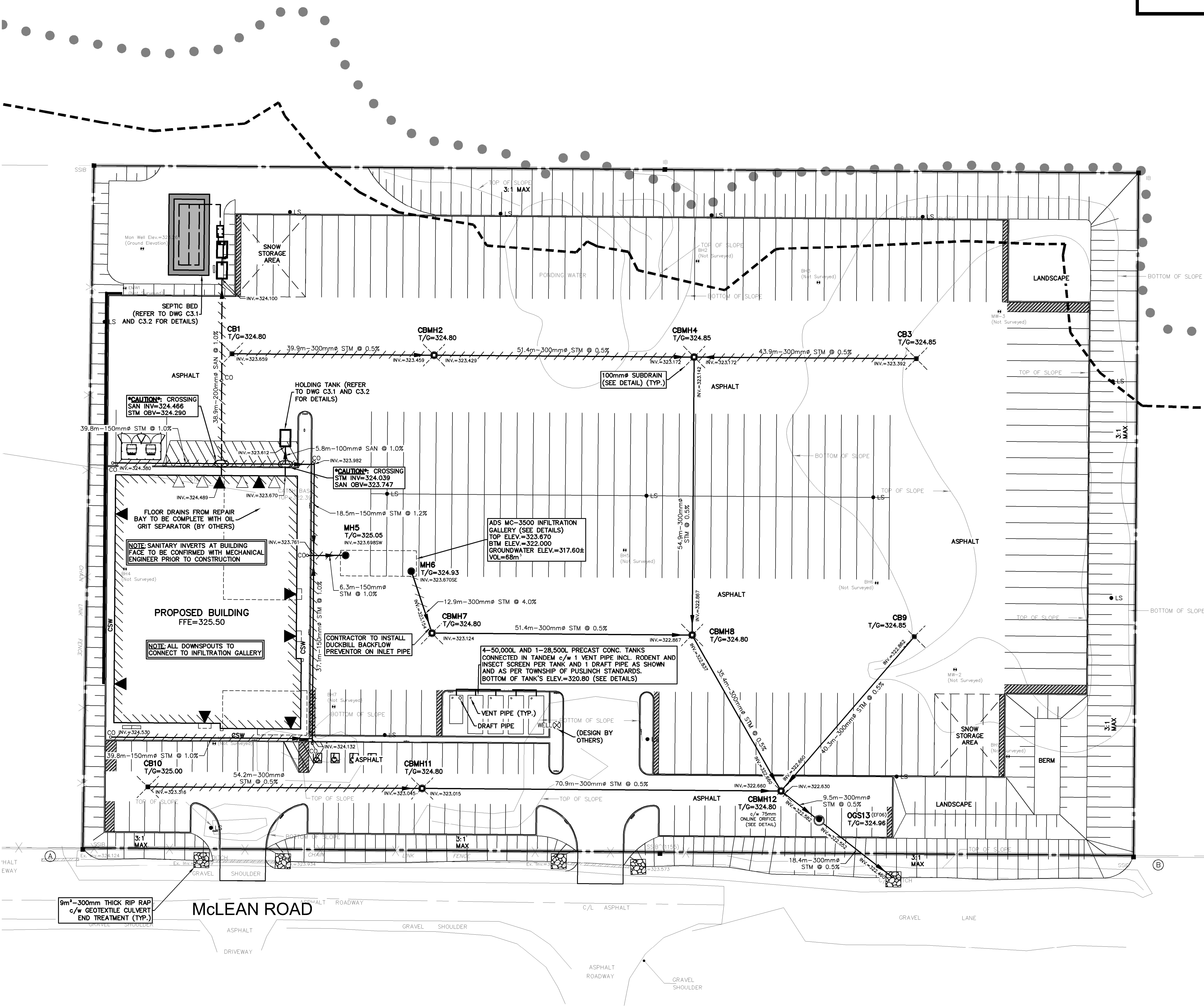
OWNER
BVD REAL ESTATE INC.
130 DELTA PARK BOULEVARD BRAMPTON

PROJECT
7504 McLEAN ROAD
PUSLINCH

DRAWING
ORIGINAL CONDITIONS PLAN

Project Manager A. SLAWICH	Project No. 55237-100
Design By AJS	Checked By
Drawn By JRS	Checked By AJS
Surveyed By MTE	Drawing No.
Date May.14/24	C1.1
Scale 1:400	Sheet 1 of 4

SCHEDULE B



GEODETIC BM ELEV. = m
REFER TO PLAN BY BSR&D, DATED SEPTEMBER 9, 2020.

SITE BENCHMARK ELEV. = m
REFER TO PLAN BY BSR&D, DATED SEPTEMBER 9, 2020.

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No.	REVISION	BY YYYY-MM-DD



519-743-6500

OWNER
BVD REAL ESTATE INC.
130 DELTA PARK BOULEVARD BRAMPTON
PROJECT
7504 McLEAN ROAD
PUSLINCH

LEGEND OF EXISTING FEATURES

- SITE BOUNDARY (APPROXIMATE ONLY)
- - - - - GRCA REGULATION LIMIT
- EXISTING FLOODLINE LIMIT (ELEVATION=322.30)
- EXISTING FENCE

LEGEND OF PROPOSED FEATURES

- ▭ PROPOSED BUILDING
- △ OVERHEAD DOOR
- ▲ MAN DOOR
- ▬ (DRGP CURB) CONCRETE CURB
- MH ● 10m-300mm STM @ 0.5% STORM SEWER
- MH ● 14.6m-200mm SAN @ 1.5% SANITARY SEWER
- /// SHALLOW PIPE INSULATION (SEE DETAIL)
- ▬ (TOP) 3:1 (BOTTOM) EMBANKMENT (SLOPE AS NOTED)
- ▭ RIP RAP (SIZE & TYPE AS NOTED)
- CO CLEAN OUT (STORM)
- PERFORATED BIG "O" SUBDRAIN (SEE DETAIL)

DRAWING
SITE SERVICING PLAN

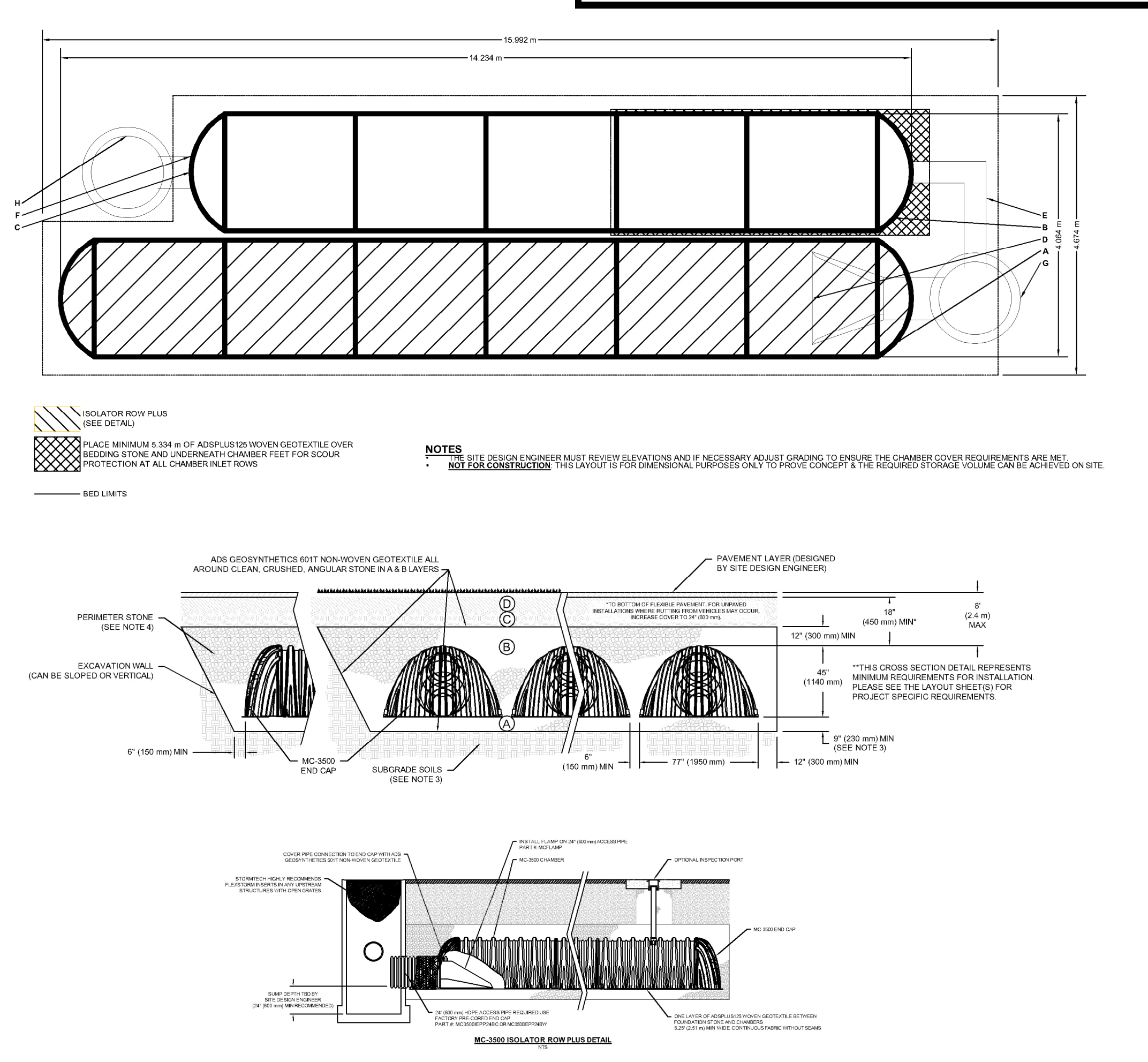
Project Manager	A. SLAWICH	Project No.	55237-100
Design By	AJS	Checked By	
Drawn By	JRS	Checked By	AJS
Surveyed By	MTE	Drawing No.	C2.2
Date	Oct.11/24	Scale	1:400
Sheet	3 of 4		

CONSTRUCTION NOTES AND SPECIFICATIONS

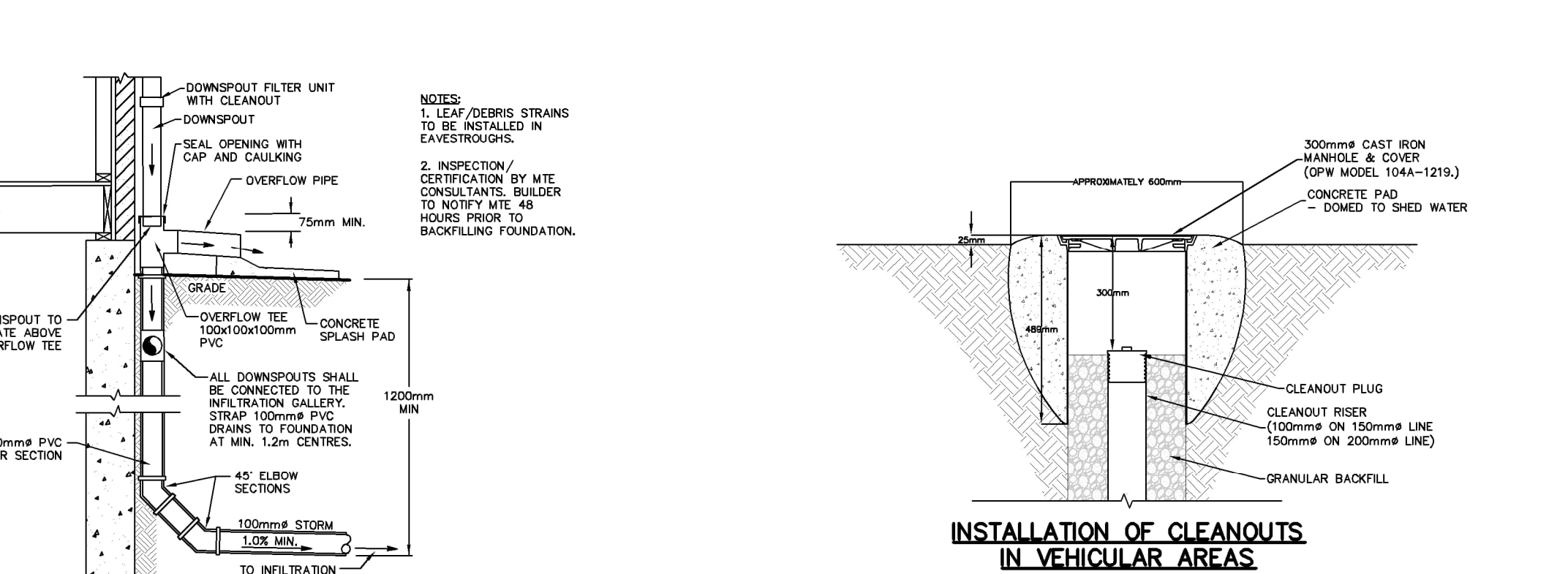
- GENERAL**
- THESE PLANS ARE NOT FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY ENGINEER AND APPROVED BY THE LOCAL MUNICIPALITY.
- THESE PLANS ARE TO BE USED FOR SERVING AND GRADING ONLY; ANY OTHER INFORMATION SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. THESE PLANS MUST NOT BE USED TO SITE THE PROPOSED BUILDING.
- NO CHANGES ARE TO BE MADE WITHOUT THE APPROVAL OF THE DESIGN ENGINEER.
- THESE PLANS ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF MTE CONSULTANTS INC.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST:**
 - CHECK AND VERIFY ALL EXISTING CONDITIONS, LOCATIONS AND ELEVATIONS WHICH INCLUDES BUT IS NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS AND EXISTING INVERTS. REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO PROCEEDING.
 - OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
 - VERIFY THAT THE FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS (WHICH MAY APPEAR ON THIS PLAN) COMPLY WITH THE FINAL ARCHITECTURAL DRAWINGS.
 - CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.
- THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR ANY DAMAGE TO EXISTING WORKS. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL DAMAGED AND/OR DISTURBED PROPERTY WITHIN THE MUNICIPAL RIGHT-OF-WAY TO LOCAL MUNICIPALITY STANDARDS.
- ALL WORKS ON A MUNICIPAL RIGHT-OF-WAY WITH THE EXCEPTION OF WATERMAIN TAPPING, TO BE INSTALLED BY THE OWNER'S CONTRACTOR AT OWNER'S EXPENSE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY'S "PROCEDURE FOR OFF-SITE WORKS BY PRIVATE CONTRACTOR". THE OWNER AND CONTRACTOR ARE TO ENSURE OFF-SITE WORKS PERMITS IN PLACE PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL AFFECTED PROPERTY TO ORIGINAL CONDITION. ALL BOULEVARD AREAS SHALL BE RESTORED TO 150mm TOPSOIL AND SOD.
- ALL UNDERGROUND SERVICES ARE TO BE CONSTRUCTED IN FULL COMPLIANCE WITH THE ONTARIO PROVINCIAL BUILDING CODE (PART 7, PLUMBING), THE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS (OPSS) AND THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND THE REGIONAL MUNICIPALITY OF WATERLOO, WHICH CODES AND REGULATIONS SHALL SUPERSEDE ALL OTHERS.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING ENGINEER 48 HRS PRIOR TO COMMENCING WORK TO ARRANGE FOR INSPECTION ENGINEER TO DETERMINE DEGREE OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF UNDERGROUND SERVICE INSTALLATION AS MANDATED BY ONTARIO BUILDING CODE, PART 7, SECTION 1.2.2. GENERAL REVIEW FAILURE TO NOTIFY ENGINEER WILL RESULT IN EXTENSIVE POST CONSTRUCTION INSPECTION AT CONTRACTOR'S EXPENSE.**
- SANITARY AND STORM SEWERS AND SERVICES TO HAVE A MINIMUM 1.4m COVER TO TOP OF PIPE, WHERE COVER TO TOP OF PIPE IS DEFICIENT, CONTRACTOR SHALL INSTALL SHALLOW BURIED PIPE IN ACCORDANCE WITH LOCAL MUNICIPALITY AND REGIONAL MUNICIPALITY INDICATED IN DRAWING DETAILS. CONTACT DESIGN ENGINEER FOR "SEWER PIPE INSULATION DETAIL" IF REQUIRED.
- PLAN TO BE READ IN CONJUNCTION WITH SWM REPORT AND DRAWING C1.1, C2.1, C2.2 AND C2.3 PREPARED BY MTE CONSULTANTS INC. AND LANDSCAPE PLAN.
- SITE PLAN INFORMATION TAKEN FROM PLAN PREPARED BY KALP ARCHITECT INC. DATED OCTOBER 10, 2024.
- LEGAL INFORMATION TAKEN FROM PLAN PREPARED BY BSR&D, DATED SEPTEMBER 9, 2020.
- EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM PLAN PREPARED BY BSR&D LTD, DATED SEPTEMBER 9, 2020.
- CONTRACTOR TO OBTAIN WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNER PRIOR TO ENTERING UPON NEIGHBOURING LANDS TO UNDERTAKE ANY WORK. COPIES OF THESE LETTERS OF CONSENT SHALL BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR APPROVAL PRIOR TO ANY WORK BEING PERFORMED. FAILURE TO COMPLY WITH THE ABOVE IS AT CONTRACTOR'S OWN RISK.
- RETAINING WALLS TO BE DESIGNED BY OTHERS, FOR WALLS EXCEEDING 1.0m IN HEIGHT, SHOP DRAWINGS MUST BE SUBMITTED FOR REVIEW AND APPROVAL AND BUILDING PERMIT MUST BE OBTAINED. WALLS OVER 0.6m IN HEIGHT REQUIRE HIGH SIDE OF RETAINING WALLS TO BE BACKFILLED WITH FREE DRAINING MATERIAL.
- ALL RETAINING WALLS 1.0m IN HEIGHT AND OVER MUST BE APPROVED BY THE CBO. ALL RETAINING WALLS LESS THAN 1.0m IN HEIGHT MUST BE APPROVED BY PLANNING.
- SITE SERVING CONTRACTOR TO TERMINATE ALL SERVICES 1 METRE FROM FOUNDATION WALL.
- FILTER FABRIC TO BE TERRAFIX 200R OR APPROVED EQUAL.
- MAXIMUM GRASSED SLOPE TO BE 3:1. SLOPES GREATER THAN 3:1 TO BE LANDSCAPED WITH LOW MAINTENANCE GROUND COVER.
- SIDE SLOPES OF ALL STOCKPILES OR EXTRACTION FACES TO BE MAINTAINED AT 70 DEGREES OR LESS BETWEEN EARLY APRIL AND LATE AUGUST TO DETER BARK SWALLOWS FROM NESTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD INCLUDING THE SUPPLY, INSTALLATION AND MAINTENANCE OF ALL NECESSARY SIGNALS, DELINEATORS, MARKERS, AND BARRIERS. ALL SIGNS, ETC. SHALL CONFORM TO THE STANDARDS OF THE LOCAL MUNICIPALITY AND THE MTO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND, WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. PRIOR TO STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
- CONTRACTOR TO MAINTAIN A "CONFINED TRENCH CONDITION" IN ALL SEWER AND SERVICE TRENCHES.
- FOLLOWING COMPLETION OF PROPOSED WORKS AND PRIOR TO OCCUPANCY INSPECTION, ALL STORM AND SANITARY SEWERS ARE TO BE FLUSHED, AND ALL CATCHBASIN AND CATCHBASIN MANHOLE SUMPS ARE TO BE CLEANED OF DEBRIS AND SILT.

- 140kPa (20psi), AND A MAXIMUM WATER ABSORPTION RATE OF 2.0% BY VOLUME. ACCEPTABLE PRODUCTS ARE DOW STYROFOAM-SM OR -HI (FULL LINE), OWENS CORNING FOAMULAR (200, 250, OR HIGHER), PLASTISPAN HD-M28 OR OTHER ENGINEER-APPROVED EQUIVALENT.
- UNDER NO CIRCUMSTANCES SHALL THE BUILDING FOUNDATION DRAINS BE CONNECTED DIRECTLY TO THE STORM SEWER SYSTEM.
- ALL WEeping TILE DRAINAGE TO BE PUMPED TO THE STORM SEWER SYSTEM.
- WATERMANS**
- PIPE BEDDING FOR RIGID PIPE TO BE CLASS "B" AS PER OPSD 802.030. PIPE BEDDING FOR FLEXIBLE PIPE TO BE AS PER OPSD 802.020. BEDDING MATERIAL AND COVER MATERIAL TO BE GRANULAR "A" TRENCH BACKFILL TO BE NATIVE MATERIAL REPLACED IN 300mm LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- WATERMANS 100mm AND LARGER SHALL BE PVC C900 CLASS 150 INSTALLED WITH MINIMUM 2.0 METRES OF COVER. FITTINGS 100mm AND LARGER SHALL BE PVC CLASS 150 (OR 16) CSA 913.7.5.
- WATERMAIN FITTINGS TO BE SUPPLIED WITH MECHANICAL JOINT RESTRAINTS. FOR WATERMAIN PIPE SIZES 150mm OR LESS ALL PIPE JOINTS TO BE RESTRAINED WITHIN 5.0m FROM ALL FITTINGS, IN EACH DIRECTION, UNLESS SHOWN OTHERWISE ON THE CONTRACT DRAWINGS. FOR WATERMAIN PIPE SIZES GREATER THAN 150mm ALL PIPE JOINTS TO BE RESTRAINED WITHIN 10.0m FROM ALL FITTINGS, IN EACH DIRECTION, UNLESS SHOWN OTHERWISE ON THE CONTRACT DRAWINGS. ALL TEES TO HAVE MINIMUM 2.0m SOLID PIPE LENGTH ON EACH RUN OF THE TEE, OR PROVIDE A THRU-ROCK BLOCK PER OPSD 1103.010.
- ALL METALLIC FITTINGS (EXCLUDING CURB/MAIN STOP AND BRASS FITTINGS) AND APPURTENANCES INCLUDING SADDLES, VALVES, TEES, BENDS, ETC ARE TO BE WRAPPED WITH AN APPROVED PETROLIUM SYSTEM CONSISTING OF PASTE, MASTIC AND TAPE. PARTICULAR ATTENTION SHALL BE PAID TO ANODE INSTALLATION. CONTRACTOR TO REFER TO THE MOST RECENT EDITION OF THE LOCAL MUNICIPALITY AND AREA MUNICIPALITIES DESIGN GUIDELINES AND SUPPLEMENTAL SPECIFICATIONS FOR MUNICIPAL SERVICES.
- WATERMAIN VALVES 100mm AND LARGER SHALL BE AS PER ANWA C509 - MUELLER A2360-23 OR APPROVED EQUIVALENT (OPEN LEFT) INCLUDING VALVE BOX AND 2.3kg ANODE INCLUDING ANODE PROTECTION INSTALLED PER LOCAL MUNICIPALITY STANDARDS.
- WATER CONNECTIONS MAY BE PLACED IN THE SAME TRENCH WITH A STORM OR SANITARY CONNECTION ONLY IF A MINIMUM VERTICAL SEPARATION OF 500mm IS MAINTAINED BETWEEN THE WATER SERVICE AND ANY OTHER PIPE, IN ACCORDANCE WITH SECTION 7.3.5.7.(2)(a)(i) OF THE ONTARIO BUILDING CODE.
- ALL WATERMANS AND SERVICES TO HAVE MINIMUM 2.0m COVER ON TOP OF PIPE, WHERE COVER TO TOP OF PIPE IS DEFICIENT, CONTRACTOR SHALL CONTACT DESIGN ENGINEER FOR "WATER PIPE INSULATION DETAIL".
- ALL WATERMAIN TO BE PRESSURE TESTED IN ACCORDANCE WITH OPSD 441. DISINFECT ALL WATERMAIN IN ACCORDANCE WITH RWMA C 651-09 INCLUDING CHLORINATION, BACKFLOW PREVENTOR AND 24 HOUR DUPLICATE SAMPLING. ALL DISINFECTION AND CHLORINATION TO BE COMPLETED UNDER THE SUPERVISION OF THE ENGINEER. (CONTRACTOR TO SUBMIT WATER COMMISSIONING PLAN IN ACCORDANCE WITH DCSSMS. THIS PLAN MUST BE APPROVED BY THE LOCAL MUNICIPALITY PRIOR TO ANY WATERMAIN WORK).
- PRIOR TO OCCUPANCY, CONTRACTOR MUST COMMISSION FIRE FLOW TEST FOR PRIVATE ON-SITE HYDRANT. PROVIDE RESULT TO DESIGN ENGINEER.
- EROSION AND SEDIMENT CONTROL**
- CONTRACTOR TO INSTALL EROSION CONTROL MEASURES AS SHOWN PRIOR TO CONSTRUCTION AND MAINTAIN IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETED. ALL DISTURBED EROSION FENCINGS HAVE BEEN REESTABLISHED EITHER BY PAVING OR RESTORATION OF VEGETATIVE COVER.
- ALL SEDIMENT CONTROL FENCING TO BE INSTALLED PRIOR TO ANY AREA GRADING, EXCAVATING OR DEMOLITION COMMENCING.
- EROSION CONTROL FENCING TO BE INSTALLED AROUND BASE OF ALL STOCKPILES. ALL STOCKPILES TO BE KEPT 2.5m MINIMUM FROM PROPERTY LINE.
- EROSION PROTECTION TO BE PROVIDED AROUND ALL STORM AND SANITARY MHS AND CBS.
- CONSTRUCTION ACCESS (MUD MAT) TO BE PROVIDED ON-SITE AT ALL LOCATIONS WHERE CONSTRUCTION VEHICLES EXIT THE SITE. CONSTRUCTION ACCESS (MUD MAT) SHALL BE A MINIMUM OF 3.0m WIDE, 15.0m LONG (LENGTH MAY VARY DEPENDING ON SITE LAYOUT) AND 0.3m DEEP AND SHALL CONSIST OF 200mm CLEAR STONE MATERIAL OR APPROVED EQUIVALENT. PROPOSED EROSION FENCINGS TO BE INTO MUD MAT. CONTRACTOR TO ENSURE ALL VEHICLES LEAVE THE SITE VIA THE MUD MAT AND THAT THE MAT IS MAINTAINED IN A MANNER TO MAXIMIZE EFFECTIVENESS AT ALL TIMES.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. CONTRACTOR TO PROVIDE ALL ADDITIONAL EROSION CONTROL STRUCTURES.
- EROSION CONTROL STRUCTURES TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN REESTABLISHED.
- NO ALTERNATE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THE ENGINEER AND THE LOCAL MUNICIPALITY'S DEPARTMENT OF PUBLIC WORKS.
- CONTRACTOR TO CLEAN ROADWAY AND SIDEWALKS OF SEDIMENTS RESULTING FROM CONSTRUCTION TRAFFIC FROM THE SITE EACH DAY.
- CONTRACTOR MUST REMOVE EROSION AND SEDIMENTATION FENCING PRIOR TO COMPLETION OF PROJECT. CONTRACTOR TO HAVE EROSION AND SEDIMENTATION FENCE INSPECTED WHEN VEGETATION HAS ESTABLISHED, BUT PRIOR TO FENCE BECOMING OVERGROWN. ENGINEER'S REPRESENTATIVE TO DETERMINE IF VEGETATION HAS REACHED THE CRITICAL POINT AND WILL THEN INSTRUCT CONTRACTOR TO REMOVE FENCE.
- MAINTENANCE RECOMMENDATIONS**
- DURING THE COURSE OF CONSTRUCTION CONTRACTOR TO REMOVE SEDIMENT AND CONTAMINANTS FROM STORMWATER MANAGEMENT FACILITIES MONTHLY. FOLLOWING CONSTRUCTION CONTRACT COMPLETION, OWNER TO HIRE QUALIFIED CONTRACTOR TO REMOVE SEDIMENT AND CONTAMINANTS ANNUALLY AND REINSTATE STORMWATER MANAGEMENT FACILITIES ACCORDING TO THE DESIGN OUTLINED ON THIS PLAN, AS REQUIRED.
- EROSION CONTROL STRUCTURES TO BE MONITORED REGULARLY AND ANY DAMAGE REPAIRED IMMEDIATELY. SEDIMENTS TO BE REMOVED WHEN ACCUMULATIONS REACH A MAXIMUM OF 1/3 THE HEIGHT OF THE FENCE.
- OWNER'S REPRESENTATIVE TO MONITOR EROSION CONTROL STRUCTURES TO ENSURE FENCING IS INSTALLED AND MAINTENANCE IS PERFORMED TO CITY REQUIREMENTS.
- THE PROPOSED STORMCEPTOR(S) WILL REQUIRE REGULAR ANNUAL MAINTENANCE. OWNER TO ENTER INTO A MAINTENANCE AGREEMENT WITH A SUITABLE CONTRACTOR TO COMPLETE THIS WORK.

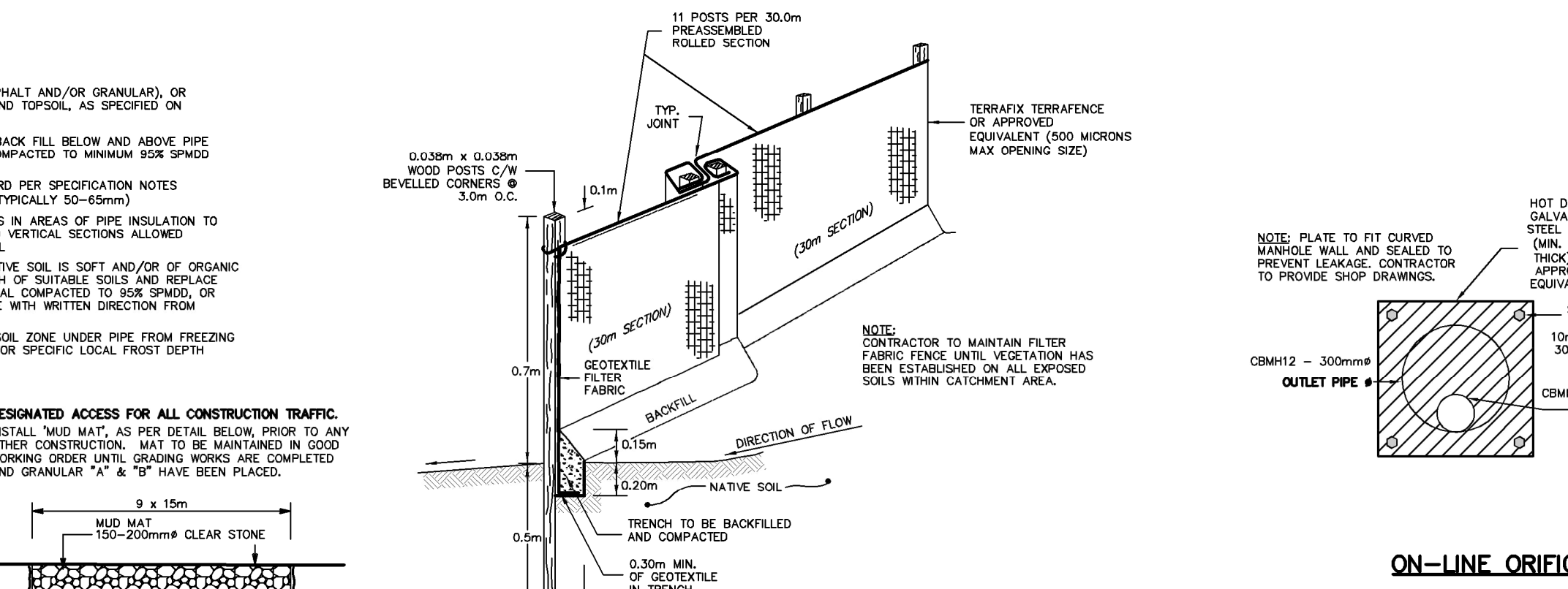
SCHEDULE B



ADS MC-3500 INFILTRATION GALLERY DETAILS
N.T.S.



DOWNSPOUT RISER DETAIL-BY BUILDER
N.T.S.



SEDIMENT CONTROL FILTER FABRIC FENCE
N.T.S.

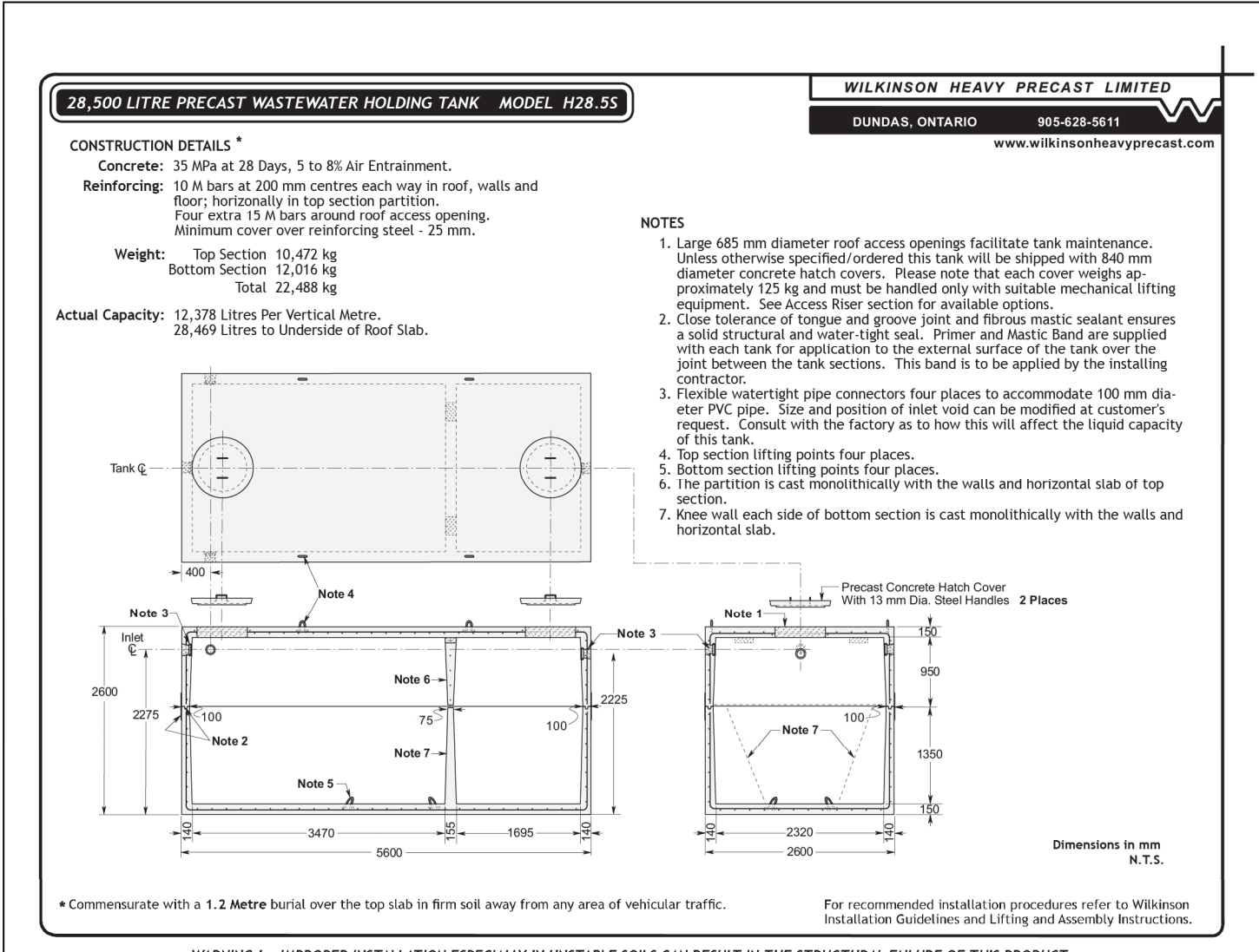


CONSTRUCTION ACCESS DETAIL
N.T.S.

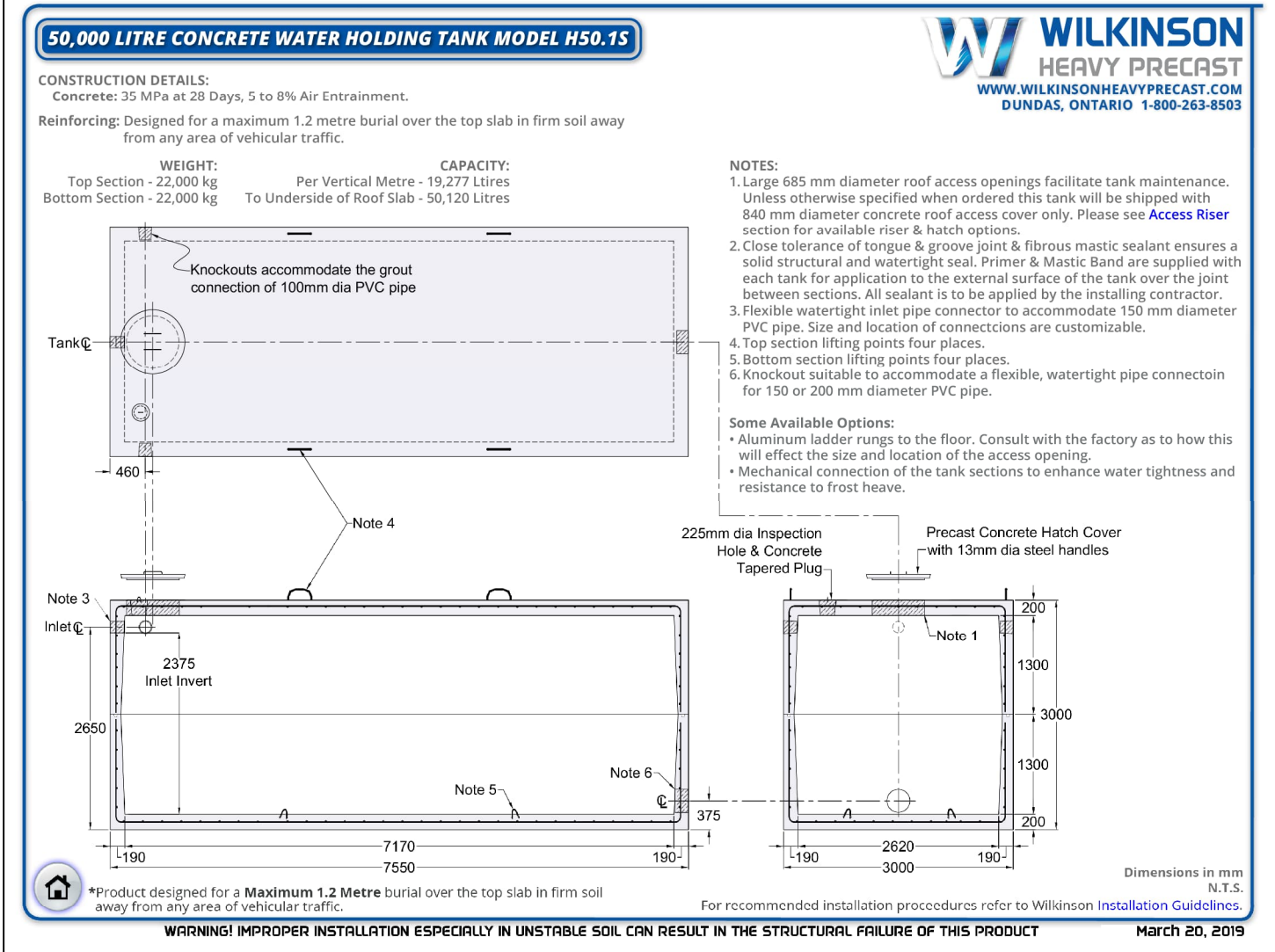
PAVEMENT STRUCTURE

MATERIAL	RECOMMENDED THICKNESS
ASPHALTIC HL3	40mm
CONCRETE HL6	40mm
GRANULAR 'A' BASE	150mm
GRANULAR 'B' SUBBASE	250mm
	350mm

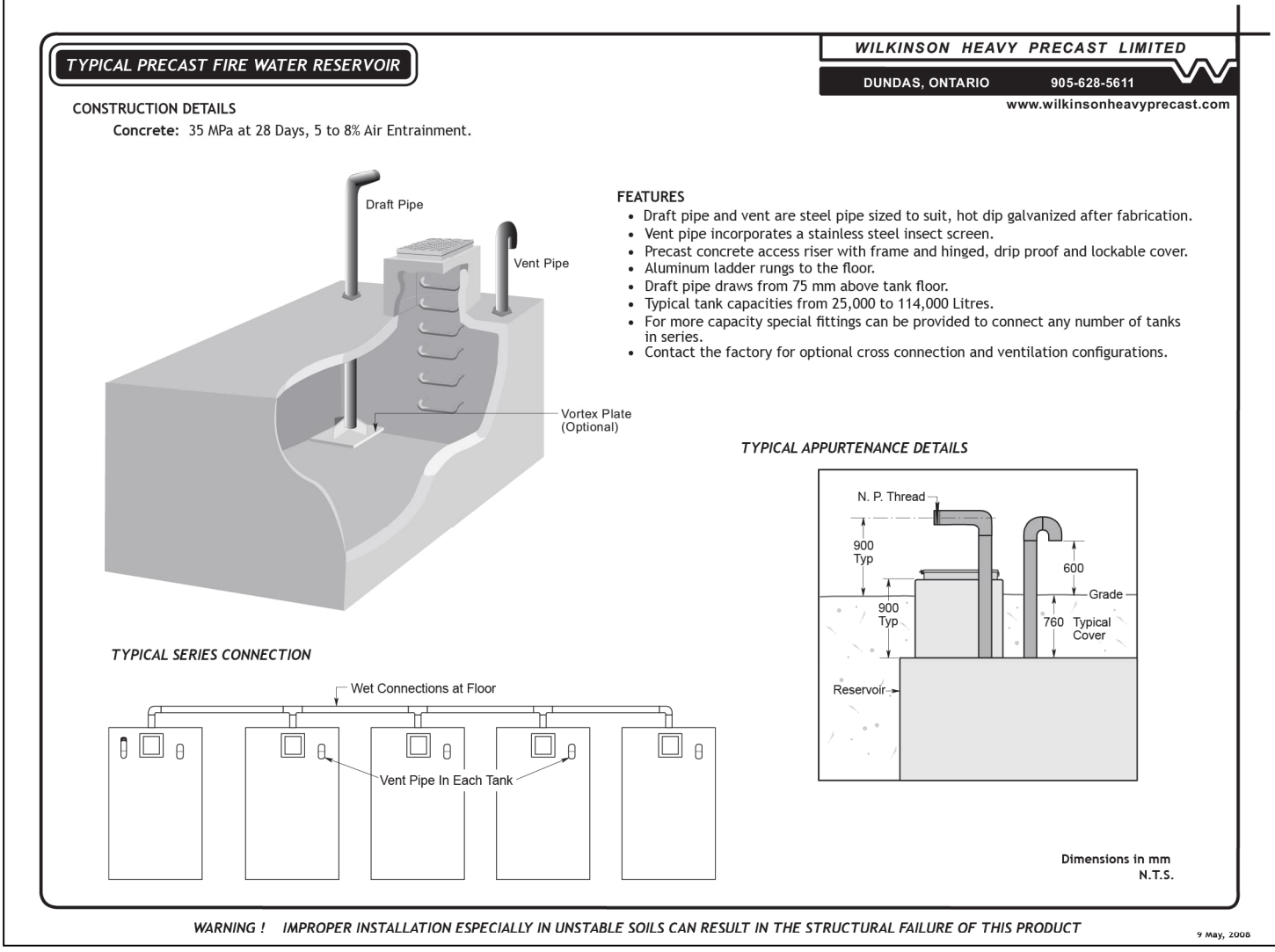
NOTE: ON GEOTECHNICAL SECTION NOT PREPARED BY AEA ENVIRONMENTAL CONSULTANTS INC. - JULY 2024



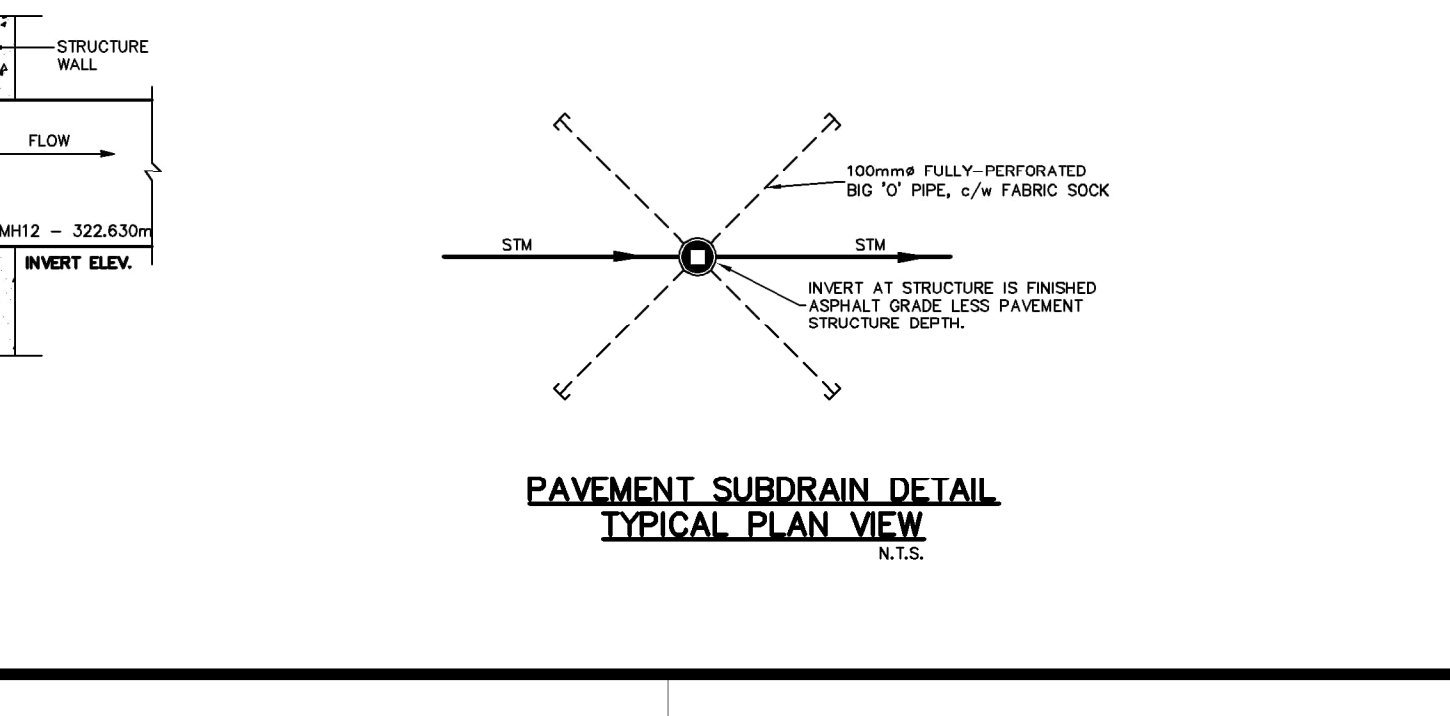
20,500 LITRE PRECAST WASTEWATER HOLDING TANK MODEL H28.55
N.T.S.



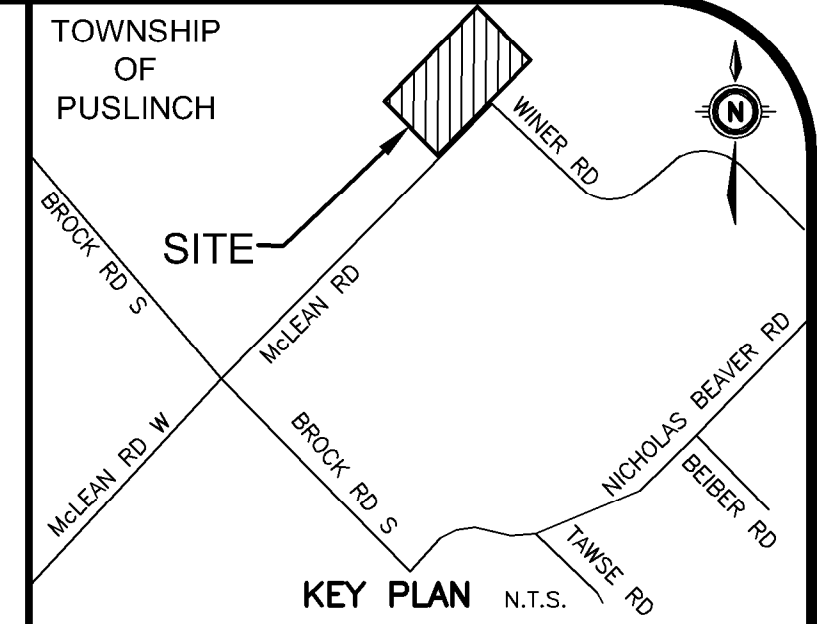
50,000 LITRE CONCRETE WATER HOLDING TANK MODEL H50.15
N.T.S.



TYPICAL PRECAST FIRE WATER RESERVOIR
N.T.S.



FIRE RESERVOIR DETAILS
N.T.S.



KEY PLAN N.T.S.

GEODETTIC BM ELEV. = m
REFER TO PLAN BY BSR&D LTD, DATED SEPTEMBER 9, 2020.

SITE BENCHMARK ELEV. = m
REFER TO PLAN BY BSR&D LTD, DATED SEPTEMBER 9, 2020.

NOTE TO CONTRACTOR :
DO NOT SCALE DRAWINGS.

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE ENGINEER'S WRITTEN PERMISSION.

THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT M.T.E. CONSULTANTS INC. CANNOT CERTIFY ANY COMPONENT OF THE SITE WORKS NOT INSPECTED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY M.T.E. CONSULTANTS INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ARRANGE FOR INSPECTION.

NOTE:

- PROPERTY LINE IS APPROXIMATE ONLY AND SHOULD NOT BE USED FOR DETERMINING SETBACKS OR LAYOUT.
- EXISTING TOPOGRAPHICAL INFORMATION PROVIDED BY BSR&D, DATED SEPTEMBER 9, 2020.
- THIS PLAN IS PART OF A SET OF PLANS WHICH COMPRISE OF THE FOLLOWING: C1.1, C2.1, C2.2, C2.3 AND THE SWM REPORT.

No.	REVISION	BY	DATE
8.			
7.			
6.			
5.			
4.	Revised grading	AJS	2026-03-04
3.	Revised per Township comments	AJS	2025-10-22
2.	Revised per township comments	AJS	2025-08-20
1.	ISSUED FOR APPROVAL	AJS	2025-01-22
No. REVISION		BY	DATE
		YYYY-MM-DD	



519-743-6500

A.J. SLAWICH
100544211
2026-03-04
PROVINCE OF ONTARIO

OWNER
BVD REAL ESTATE INC.
130 DELTA PARK BOULEVARD BRAMPTON

PROJECT
7504 McLEAN ROAD

DRAWING
DETAILS AND NOTES PLAN

Project Manager	Project No.
A. SLAWICH	55237-100
Design By	AJS
Checked By	
Drawn By	JRS
Checked By	AJS
Surveyed By	MTE
Drawing No.	
Date	Oct.11/24
Scale	1:400

C2.3

Sheet 4 of 4

P:\P_55237\100_55237-100-QU1.2

March 4, 2026 - 9:07:00 AM - Plotted By: Adam Stewich

EARTH VOLUMES REPORT					
PARCEL	AREA (m ²)	CUT (m ³)	FILL (m ³)	TOTAL CUT/FILL (m ³)	COMMENTS
ON-SITE CUT/FILL	27862	6380	6473	93	DEFICIT
LANDSCAPE (350mm CLEAN CAP FILL)	4862		1701	1701	DEFICIT
BUILDING (200mm CLEAN CAP FILL)	1749		349	349	DEFICIT
CONCRETE (250mm CLEAN CAP FILL)	526		131	131	DEFICIT
LIGHT DUTY ASPHALT (20mm CLEAN CAP FILL)	2091		41	41	DEFICIT
TOTAL CLEAN FILL REQUIRED				2222	DEFICIT

NOTES

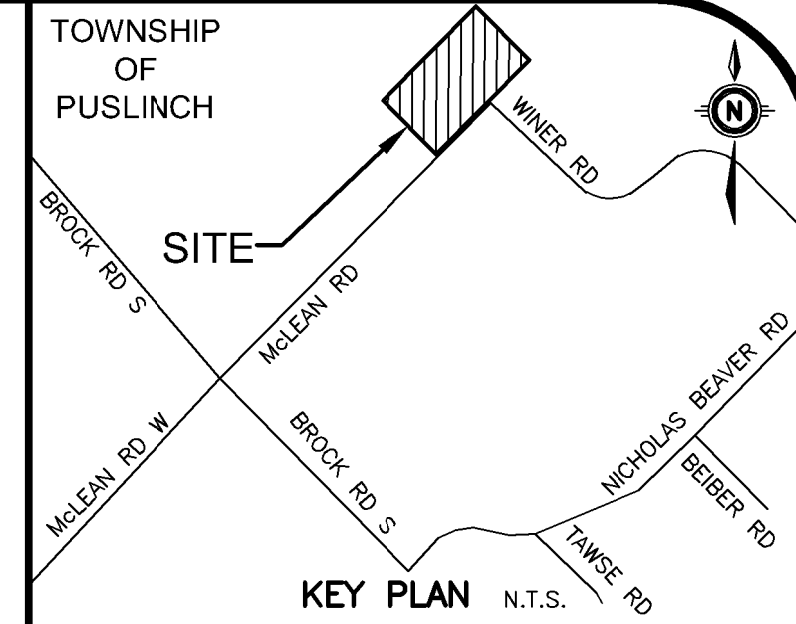
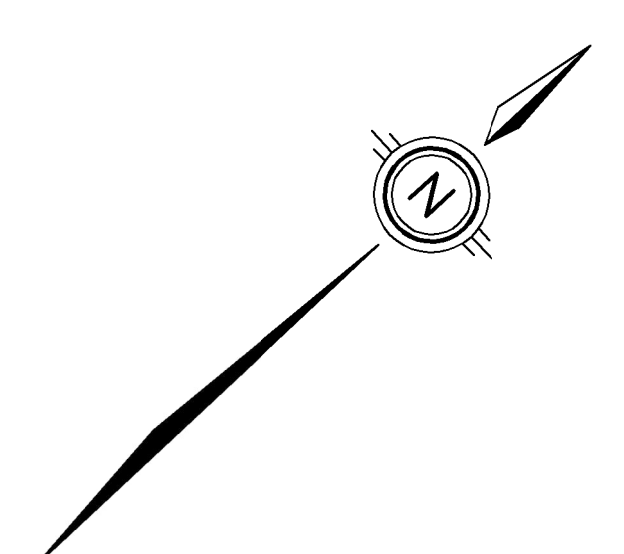
- ON-SITE CUT/FILL VOLUMES CALCULATED EX TO FG SUB
- CUT/FILL DOES NOT INCLUDE BULKING/SHRINKAGE FACTORS
- NO TOPSOIL STRIPPING IS REQUIRED.
- MINIMUM 500mm CLEAN CAP REQUIRED ACROSS THE SITE. WHERE THE SUBGRADE IS <500mm, CLEAN IMPORTED FILL REQUIRED.

SUBGRADE DEPTHS:

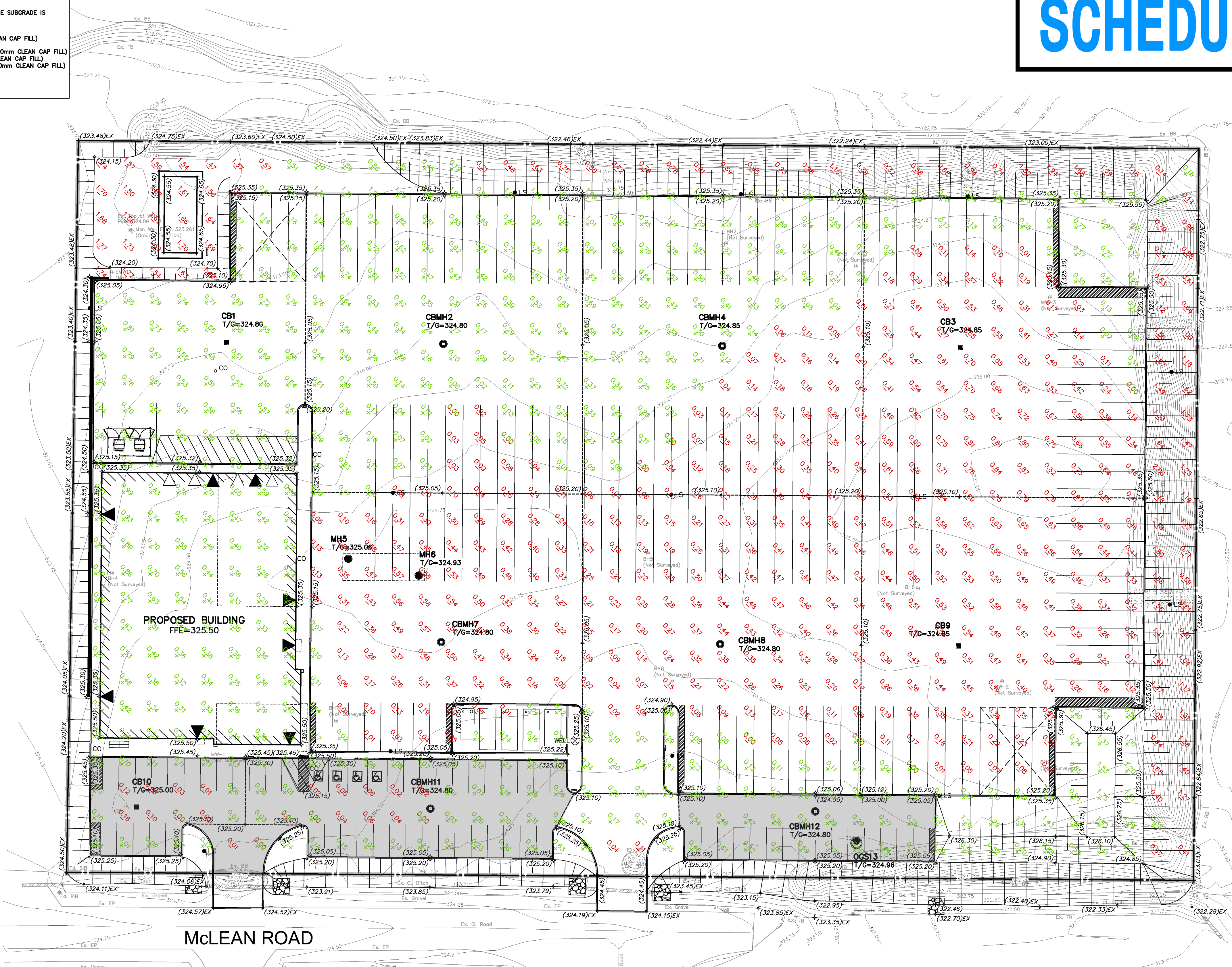
- BUILDINGS - 500mm BELOW FFE (300mm SUBGRADE + 200mm CLEAN CAP FILL)
- HEAVY DUTY ASPHALT - 800mm BELOW Fg
- CONCRETE/SIDEWALK - 500mm BELOW FG (250mm SUBGRADE + 250mm CLEAN CAP FILL)
- LANDSCAPED - 500mm BELOW FG (150mm SUBGRADE + 350mm CLEAN CAP FILL)
- LIGHT DUTY ASPHALT - 500mm BELOW FG (400mm SUBGRADE + 20mm CLEAN CAP FILL)
- SEPTIC SUBGRADE ELEVATION=321.7±

LEGEND

- EX 2024 CONTOURS
- 1.50 AMOUNT OF CUT FROM EX TO FG SUB
- 0.50 AMOUNT OF FILL FROM EX TO FG SUB
- SITE BOUNDARY
- RETAINING WALL
- LIGHT DUTY ASPHALT



SCHEDULE B



GEODETIC BM	ELEV. =	m
SITE BENCHMARK	ELEV. =	m

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- NOTE:**
- PROPERTY LINE IS APPROXIMATE ONLY AND SHOULD NOT BE USED FOR DETERMINING SETBACKS OR LAYOUT.
 - EXISTING TOPOGRAPHICAL INFORMATION COMPLETED BY MTE CONSULTANTS, DATED MAY 09, 2024.

8.		
7.		
6.		
5.		
4.		
3.		
2.		
1.	ISSUED TO CLIENT	AJS 2026-03-04
No.	REVISION	BY YYYY-MM-DD



519-743-6500

OWNER
BVD REAL ESTATE INC.
130 DELTA PARK BOULEVARD BRAMPTON

PROJECT
7504 McLEAN ROAD
PUSLINCH

DRAWING
CUT FILL PLAN

Project Manager	A. SLAWICH	Project No.	55237-100
Design By	AJS	Checked By	
Drawn By	MJR	Checked By	AJS
Surveyed By	MTE	Drawing No.	
Date	Feb.06/26	QU1.1	
Scale	1:400	Sheet 1 of 1	

Comment	Response	
Dougan Ecology		
Dougan Ecology has reviewed the cut/fill plan (MTE, Feb 6, 2026) provided by the applicant. It should be noted that any proposed grading within the floodplain and associated GRCA regulated area should not be completed prior to approval by the GRCA and will require a permit.	GRCA permit has been applied for and undergoing review.	A&A
GRCA		
Staff will be recommending to Council that a condition of the agreement require the property owner to agree to and pay all costs associated with registering a Land Titles Act, s. 118 restriction to prohibit the movement of contaminated soil from the site.	GRCA permit has been applied for and undergoing review.	A&A
Trace & Associates		
Based on the cut/fill analysis completed by MTE, approximately 2222 m3 of additional clean fill will reportedly be required to complete all Site alteration work to the final grade, including the cap. Any additional fill brought to the Site that does not originate from an MNR-licensed pit or quarry must be sampled and tested in accordance with the requirements of Ontario Regulation 406/19. Imported fill that originates from sources other than the MNR-licensed pits or quarries must meet the applicable generic excess soil quality standards (ESQS) published in the Soil Rules and/or the risk-derived, Site-specific standards.	Understood. No additional fill will be brought to site.	A&A
GRIT Engineering		
Water service connection missing – well identified; however, no line to the building shown on the drawing	Understood. Drawing has been updated. Details in "2026-04-15_Combined Civil Drawings_R5" drawing	A&A
Township of Puslinch - Notes		
The GRCA is requiring a permit for the work. If you can please reach out to their office to get this process started as this will be a requirement to execute the Site Alteration agreement with the Township.	GRCA permit has been applied for and undergoing review by Brandon Henderson.	
Finally, in order to move forward with the site alteration agreement, we require a copy of the Parcel Register from the Land Registry Office. Please ensure that both the PIN Map and title register are included. Could you kindly provide a copy for the property known municipally as 7504 McLean Rd E.	PIN Map and title register have been uploaded to the cloud permit application.	

PROPERTY DESCRIPTION: PT LOT 25, CON 8, BEING PART 1 ON PLAN 61R-21798; TOWNSHIP OF PUSLINCH

PROPERTY REMARKS: PLANNING ACT CONSENT IN DOCUMENT WC618496.

ESTATE/QUALIFIER:
FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:
DIVISION FROM 71195-0339

PIN CREATION DATE:
2021/01/10

OWNERS' NAMES
HBC REAL ESTATE 1 INC.

CAPACITY SHARE

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *						
** AND ESCHEATS OR FORFEITURE TO THE CROWN.						
** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY						
** CONVENTION.						
** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF CONVERSION TO LAND TITLES: 1998/11/09 **						
WC376065	2013/06/19	NOTICE	\$2	THE CORPORATION OF THE TOWNSHIP OF PUSLINCH	2354084 ONTARIO LIMITED	C
WC376066	2013/06/19	NOTICE	\$2	THE CORPORATION OF THE TOWNSHIP OF PUSLINCH	2354084 ONTARIO LIMITED	C
WC457018	2015/12/30	NOTICE	\$1	2354084 ONTARIO LIMITED	THE CORPORATION OF THE TOWNSHIP OF PUSLINCH	C
REMARKS: WC376065						
61R21798	2020/05/19	PLAN REFERENCE				C
REMARKS: WC599481.						
WC609597	2020/09/08	NOTICE	\$2	THE CORPORATION OF THE TOWNSHIP OF PUSLINCH		C
WC639710	2021/07/05	TRANSFER	\$11,900,000	NC WAREHOUSE INC.	2843793 ONTARIO LTD.	C
REMARKS: PLANNING ACT STATEMENTS.						
WC665788	2022/03/07	APL CH NAME OWNER		2843793 ONTARIO LTD.	HBC REAL ESTATE 1 INC.	C
WC665797	2022/03/07	CHARGE	\$15,000,000	HBC REAL ESTATE 1 INC.	ROYNAT INC.	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

LAND
 REGISTRY
 OFFICE #61

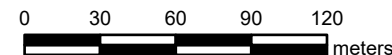
71195-0679 (LT)

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
WC665802	2022/03/07	NO ASSGN RENT GEN <i>REMARKS: WC665797.</i>		HBC REAL ESTATE 1 INC.	ROYNAT INC.	C
WC721283	2024/01/15	CHARGE	\$7,000,000	HBC REAL ESTATE 1 INC.	PVD CAPITAL CORPORATION BVD PETROLEUM INC.	C
WC721337	2024/01/16	APL CH NAME INST <i>REMARKS: WC721283.</i>		PVD CAPITAL CORPORATION	BVD CAPITAL CORPORATION	C
WC731763	2024/06/11	CHARGE	\$6,000,000	HBC REAL ESTATE 1 INC.	BVD CAPITAL CORPORATION BVD PETROLEUM INC. BVD HOLDCO CORPORATION 2438231 ONTARIO INC.	C
WC741059	2024/10/01	APL CH NAME INST <i>REMARKS: WC731763.</i>		BVD HOLDCO CORPORATION	BVD CAPITAL HOLDCO CORPORATION	C

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SCALE



PROPERTY INDEX MAP

WELLINGTON(No. 61)

LEGEND

FREEHOLD PROPERTY	
LEASEHOLD PROPERTY	
LIMITED INTEREST PROPERTY	
CONDOMINIUM PROPERTY	
RETIRED PIN (MAP UPDATE PENDING)	
PROPERTY NUMBER	0449
BLOCK NUMBER	08050
GEOGRAPHIC FABRIC	
EASEMENT	

THIS IS NOT A PLAN OF SURVEY

NOTES

REVIEW THE TITLE RECORDS FOR COMPLETE
PROPERTY INFORMATION AS THIS MAP MAY
NOT REFLECT RECENT REGISTRATIONS

THIS MAP WAS COMPILED FROM PLANS AND
DOCUMENTS RECORDED IN THE LAND
REGISTRATION SYSTEM AND HAS BEEN PREPARED
FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE
RECORDED PLANS AND DOCUMENTS

ONLY MAJOR EASEMENTS ARE SHOWN

REFERENCE PLANS UNDERLYING MORE RECENT
REFERENCE PLANS ARE NOT ILLUSTRATED

