



AGENDA

COMMITTEE OF ADJUSTMENT:

1. **OPENING REMARKS**
2. **DISCLOSURE OF PECUNIARY INTEREST**
3. **APPROVAL OF MINUTES** (See Attachment A)

Committee of Adjustment minutes held July 12, 2016 be adopted

4. **APPLICATIONS FOR MINOR VARIANCE OR PERMISSION** under section 45 of the Planning Act to be heard by the Committee this date: (See Attachment B)
 - 4(a) **Minor Variance Application D13/HAS – Farhad & April Hasan** – Property described as Part Lot 10, Concession 3, 4538 Sideroad 10 N, Township of Puslinch.
Requesting relief from provisions of Zoning By-Law #19/85, as amended, to permit:
 1. An accessory building where the by-law does not permit one
 2. An accessory building in the Natural Environment Zone
 3. A 6.5 metre height for an accessory building
 - 4(b) **Minor Variance Application D13/ODE – Philip & Pamela O'Dell** – Property described as Part Lot 5, Concession Gore, 6615 Concession 1, Township of Puslinch.
Requesting relief from provisions of Zoning By-Law #19/85, as amended, to permit:
 1. An accessory building in the front yard
 2. A 12 metre height for an accessory building
 3. A 12 metre height for a building/structure

5. **ADJOURNMENT OF COMMITTEE OF ADJUSTMENT**

PLANNING & DEVELOPMENT ADVISORY COMMITTEE

6. **OPENING REMARKS**
7. **DISCLOSURE OF PECUNIARY INTEREST**

8. APPROVAL OF MINUTES (See Attachment C)

Planning & Development Advisory Committee meeting minutes held Tuesday July 12, 2016 be adopted.

9. APPLICATIONS FOR SITE PLAN URBAN DESIGN REVIEW

- None

10. ZONING BY-LAW AMENDMENT

- None

11. LAND DIVISION (See Attachment D)

11(a) Lot Line Adjustment Application B41/16 (D10/PED – John Pederson, Part Lot 10, Concession 1, municipally known as 4214 Sideroad 10 S.

Proposed lot line adjustment is 7.73m x 133.32m = 0.10 hectares vacant land to be added to abutting rural residential parcel – John Pedersen

Retained parcel is 53.23 m fr x 133.32 m = 0.71 hectares h existing and proposed vacant land.

11(b) Lot Line Adjustment B43/16 (D10/TRI) – Lena Trinchini, Part Lot 31, Concession Gore, municipally known as 0 Concession 1.

Proposed lot line adjustment is 0.48562 hectares with 36.576 m frontage, vacant land to be added to abutting rural residential lot – Trink Inc.

Retained parcel is 30.11 hectares with 313.805m frontage, vacant land for proposed rural residential use.

11(c) Severance Application B50/16 (D10/DEA) –David & Nadine Deacon, Part Lot 6, EOBL, Reg Plan 131, municipally known as 159 Carter Road

Proposed severance is 0.402 hectares with 39 m frontage, existing vacant land for proposed rural residential use.

Retained parcel is 0.4742 hectares with 57 m frontage existing and proposed rural residential use with existing dwelling and pool. Shed to be removed.

11(d) Severance Application B50/16 (D10/HAR) –Jackie Harman, Part Lot 14, Concession 11, municipally known as 14622 Nassagaweya-Puslinch Townline.

Proposed severance is 60 m fr x 75m = 0.45 hectare, existing agricultural use for proposed rural residential use.

Retained parcel is 18.92 hectares with 637 m frontage existing and proposed residential and agricultural use with existing house, shop barn and shed.

12. OTHER MATTERS

- OMB Matters update – D13/SLO and D13/WAL
- Labeling items on Severance Sketches

13. CLOSED MEETING

- no matters

14. NEXT MEETING Tuesday September 13 @ 7:00 p.m.

15. ADJOURNMENT



Attachment "A"

Planning & Development Advisory Committee Meeting
Committee of Adjustment
July 12, 2016
7:00 pm
Council Chambers, Aberfoyle

MINUTES

MEMBERS PRESENT:

John Sepulis, Chair
Councillor Ken Roth
Dianne Paron
Dennis O'Connor

OTHERS IN ATTENDANCE:

Kelly Patzer – Development Coordinator
Aldo Salis – County of Wellington Planning
Colin Vanderwoerd
Kevin Motton
Kevin Johnson
Bruce Rolston
Marc & Helen Jowett

1. OPENING REMARKS

- The meeting was called to order at 7:00 pm. The Chair welcomed the gallery to the Committee of Adjustment meeting and informed the gallery Township Staff would present the application, then the applicant would have the opportunity to present the purpose and details of the application and any provide any further relevant information. Following this the public can obtain clarification, ask questions and express their views on the proposal. The members of the Committee can then obtain clarification, ask questions and express their views on the proposal. All application decisions are subject to a 20 day appeal period.

2. DISCLOSURE OF PECUNIARY INTEREST

- None

3. APPROVAL OF MINUTES

Moved by Ken Roth and Seconded by Dianne Paron,

That the minutes of the Committee of Adjustment meeting held Tuesday June 14, 2016 be adopted.

CARRIED

4. COMMITTEE OF ADJUSTMENT – Applications for Minor Variance

4(a) Minor Variance Application D13/JOW – Marc & Helen Jowett – Property described as Part Lot 2, Plan 380, 2 Lakeside Drive, Township of Puslinch.

Requesting relief from provisions of Zoning By-Law #19/85, as amended, to permit the construction of a deck with a 0 metre setback to the rear property line.

- Kelly Patzer summarized the application and circulation for the minor variance as submitted and stated no objections were received from the public or commenting staff including the GRCA.
- Marc Jowett, owner, remarked that he had removed the dock and is wishing to build a 16 metre wide x 39 feet deck along the water's edge.
- John Sepulis asked if a post would be sunk into the lake to support the deck.
- Marc Jowett responded there would not be a post in the lake to construct the deck.
- Dianne Paron asked if the deck construction would be cantilevered.

- Marc Jowett confirmed yes it would be and be projecting out about 1½ to 2 feet from the edge.
- There were no further questions or comments.

In the matter of Section 45 (1) of the Planning Act, as amended, and Comprehensive Zoning By-law 19/85 as amended, and an application for a minor variance requesting permission to allow:

A 5 metre x 12 metre on grade wood deck with a 0 metre setback to the rear property line (lake), WHEREAS Section 3.1(d(i)), General Provisions, Accessory Uses, Yard Requirements requires a building or structure accessory to a single dwelling to be located anywhere in an interior side yard or a rear yard, provided that such accessory building or structure is not located closer than two metres to any lot line.

The Committee voted in favour and the request is hereby **Approved**.

CARRIED

4(b) Minor Variance Application D13/MOT – Motton Custom Homes Limited – Property described as Part Lot 9, Concession 11, Nassagaweya-Puslinch Townline, Township of Puslinch.

Requesting relief from provisions of Zoning By-Law #19/85, as amended, to allow a 23.5 metre setback from the centreline of the road to permit a new dwelling.

- Kelly Patzer summarized the application and circulation for the minor variance as submitted and stated no objections were received from the public or commenting staff.
- Colin Vanderwoerd of Van Harten Surveying, agent, remarked the parcel was severed in 2014 and a tree protection plan and fencing is in place in both the front and rear of the property, as approved by the Grand River Conservation Authority.
- Colin Vanderwoerd noted that the house will have many trees in the front yard that will screen the dwelling and reduce any visual impact of the reduced setback. The proposed setback of 23.5 metres from the centreline of the road would not have any impact on any possible future road widening.
- There were no questions or comments.

In the matter of Section 45 (1) of the Planning Act, as amended, and Comprehensive Zoning By-law 19/85 as amended, and an application for a minor variance requesting permission to allow:

A 23.5 metre setback from the centreline of the road allowance to permit a new dwelling, WHEREAS Section 3.18(a), General Provisions, Setbacks specifies that no person shall erect or establish any building, structure, excavation or open storage closer than 27 metres to the centreline of a highway under the jurisdiction of the Township of Puslinch, the County of Wellington or the City of Guelph.

The Committee voted in favour and the request is hereby **Approved**.

CARRIED

4(c) Minor Variance Application D13/ROL – Bruce & Sherri Rolston – Property described as Lot 13, Plan 795, 25 Deer View Ridge, Township of Puslinch.

Requesting relief from provisions of Zoning By-Law #19/85, as amended, to permit:

1. An accessory building/detached garage in the exterior side yard;
 2. A 12 metre setback from the centerline of the highway for a detached garage;
 3. A 12 metre rear yard setback for a detached garage
- Kelly Patzer summarized the application and circulation for the minor variance as submitted and stated no objections were received from the public or commenting staff. The Building Department questioned why some setbacks could not be met and asked if an environmental study would be required.

- Bruce Rolston, owner, indicated he wishes the placement of the garage to be between the house and the road, and the reduced rear yard setback is to maintain visual symmetry with the house and have the buildings in line. Space is required between the house and garage to maneuver vehicles.
- Dennis O'Connor asked what the distance will be between the house and garage.
- Bruce Rolston responded the distance will be 40 feet.
- Dianne Paron noted that the County of Wellington commented about tree preservation during construction and asked if any trees would be removed for the garage construction
- Bruce Rolston noted there would be 10 feet between the rear of the garage and a close large tree that would be preserved. One tree with a 10" diameter would be cut down to construct the garage.
- John Sepulis asked why the garage could not be reoriented to face the other way.
- Bruce Rolston noted the proposed orientation of the garage works best for the way it would be used as well as vehicle maneuvering.
- There were no further questions or comments.

In the matter of Section 45 (1) of the *Planning Act*, as amended, and Comprehensive Zoning By-law 19/85 as amended, and an application for a minor variance requesting permission to allow:

1. A detached garage in the exterior side yard, WHEREAS Section 3.1(d) General Provisions, Accessory Uses, Yard Requirements, permits a building or structure accessory to a single dwelling, anywhere in an interior side yard or a rear yard;
2. A 12 metre setback to the centreline of the highway to permit a detached garage, WHEREAS Section 3.18(a), General Provisions, Setbacks specifies that no person shall erect or establish any building, structure, excavation or open storage closer than 27 metres to the centreline of a highway under the jurisdiction of the Township of Puslinch; and
3. A 12 metre rear yard setback to permit a detached garage, WHEREAS Section 9.4(a(i)) Estate Residential Zone, Special Provision states that on lots 13 - 27 inclusive, a rear yard setback of at least fifteen metres for buildings, structures and septic tanks will be required.

The Committee voted in favour and the request is hereby **Approved**.

CARRIED

5. ADJOURNMENT

Moved by Dennis O'Connor and Seconded by Ken Roth,

The Committee of Adjustment meeting adjourned at 7:25 p.m.

CARRIED



ATTACHMENT "B" (a)

COMMITTEE OF ADJUSTMENT Township Summary of Comments from Staff, Agencies and the Public

APPLICATION: D13/HAS
OWNER: Farhad & April Hasan
AGENT: owner
LOCATION: 4538 Sideroad 10 N
REPORT DATE: August 4, 2016
HEARING DATE: August 9, 2016 @ 7:00 p.m.

VARIANCES REQUESTED FROM ZONING BY-LAW 19/85:

1. To allow an accessory building, whereas Section 3.1(a), General Provisions Accessory Uses, requires the by-law to permit a lot to be used for an accessory structure
2. To allow a 6.5 metre height for an accessory building, whereas Section 3.1(c), General Provisions, Accessory Uses, Height Restrictions, states no accessory building or structure to be over 5 metres in height on lots less than 1 hectare in size.
3. To allow an accessory building within the Natural Environment (NE) Zone, whereas Section 20.3, natural Environment Zone, Zone Requirements states no person shall within any NE Zone erect any new building or structure.

CONDITIONS RECOMMENDED BY THE TOWNSHIP:

None

TOWNSHIP OF PUSLINCH ZONING BY-LAW 19/85

Section 3 – General Provisions

3.1(a) Accessory Uses Permitted in all Zones:

Where this By-Law permits a lot to be used or a building or structure to be erected or used for a purpose, that purpose shall include any building, structure or use accessory thereto, except that no home occupation or accessory dwelling unit shall be permitted in any zone other than a zone in which such a use is specifically listed as a permitted use..

3.1(c) Height Restrictions:

No accessory building or structure in any zone shall exceed five metres in height. Notwithstanding the foregoing, on lots in excess of 1 hectare within an Agricultural (A) Zone, no accessory building or structure shall exceed 7 metres in height.

Section 20 – Natural Environment Zone

20.3 Zone Requirements:

No person shall, within any NE Zone, use any lot or erect any new building or new structure

COUNTY OF WELLINGTON PLANNING OPINION:

The variances requested would provide relief from the maximum height permitted for an accessory structure, and to permit an accessory structure in the Natural Environment Zone.

The minor variance application would maintain the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property. We consider the request minor and have no concerns with the application provided the Conservation Authority has no issues with the minor variance.

GRAND RIVER CONSERVATION AUTHORITY (GRCA):

The GRCA has no objection to the variance as proposed.

BUILDING DEPARTMENT:

No concerns.

FIRE DEPARTMENT:

No concerns.

ROADS DEPARTMENT:

No comments.

PUBLIC COMMENTS:

Written comment was received from a neighbouring resident who is visually affected from his property by the increased height of the accessory building.

REPORT PREPARED BY: K. Patzer, Secretary-Treasurer, Committee of Adjustment /
Development Coordinator



PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department

DATE: August 4, 2016
TO: Kelly Patzer, Development Coordinator
 Township of Puslinch
FROM: Elizabeth Martelluzzi, Junior Planner
 County of Wellington
SUBJECT: **MINOR VARIANCE APPLICATION D13 HAS (Hasan)**
4538 Sideroad 10 N
Pt Lot 10, Concession 3, Puslinch

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

Planning Opinion

The variances requested would provide relief from the maximum height permitted for an accessory structure, and to permit an accessory structure in the Natural Environment Zone.

The minor variance application would maintain the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property. We consider the request minor and have no concerns with the application provided the Conservation Authority has no issues with the minor variance.

The details of the minor variance application are included in the table below.

Regulation	By-law Section	Required	Proposed
General Provisions, Accessory Uses Permitted in all zones	3.1(a)	Where the By-law permits a lot to be used or building or structure to be erected or used for a purpose, that purpose shall include any building, structure or use accessory thereto	Requesting to construct an accessory building for personal storage in the front yard.
General Provisions, Accessory Uses, Height Restrictions	3.1(c)	No accessory building or structure shall exceed 5 metres in height on lots less than 1 hectare in size.	Requesting 6.5 metre (21 foot) height for an accessory building.
Natural Environment Zone, Zone Requirements	20.3	No personal shall, within any NE Zone, use any lot or erect any new building or structure.	Request to permit an accessory building within the NE Zone.

Our discussion of this application relative to the four tests under the Planning Act is as follows:

Four Tests	Discussion
That the requested variance is minor in nature	<ul style="list-style-type: none"> We would consider the variances minor in nature A residential use is existing and therefore the impact of an accessory structure for personal storage is a minor change in the use of land.

	<ul style="list-style-type: none"> • The requested relief of an additional 1.5 metres in height is minor in nature
That the intent and purpose of the Zoning By-law is maintained	<ul style="list-style-type: none"> • The subject property is zoned Natural Environment (NE) • We are satisfied that intent of the Zoning By-law is maintained, given the Conservation Authority's previous permit to build the accessory structure.
That the general intent and purpose of the Official Plan is maintained	<ul style="list-style-type: none"> • The property is designated Core Greenlands with an underlying Secondary Agricultural designation. The Greenlands Designation that covers the proposed building area represents Wetlands, Environmentally Sensitive Area and a Flood Plain area. • Accessory structures are permitted in the Secondary Agricultural Designation
That the variance is desirable for the appropriate development and use of the land, building or structure	<ul style="list-style-type: none"> • The variance in height is minor in nature and also would likely not create a negative impact on the neighbouring property • The residential use is existing in the Natural Environment Zone and therefore an accessory structure is logical and desirable for the appropriate development and use of the land.

In conclusion, planning staff is of the opinion that the requested variance application **meets the four tests** of the *Planning Act*. I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application.

Respectfully submitted
County of Wellington Planning and Development Department



Elizabeth Martelluzzi, B.URPI
Junior Planner



**PLAN REVIEW REPORT TO: Township of Puslinch
Kelly Patzer, Development Coordinator**

DATE: August 3rd, 2016 **YOUR FILE:** D13/HAS
GRCA FILE: D13-HAS – 4538 Sideroad 10N, Township of Puslinch

RE: **Application for Zoning By-Law Amendment D13/HAS**
4538 Sideroad 10N, Township of Puslinch
Hasan

GRCA COMMENT:*

The Grand River Conservation Authority (GRCA) has no objection to minor variance as proposed.

BACKGROUND:

1. Resource Issues:

Information currently available at this office indicates that the lands are within the floodplain associated with Irish Creek and contain portions of the Cranberry Oil Well Bog Wetland Complex and the associated allowances to these features.

2. Legislative/Policy Requirements and Implications:


Due to the presence of the above-noted features the property is regulated by the GRCA under Ontario Regulation 150/06 - Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Regulation. Any future development or other alteration within the regulated area on the subject lands will require prior written approval from GRCA in the form of a permit pursuant to Ontario Regulation 150/06.

3. Additional Information/Suggestions provided in an advisory capacity:

Please note that a review fee of \$250 will be invoiced to the applicant.

Should you have any questions or require further information, please do not hesitate to contact me at extension 519-621-2763 ext. 2236.

Yours truly,



Nathan Garland
Resource Planner
Grand River Conservation Authority

* *These comments are respectfully submitted to the Committee and reflect the resource concerns within the scope and mandate of the Grand River Conservation Authority.*

c.c. Sarah Wilhelm/Aldo Salis – County of Wellington (via email)
Farhad and April Hasan – 4538 Sideroad 10N, Guelph, ON N1H 6J3



Township of Puslinch
 7404 Wellington Road #34
 Guelph, ON, N1H 6H9
 T: (519) 763 – 1226
 F: (519) 763 – 5846
www.puslinch.ca

Minor Variance or Permission Application

General Information:

1. Applicant Information:

Registered Owner's Name(s): Farhad & April Hasan

Address: 4538 Sideroad 10 N RR6

City: RR Guelph, ON

Postal Code: N1H 6J3

E-mail Address: [REDACTED]

Telephone Number: [REDACTED]

Fax: [REDACTED]

Applicant (Agent) Name(s): _____

Address: _____

City: _____

Postal Code: _____

E-mail Address: _____

Telephone Number: _____

Fax: _____

Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property.

April & Farhad Hasan

Send correspondence to: Owner: ☒ Agent ☐ Other: _____

2. Provide a description of the "entire" property:

Municipal address: 4538 Sideroad 10 N

Concession: Concession 3 Lot: Front Pt Lot 10

Registered Plan Number: n/a

Area: _____ ha Depth: _____ m Frontage: ~~400~~ m
10 ac 1000 ft 700 ft
 or more.

Width of road allowance (if known): _____

Reason for Application:

3. Please indicate the Section of the Planning Act under which this application is being made. Select one:

- ☒ Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.); or
- ☐ Section 45(2) relates to a change to or expansion of an existing legal non-conforming use.

4. What is the nature and extent of the relief that is being applied for? (please specifically indicate on sketch).

- ① Section 20 (3) - relief to place an accessory building on natural environment zone
- ② Section 3 (1) (c) - relief for height of building, 21'
- ③ Section 3 (1) (a) - to permit an accessory building

**5. Why is it not possible to comply with the provisions of the by-law?
(please specifically indicate on sketch).**

we are attempting to make a non-compliant structure compliant.

6. What is the current Official Plan and zoning status?

Official Plan Designation: core green lands

Zoning Designation: natural environment (nc)

7. What is the access to the subject property?

Provincial Highway: ☐

Continually maintained municipal road: ☒

Seasonally maintained municipal road: ☐

Other: ☐ (please specify below)

8. What is the name of the road or street that provides access to the subject property?

Sideroad 10 North

9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

n/a

Existing and Proposed Service:

10. Indicate the applicable water supply and sewage disposal:

Water Supply/Sewage Disposal:	Existing:	Proposed:
Municipal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Private Well:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Water Supply:	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Private Septic:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Sewage Disposal:	<input type="checkbox"/>	<input type="checkbox"/>

11. How is storm drainage provided?

Storm Sewers: ☐

Ditches: ☒

Swales: ☐

Other means: ☐ (explain below)

However, the accessory building will not be connected to either septic or well.

Existing Subject and Abutting Property Land Uses, Buildings and their Locations:

12. What is the existing use of:

The subject property? residential property

The abutting properties? residential / conservation land

13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)

Building Details:	Existing:		Proposed:	
Type of Building(s)/ structures	residence		Accessory building	
Main Building height	m	30 ft.	m	21 ft.
*Percentage lot coverage	less than 190 m	ft.	m	ft.
*Number of parking spaces		4		/
*Number of loading spaces	/	/		/
Number of floors	2			1 with loft
Total floor area	4 m ²	4375 ft ²	m ²	1056 ft ²
Ground floor area (exclude basement)	m ²	1800 ft ²	m ²	1056 ft ²

14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)

Building Details:	Existing:		Proposed:	
Front Yard	60 ⁺ m	ft.	90 ⁺ m	ft.
Rear Yard	100 ⁺ m	ft.	100 ⁺ m	ft.
Side Yards	20 ⁺ m	ft.	4.5 ⁺ m	ft.

15. What are the dates of acquisition and construction of subject property and building property?

Date of acquisition of subject property: Jan 2009

Date of construction of buildings property: residence - ¹⁹⁹⁰late 80's - accessory building 2013

16. How long have the existing uses continued on the subject property? __

17. Has the owner previously applied for relief in respect of the subject property?

Yes ☐ No ☒

If the answer is yes, please indicate the file number and describe briefly:

Other Related Planning Applications:

18. Has an application for any of the following on the subject lands?

Planning Application:	Yes:	No:	File Number:	Approval Authority:	Subject Lands	Purpose:	Status:
Official Plan Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Zoning By-Law Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Plan of Subdivision	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Consent (Severance)	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Site Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Minor Variance	<input type="checkbox"/>	<input checked="" type="checkbox"/>					



Imagery ©2016 Google, Map data ©2016 Google 20 m

Google Maps

Distance from Point "A" to road 90+ meters .

Distance from Point "B" to property line 4.5 meters

SCHEDULE B

GENERAL NOTES:

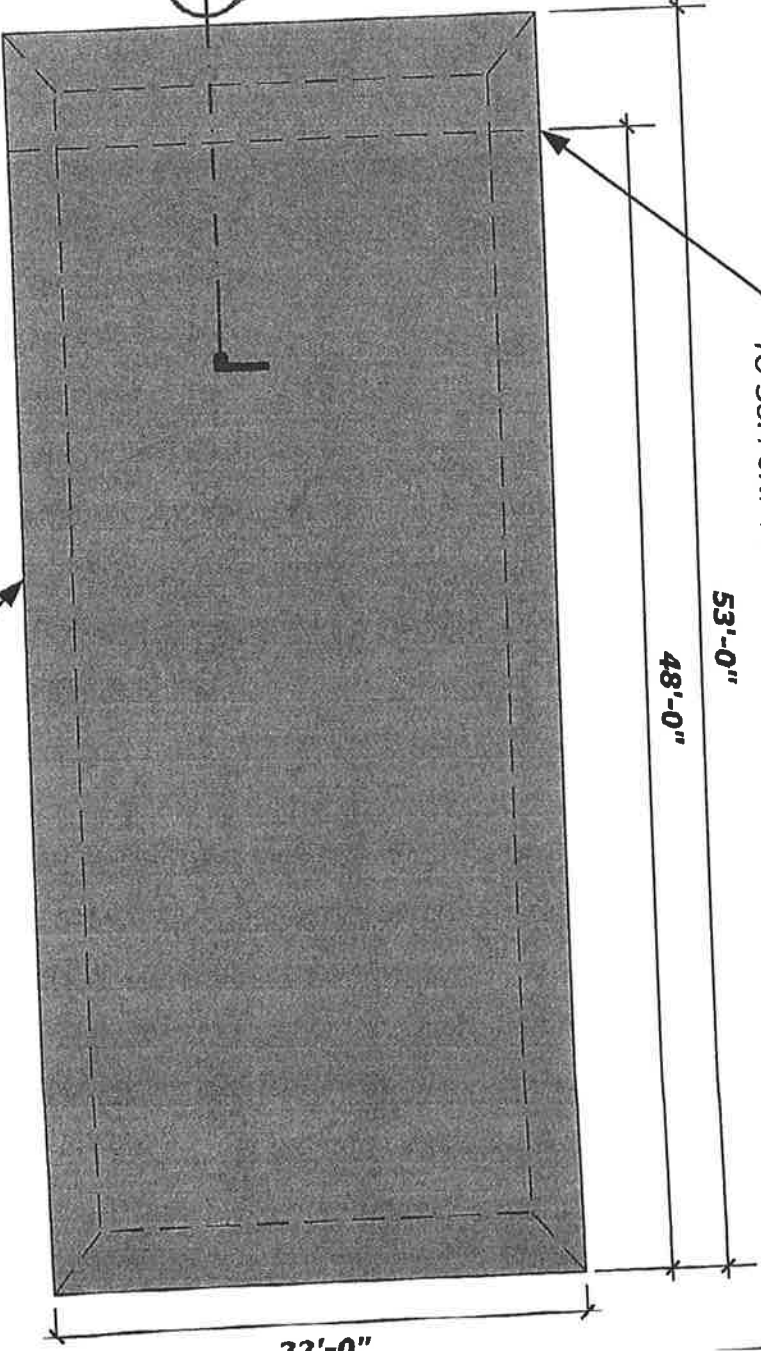
FOUNDATIONS:

1. REMOVE ALL TOPSOIL AND ORGANIC MATERIAL FROM THE BUILDING AREA.
2. SLAB MUST BE CARRIED DOWN TO NATURAL UNDISTURBED SOIL. CAPABLE OF SUSTAINING 1500 PSF (75 kPa) ALLOWABLE SOIL BEARING PRESSURE.

CONCRETE:

1. ALL CONCRETE ON THIS PROJECT SHALL HAVE A MINIMUM OF 28 DAYS COMPRESSIVE STRENGTH OF 32 MPa. WITH 6% AIR-ENTRAIMENT AND 0.45 MAX WATER-TO-CEMENT RATIO.
2. ALL REINFORCEMENT IS TO BE GRADE 400 MPa.
3. REBAR SPLICE LENGTH: 15M BAR, 18" LAP
WELDED WIRE MESH (WWM): 9" LAP
4. ALL CONCRETE WORK SHALL BE CARRIED OUT IN ACCORDANCE TO THE LATEST EDITION OF THE NATIONAL BUILDING CODE, CAN/CSA-A23.1/A23.2-M90 AND LOCAL BY-LAWS.
5. CONCRETE COVER SHALL BE AS FOLLOWS:
A) 3" WHERE CONCRETE IS IN CONTACT WITH EARTH (I.E. FOOTINGS)
B) 2" WHERE IN FORMS TO WEATHER OR EARTH (I.E. SIDE OF FLOATING SLAB)
6. SLAB ON GRADE SHALL BEAR ON MIN. 6" GRANULAR 'A' FILL (COMPACTED TO 98% SPDD) ON ORIGINAL SUBGRADE..
7. SLOPE GRADE AWAY FROM BUILDING
8. SAW CUT SLAB TO A DEPTH OF 1/4" SLAB THICKNESS (1 1/2"). SPACE SAW CUTS @ 15' O.C.
9. SLAB IS NOT TO BE POURED ON FROZEN GROUND

MOVE GABLE END WALL SO THE OVERALL LENGTH OF BUILDING IS 48'-0".
THE 6" SLAB IS STRUCTURALLY ADEQUATE TO SUPPORT THE WALL AT THIS LOCATION.



FOUNDATION PLAN

scale: 1/8"=1'

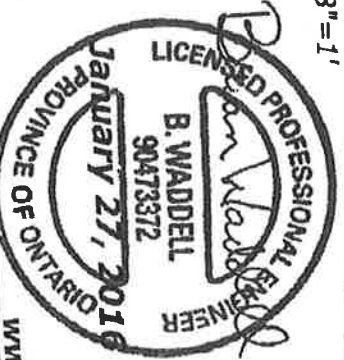
A
SI

B
S2

EXISTING FLOATING SLAB

WADDELL
ENGINEERING LTD.
119 PINEBUSH CAMBRIDGE ON
PH. 519-267-6789

CLIENT:	Omniscap	PROJECT:	4538 Sideroad 10 North Guelph, ON N1H 6J3
PROJECT #:	14-6587	DESCRIPTION:	NOTES/PLAN
DRAWN BY:	L.W.	DATE:	28.01.16



S1 of
www.floating slab.ca

ONE STOREY
WOOD STUDS
C/W SIDING,
BY OTHERS

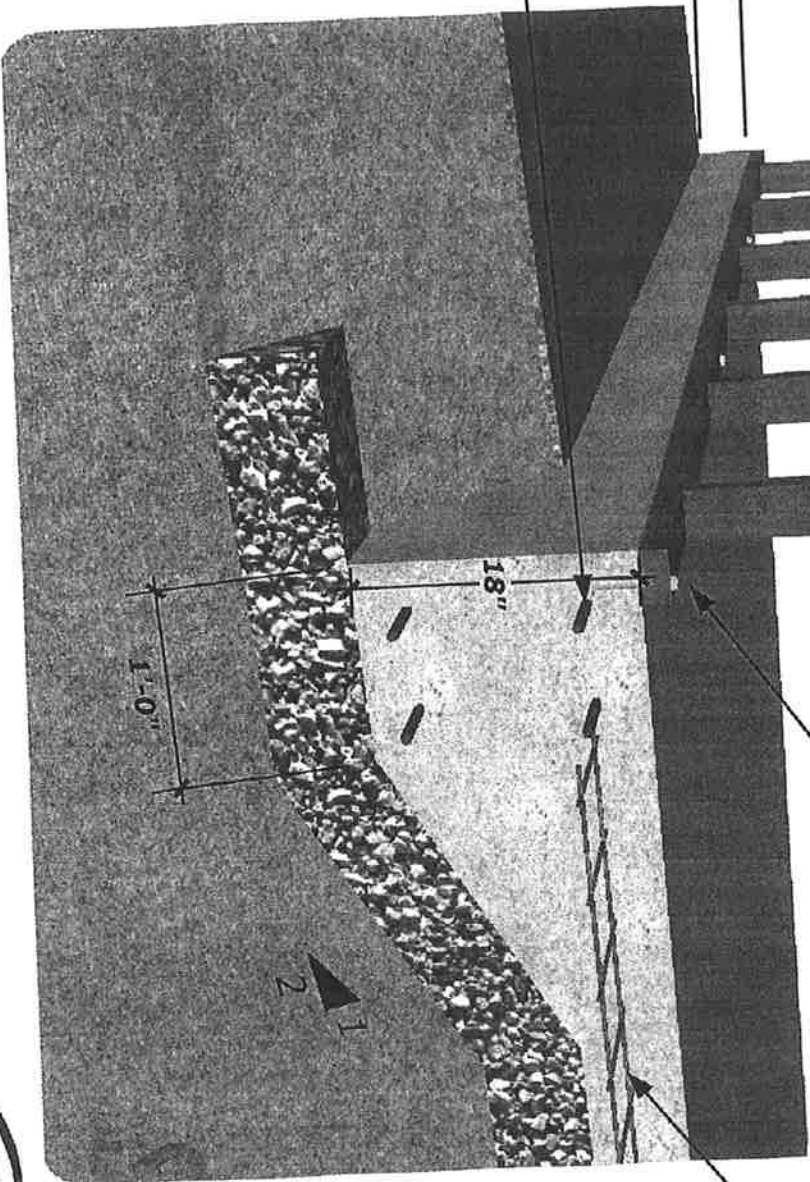
6" ABOVE GRADE
SLOPE GRADE AWAY

4 - 15M REBAR
(SEE NOTES
FOR COVER)

1/2" DIA. ANCHOR
BOLTS @ 48" O.C.

6"x6"x6/6 WWM
OR
16"x16" 10M GRID
OR
FIBER MESH

6" MIN.
COMPACTED GRAN.
6" MIN.



THICKENED SLAB EDGE

scale: NTS

B
S2

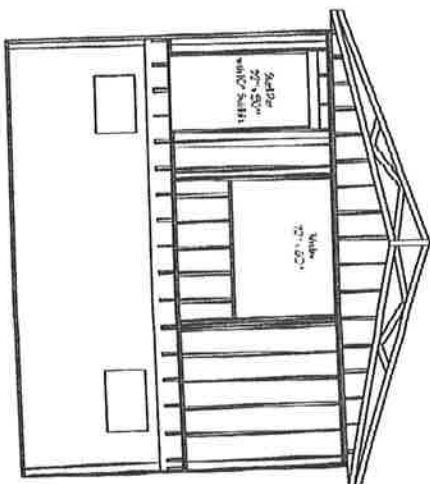
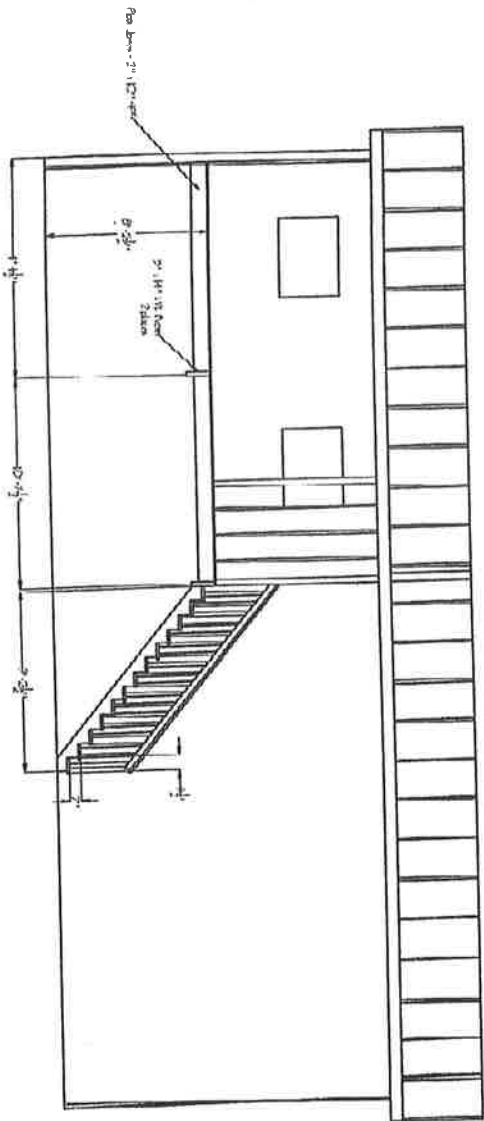
WADDELL
ENGINEERING LTD.
119 PINEBUSH CAMBRIDGE ON
PH. 519-267-6789

CLIENT:	OmniScape	PROJECT:	4538 Sideroad 10 North Guelph, ON N1H 6J3
PROJECT #:		DESCRIPTION:	
DRAWN BY:	L.W.	DATE:	28.01.16



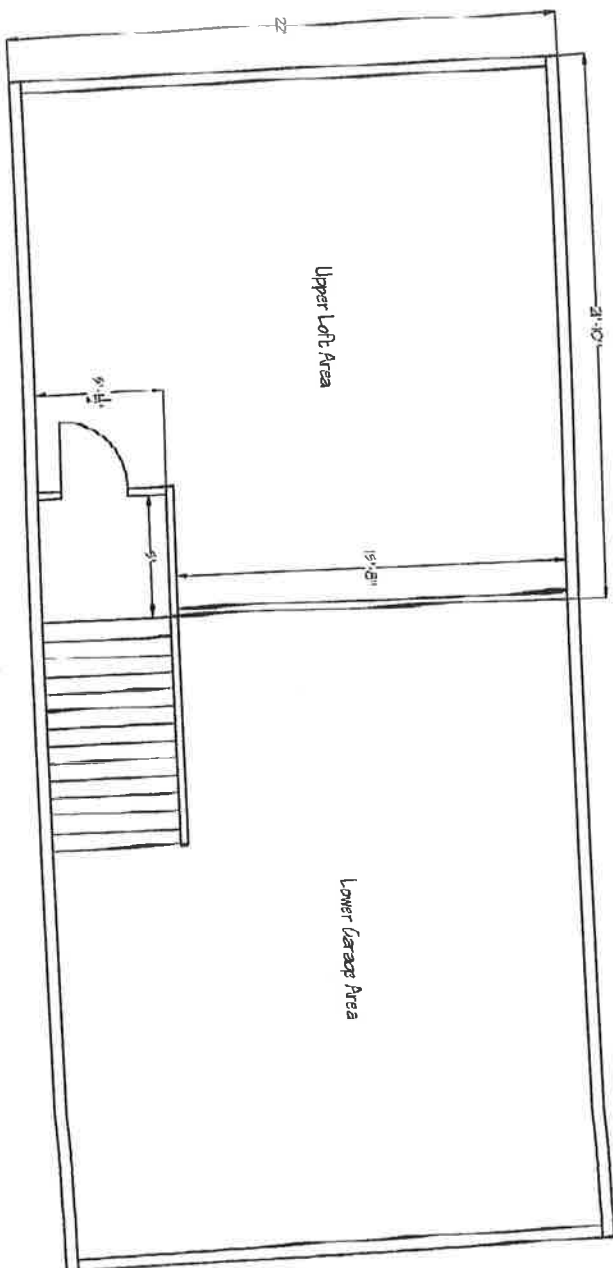
www.floatingslab.ca

S2



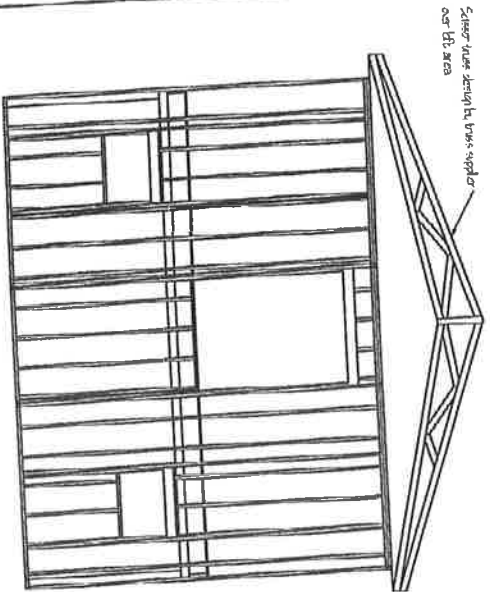
COPY

- Notes
1. Access built on top of existing slab. Step Down provided in adjacent stairwell
 2. Exterior walls - framed with 2" x 8" SPS (16" oc.)
 3. Roof - Steel Joist with 1/2" pitch
 - Framed with 1/2" x 8" SPS and joist were
 - Deck with horizontal wall studs
 4. Lvl 1 - Floor finished with 3/4" plywood
 - Partition walls framed with 2" x 4" SPS (16" oc.)
 - Back wall also using ridge
 - Studs with acoustic studs
 - Suspended with 1/2" furring
 5. Stairs - 2" x 12" stringers
 - 3/4" in finished with
 6. Windows - All windows to be vinyl
 7. Doors - All doors to include steel doors with lock and key
 8. Overhead door in the shed

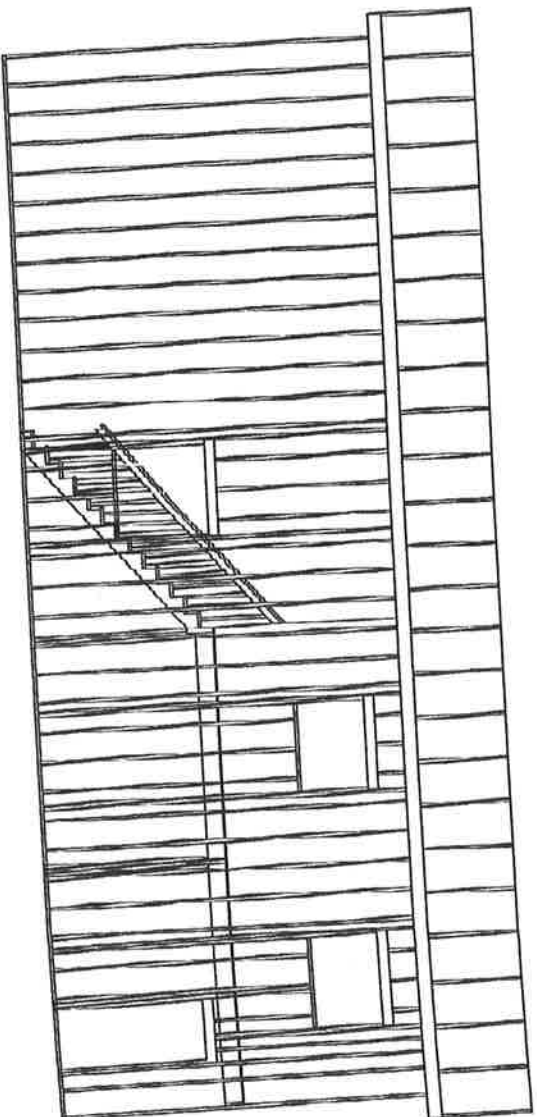


Plan View

03/15/2013

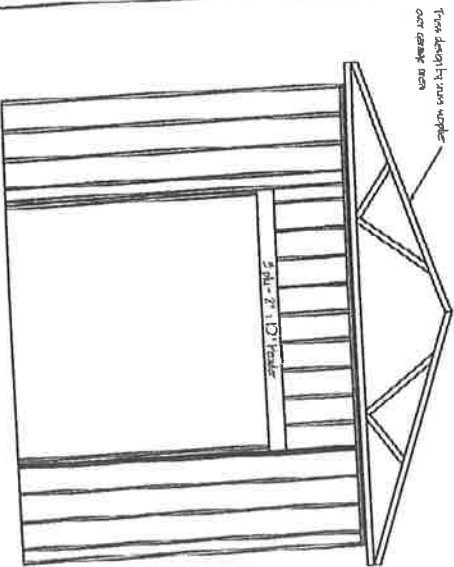


Back Elevation Framing

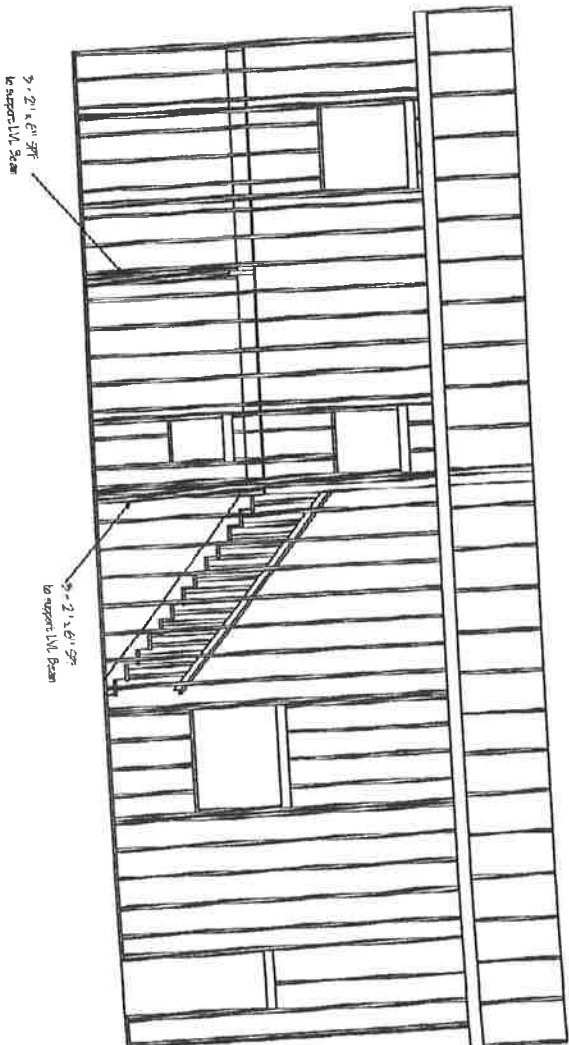


Right Side Elevation Framing

Copyright © 2013
 All Rights Reserved
 by [illegible]

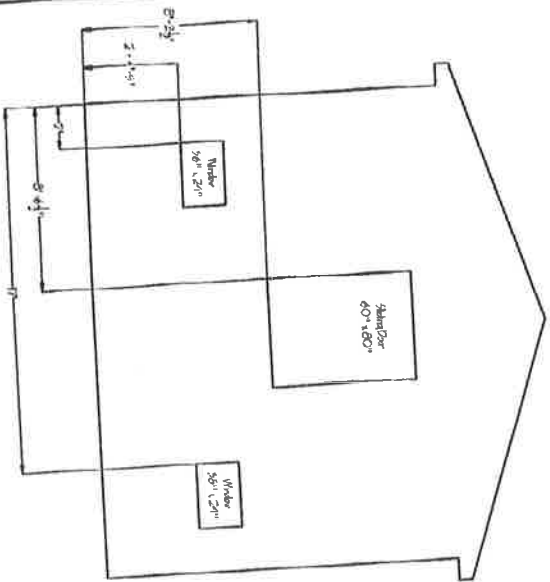


Front Elevation Framing

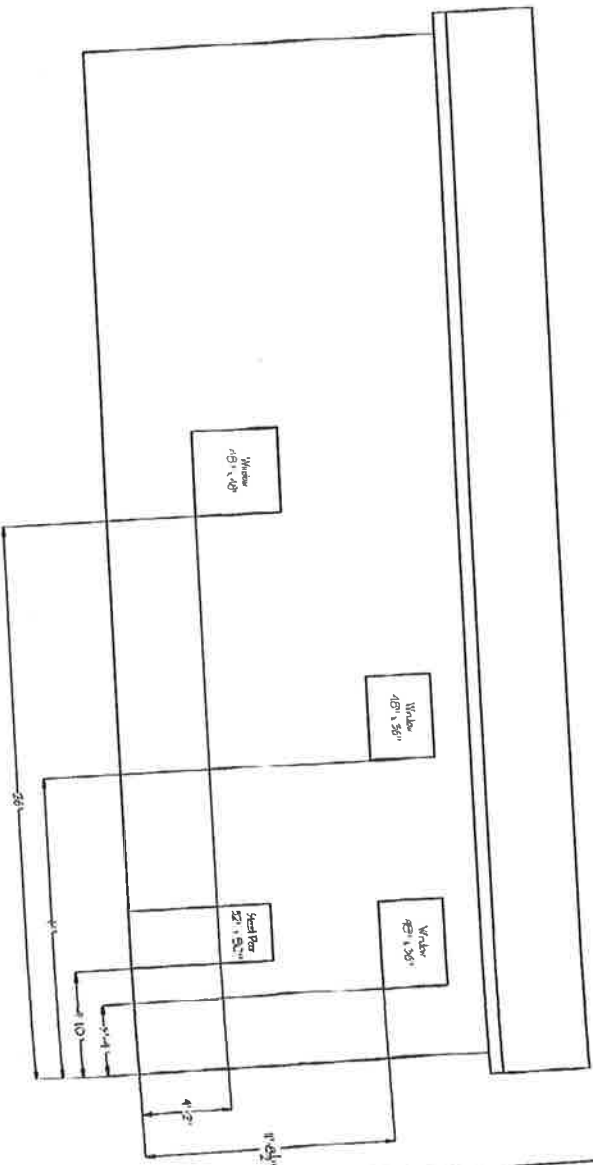


Left Side Elevation Framing

0000000000

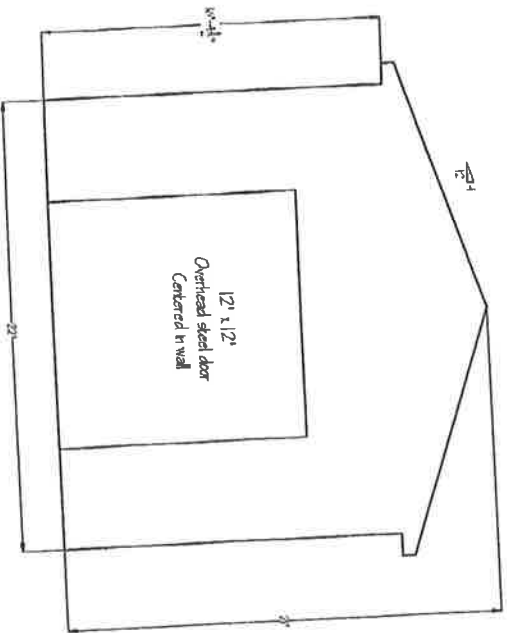


Back Elevation

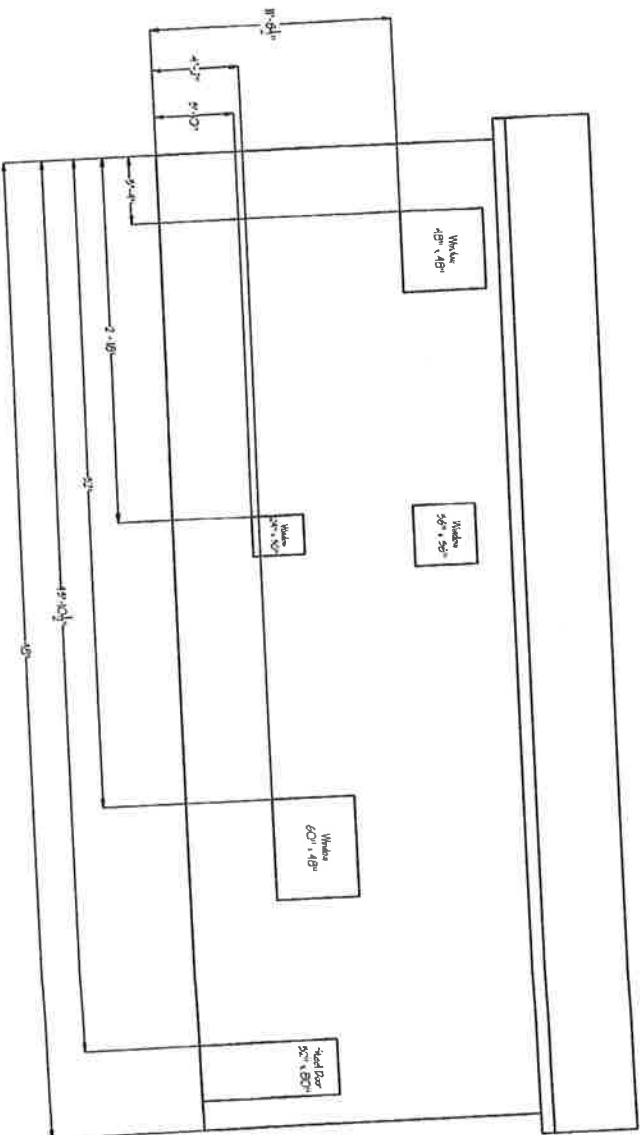


Right Side Elevation

8/26/2020

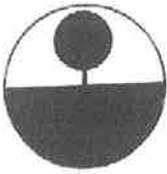


Front Elevation



Left Side Elevation

08/21/2020



Grand River Conservation Authority

Under Ontario Regulation 150/06 made under the Conservation Authorities Act, R.S.O. 1990, Chapter C.27, permission is granted to:

Farhad Hasan

Whose address for purposes pertaining to this project is:

4538 Side Road 10,
Puslinch, ON
N1H 6J3

To execute proposed works in accordance with the following particulars and conditions:

Location of Work:

4538 Sideroad 10 North,
Township of Puslinch

Purpose of Work:

To construct a 99 square metre residential accessory structure at 4538 Sideroad 10 North, in the Township of Puslinch.

Nature of Work:

To construct 99 square metre residential accessory structure.

This permit is valid from:

March 29, 2016

and expires on:

March 29, 2018

The attached Schedules form parts of this permit describing the approved work and must be implemented in order so that the true intent of the permit can be achieved.

The Permittee, by acceptance and in consideration of the issuance of this permit, agrees to the conditions listed on the reverse side of Schedule "A".

Dated at Cambridge, Ontario, this 29th day of March, 2016

GRAND RIVER CONSERVATION AUTHORITY

Joe Farwell,
Chief Administrative Officer



Attachment "B" (b)

COMMITTEE OF ADJUSTMENT Township Summary of Comments from Staff, Agencies and the Public

APPLICATION: D13/ODE
OWNER: Philip & Pamela O'Dell
AGENT: owner
LOCATION: 6615 Concession 1
REPORT DATE: August 4, 2016
HEARING DATE: August 9, 2016 @ 7:00 p.m.

VARIANCES REQUESTED FROM ZONING BY-LAW 19/85:

1. To allow an accessory/storage building in the front yard, whereas Section 3.1(g), General Provisions Accessory Uses, Yard Requirements, permits a building or structure accessory to a single family dwelling anywhere in an interior side yard or rear yard.
2. To allow a 12 metre height for an accessory building, whereas Section 3.1(c), General Provisions, Accessory Uses, Height Restrictions, states no accessory building or structure shall on lots in excess of 1 hectare within an Agricultural Zone shall exceed 7 metres in height.
3. To allow a 12 metre height for an accessory building, whereas Section 3.8, General Provisions, Height Restrictions, states no building or structure anywhere within the zoned area shall exceed ten metres in height.

CONDITIONS RECOMMENDED BY THE TOWNSHIP:

None

TOWNSHIP OF PUSLINCH ZONING BY-LAW 19/85

Section 3 – General Provisions

3.1(d) Accessory Uses, Yard Requirements:

Any accessory building or structure shall comply with the zone requirements and all other provisions hereof applicable to the zone in which such accessory building or structure is located, except that nothing in this By-Law shall apply to prevent the erection of:

- (i) a building or structure accessory to a single dwelling, anywhere in an interior side yard or a rear yard, provided that such accessory building or structure is not located closer than two metres to any lot line;

3.1(c) Accessory Uses, Height Restrictions:

No accessory building or structure in any zone shall exceed five metres in height. Notwithstanding the foregoing, on lots in excess of 1 hectare within an Agricultural (A) Zone, no accessory building or structure shall exceed 7 metres in height.

3.8 Height Restrictions:

Unless otherwise specifically provided elsewhere herein, no building or structure anywhere within the zoned area shall exceed ten metres in height, except that neither this provision nor any other provision of this By-Law shall apply to restrict the height of any of the following structures:

- (a) an antenna;
- (b) a barn;
- (c) grain elevators and storage;
- (d) grain dryers;
- (e) belfry;
- (f) a chimney;
- (g) a church spire;
- (h) a clock tower;
- (i) an elevator or stairway penthouse;
- (j) a flag pole;
- (k) a hydro-electric transmission tower;
- (l) an ornamental structure;
- (m) a radio antenna;
- (n) a silo;
- (o) a steeple;
- (p) a structure containing heating, cooling or other mechanized equipment pertaining to a building;
- (q) a tower;
- (r) a water tower;
- (s) a windmill; or
- (t) a crushing, washing, screening, processing or asphalt plant.

COUNTY OF WELLINGTON PLANNING OPINION:

The variance requested would provide relief from the permitted maximum height of 7 metres and the provision to permit an accessory structure in the interior side yard or rear yard only. The applicant has proposed an accessory structure for personal storage in the front yard, with a height of 12 metres.

The minor variance application would maintain the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property. We consider the request minor and have no concerns with the application.

GRAND RIVER CONSERVATION AUTHORITY (GRCA):

The relief requested does impacts items the GRCA would comment on. A permit will be required from the GRCA prior to construction and our office would be satisfied addressing any concerns through the permit.

BUILDING DEPARTMENT:

Written comments were not available at the time of writing this report and will be provided once received. There is a concern with the building exceeding the maximum 10 metre height restriction of structures.

FIRE DEPARTMENT:

No concerns.

ROADS DEPARTMENT:

No comments.

PUBLIC COMMENTS:

None received to-date.

NOTES:

It is unclear how the accessory structure will be accessed.

REPORT PREPARED BY: K. Patzer, Secretary-Treasurer, Committee of Adjustment /
Development Coordinator



PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department

DATE: August 4, 2016
TO: Kelly Patzer, Development Coordinator
Township of Puslinch
FROM: Elizabeth Martelluzzi, Junior Planner
County of Wellington
SUBJECT: **MINOR VARIANCE APPLICATION D13 ODE (O'Dell)**
6615 Concession 1
Rear Pt Lot 5, Concession Gore, Puslinch

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

Planning Opinion

The variance requested would provide relief from the permitted maximum height of 7 metres and the provision to permit an accessory structure in the interior side yard or rear yard only. The applicant has proposed an accessory structure for personal storage in the front yard, with a height of 12 metres.

The minor variance application would maintain the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property. We consider the request minor and have no concerns with the application.

The details of the minor variance application are included in the table below.

Regulation	By-law Section	Required	Proposed
General Provisions, Accessory Uses, Yard Requirements	3.1(d)	The by-law permits a building or structure accessory to a single dwelling, anywhere in an interior side yard or a rear yard, provided that such accessory building or structure is not located closer than two metres to any lot line	Requesting to construct an accessory building for personal storage in the front yard.
General Provisions, Accessory Uses	3.1(c)	The by-law specifies that on lots in excess of 1 hectare within an Agricultural (A) Zone, no accessory building or structure shall exceed 7 metres height.	Requesting an accessory building 12 metres (39 feet) in height.
General Provisions, Height Restrictions	3.8	The by-law specifies that no building or structure shall exceed 10 metres in height (with exception of a list of specific structures)	Requesting an accessory building 12 metres (39 feet) in height.

Our discussion of this application relative to the four tests under the Planning Act is as follows:

Four Tests	Discussion
That the requested variance is minor in nature	<ul style="list-style-type: none">• We would consider both variances minor in nature• Though the accessory structure is proposed in the front yard, it would likely not be visible from the street due to heavy tree cover• The requested 5 metres of relief in height is minor in nature provided the accessory structure is used for personal storage.
That the intent and purpose of the Zoning By-law is maintained	<ul style="list-style-type: none">• The subject property is zoned Agricultural (A) and Natural Environment (NE)• A single detached dwelling and accessory uses are a permitted use within the Agricultural (A) Zone• The intent of the Zoning By-law is maintained
That the general intent and purpose of the Official Plan is maintained	<ul style="list-style-type: none">• The property is designated Core Greenlands and Greenlands. The Greenlands designation that covers the proposed building area represents a Significant Wooded Area, Environmentally Sensitive Area and Life Science ANSI.• Accessory structures are permitted in the underlying Secondary Agricultural Designation
That the variance is desirable for the appropriate development and use of the land, building or structure	<ul style="list-style-type: none">• The tree coverage along the property's frontage suggests that the proposed over-height structure in the front yard would not be highly visible from the road nor from adjacent property owners• It is unclear from application materials provided how the proposed accessory structure will be accessed.

In conclusion, planning staff is of the opinion that the requested variance application **meets the four tests** of the *Planning Act*. I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application.

Respectfully submitted
County of Wellington Planning and Development Department



Elizabeth Martelluzzi, B.URPI
Junior Planner

From: [REDACTED]
[REDACTED]
[REDACTED]
Subject: Minor Variance D13/)DE
Date: August-03-16 12:03:31 PM

Hi Kelly,

I reviewed the Odell Minor Variance. The relief requested does impact any of the items GRCA would comment on, but a permit would be required from the GRCA prior to construction and our office would be satisfied addressing any concerns through the permit.

Therefore we have no comments to provide on the application.

Nathan Garland
Resource Planner
Grand River Conservation Authority

[REDACTED]
[REDACTED]
Office: 1.866.900.4722
Fax: 519.621.4945



Township of Puslinch
7404 Wellington Road #34
Guelph, ON, N1H 6H9
T: (519) 763 – 1226
F: (519) 763 – 5846
www.puslinch.ca

Minor Variance or Permission Application

General Information:

1. Applicant Information:

Registered Owner's Name(s): PHILIP & PAMELA O'DELL

Address: 6615 CONCESSION 1, RR 2

City: PUSLINCH

Postal Code: N0B 2J0

E-mail Address: [REDACTED]

Telephone Number: [REDACTED]

Fax: [REDACTED]

Applicant (Agent) Name(s): _____

Address: _____

City: _____

Postal Code: _____

E-mail Address: _____

Telephone Number: _____

Fax: _____

Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property.

T.D. CANADA TRUST, 425 HESPELER RD. CAMBRIDGE
CONTACT: NEIL WRIGHT 519 623 4770 x300
(LINE OF CREDIT)

Send correspondence to: Owner: ☒ Agent ☐ Other: _____

2. Provide a description of the "entire" property:

Municipal address: 6615 CONCESSION 1, RR 2, PUSLINCH

Concession: GORE Lot: 5 NORTH (BACK PART)

Registered Plan Number: _____

Area: 35.6 ha Depth: 1250 m Frontage: 360 m
88 ac Max (irregular) ft _____ ft

Width of road allowance (if known): _____

Reason for Application:

3. Please indicate the Section of the Planning Act under which this application is being made. Select one:

☒ Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.); or

☐ Section 45(2) relates to a change to or expansion of an existing legal non-conforming use.

4. What is the nature and extent of the relief that is being applied for? (please specifically indicate on sketch).

ALLOW CONSTRUCTION OF STORAGE BUILDING IN THE
"FRONT YARD" OF PROPERTY (NOT IN FRONT OF HOUSE).
ALLOW CONSTRUCTION OF ACCESSORY BUILDING TO
A HEIGHT OF 12 METRES.

5. Why is it not possible to comply with the provisions of the by-law?
(please specifically indicate on sketch).

- CONSTRUCTION AND ACCESS IN THE REAR YARD WOULD INFRINGE OR COME CLOSE TO GREEN LANDS.
- HEIGHT ALLOWS FOR INTERIOR REQUIREMENTS ON SMALLER FOOTPRINT FOR EFFICIENCY.

6. What is the current Official Plan and zoning status?

Official Plan Designation: SECONDARY AGRICULTURAL, GREEN LANDS ^{CORE} ~~GREENLAND~~

Zoning Designation: AGRICULTURE & NATURAL ENVIRONMENT

7. What is the access to the subject property?

Provincial Highway: ☐

Continually maintained municipal road: ☒

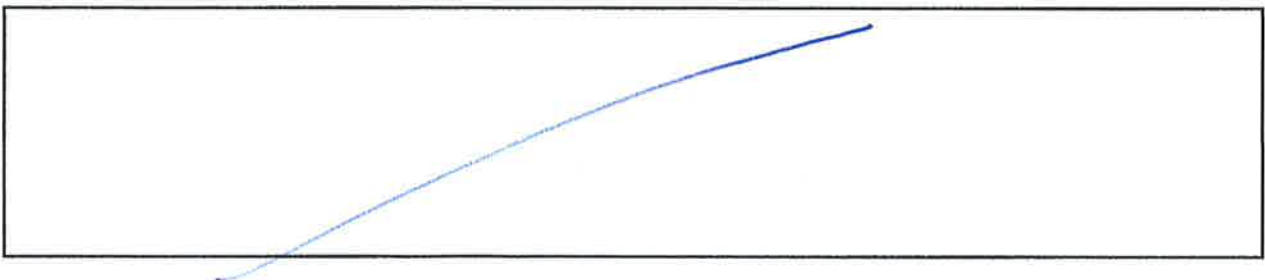
Seasonally maintained municipal road: ☐

Other: ☐ (please specify below)

8. What is the name of the road or street that provides access to the subject property?

CONCESSION 1, PUSLINCH TWP.

9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.



Existing and Proposed Service:

10. Indicate the applicable water supply and sewage disposal:

Water Supply/Sewage Disposal:	Existing:	Proposed:
Municipal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Private Well:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other Water Supply:	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Private Septic:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other Sewage Disposal:	<input type="checkbox"/>	<input type="checkbox"/>

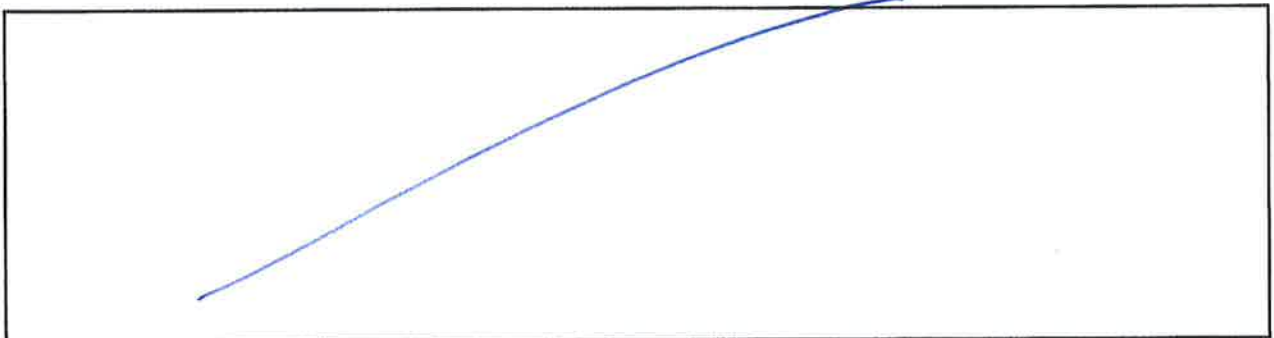
11. How is storm drainage provided?

Storm Sewers: ☐

Ditches: ☐

Swales: ☒

Other means: ☐ (explain below)



Existing Subject and Abutting Property Land Uses, Buildings and their Locations:

12. What is the existing use of:

The subject property? RESIDENTIAL + AGRICULTURAL

The abutting properties? RESIDENTIAL + AGRICULTURAL

13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)

Building Details:	Existing:		Proposed:	
Type of Building(s)/ structures	HOUSE	GARAGE		
Main Building height	10 m	6 m ft.	11 m	ft.
*Percentage lot coverage	.05% m	.03% m ft.	.3% m	ft.
*Number of parking spaces	5		6	
*Number of loading spaces		2	3	
Number of floors	2	2	2	
Total floor area	171 m ²	112 m ft ²	2000 m ²	ft ²
Ground floor area (exclude basement)	168 m ²	99 m ft ²	1100 m ²	ft ²

14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)

Building Details:	Existing:		Proposed:	
Front Yard	HOUSE 80 m	GARAGE 65 m ft.	60 m	ft.
Rear Yard (irregular)	650 m	665 ft.	755 m	ft.
Side Yards E W	35 313 m	48 301 ft.	105 150 m	ft.

15. What are the dates of acquisition and construction of subject property and building property?

Date of acquisition of subject property: OCT 2003

Date of construction of buildings property: 1972

16. How long have the existing uses continued on the subject property? ALWAYS

17. Has the owner previously applied for relief in respect of the subject property?

Yes ☐ No ☒

If the answer is yes, please indicate the file number and describe briefly:





















Other Related Planning Applications:

18. Has an application for any of the following on the subject lands?

Planning Application:	Yes:	No:	File Number:	Approval Authority:	Subject Lands	Purpose:	Status:
Official Plan Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Zoning By-Law Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Plan of Subdivision	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Consent (Severance)	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Site Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Minor Variance	<input type="checkbox"/>	<input checked="" type="checkbox"/>					

Lot 5N Con Gore O'Dell

LEGEND

-  WATERSHED BOUNDARY (GRCA)
-  UTILITY LINE (NRVIS)
-  ROADS-ADDRESSED (MNR)
-  RAILWAY (NRVIS)
-  DRAINAGE-NETWORK (GRCA)
-  PARCELS-ASSESSMENT (MPAC)
-  FLOODPLAIN (GRCA)
-  ENGINEERED
-  APPROXIMATE
-  ESTIMATED
-  WETLAND (GRCA)
-  SLOPE VALLEY (GRCA)
-  STEEP
-  OVERSTEEP
-  SLOPE EROSION (GRCA)
-  STEEP
-  OVERSTEEP
-  TOE
-  DRAINAGE-POLY (NRVIS)
-  2015 ORTHO (OMT)

GRCA Disclaimer

This map is for illustrative purposes only. Information contained hereon is not a substitute for professional review or a site survey and is subject to change without notice. The Grand River Conservation Authority takes no responsibility for, nor guarantees, the accuracy of the information contained on this map. Any interpretations or conclusions drawn from this map are the sole responsibility of the user.





















The source for each data layer is shown in parentheses in the map legend. For a complete listing of sources and citations go to:

<http://grca.grandriver.ca/docs/SourcesCitations2.htm>



L 5N C Gore ODeil MVar

LEGEND

-  **WATERSHED BOUNDARY (GRCA)**
-  **UTILITY LINE (NRVS)**
-  **ROADS-ADDRESSED (MNR)**
-  **RAILWAY (NRVS)**
-  **DRAINAGE-NETWORK (GRCA)**
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-  **STEEP**
-  **OVERSTEEP**
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-  **STEEP**
-  **OVERSTEEP**
-  **TOE**
-  **DRAINAGE-POLY (NRVS)**
-  **2015 ORTHO (QNT)**

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<http://grims.grandriver.ca/docs/SourcesCitations2.htm>

0 60 120 180 240 m.

NAD 1983, UTM Zone 17

Scale 1:5,272

N



SKETCH FOR ODELL
MINOR VARIANCE APPL.

- 1 = EXISTING HOUSE
- 2 = EXISTING GARAGE
- 3 = PROPOSED STORAGE







ATTACHMENT "C"

Planning & Development Advisory Committee Meeting

July 12, 2016

7:00 pm

Council Chambers, Aberfoyle

MINUTES

MEMBERS PRESENT:

John Sepulis, Chair
Councillor Ken Roth
Dianne Paron
Dennis O'Connor

OTHERS IN ATTENDANCE:

Kelly Patzer – Development Coordinator
Aldo Salis – County of Wellington Planning
Colin Vanderwoerd
Kevin Motton
Kevin Johnson
Bruce Rolston
Marc & Helen Jowett

1. - 5. COMMITTEE OF ADJUSTMENT

- See July 12, 2016 Committee of Adjustment Minutes

DEVELOPMENT APPLICATIONS

6. OPENING REMARKS

- The Chair advised the gallery that the following portion of the Committee meeting will be reviewing and commenting on planning development applications.

7. DISCLOSURE OF PECUNIARY INTEREST

- None

8. APPROVAL OF MINUTES

- Moved by Dianne Paron, Seconded by Ken Roth
- That the minutes of the Tuesday June 14, 2016 Planning & Development Advisory Committee Meeting are hereby adopted.

CARRIED

9. APPLICATIONS FOR SITE PLAN APPROVAL

- None

10. ZONING BY-LAW AMENDMENTS

- None

11. LAND DIVISION

- None

12. OTHER MATTERS

12(a) PDAC 2017 Calendar of Meeting Dates and Committee of Adjustment Application Submission Deadline:

- Note the November 2017 meeting date shall be changed to November 14th.

Moved by Ken Roth, Seconded by Dianne Paron that the Planning & Development Advisory Committee approves the 2017 PDAC & Committee of Adjustment meeting dates calendar.

CARRIED

12(b) Request for Township to investigate any potential liability when buildings are labeled “Not Structurally Sound” on application sketches

13. CLOSED MEETING

- No matters

14. FUTURE MEETINGS

- Next Regular Meeting August 9, 2016 @ 7:00 p.m.

15. ADJOURNMENT

Moved by Dennis O’Connor and Seconded by Ken Roth,

- That the Planning & Development Advisory Committee adjourns at 7:28 p.m.

CARRIED

County of Wellington Planning and Land Division Committee
Deborah Turchet, Secretary-Treasurer
Wellington County Administration Centre
74 Woolwich Street, Guelph ON N1H 3T9

July 8, 2016

NOTICE OF AN APPLICATION FOR CONSENT

Ontario Planning Act, Section 53(4)

The County of Wellington Planning and Land Division Committee requests your written comments on this application for consent.

APPLICATION SUBMITTED ON: June 24, 2016

FILE NO. B41/16

APPLICANT

John Pedersen
4214 10th Sideroad South
RR#22
Cambridge ON N3C 2V4

LOCATION OF SUBJECT LANDS:

TOWNSHIP OF PUSLINCH
Part Lot 10
Concession 1

Proposed lot line adjustment is 7.73m x 133.32m = 0.10 hectares (Parcel A on sketch) vacant land to be added to abutting rural residential parcel – John Pedersen (Parcel C on sketch).

Retained parcel is 53.23m fr x 133.32m = 0.71 hectares (Parcel B on sketch) existing and proposed vacant land.

**IF YOU WISH TO SUBMIT COMMENTS ON THIS APPLICATION,
WE MUST HAVE YOUR WRITTEN COMMENTS BEFORE**

August 17, 2016

Please note that if the Comments are not received by the requested date, the Planning and Land Division Committee may proceed to consider the application, and may assume that you have no objection to this APPLICATION for CONSENT.

Please also be advised that if a person or public body that files an appeal of a decision of the County of Wellington Planning and Land Division Committee in respect of the proposed consent has not made written submission to the County of Wellington Planning and Land Division Committee before it gives or refuses to give a provisional consent, then the Ontario Municipal Board may dismiss the appeal.

If you wish to be **NOTIFIED OF THE DATE AND TIME OF THE CONSIDERATION** of this application - **please make your request in writing** to the Planning and Land Division Committee before the "Comments Return Date" noted above.

If you wish to be **NOTIFIED OF THE DECISION** of the County of Wellington Planning and Land Division Committee in respect of this proposed consent, **you must make a request in writing** to the County of Wellington Planning and Land Division Committee. This will also entitle you to be advised of a possible Ontario Municipal Board Hearing. Even if you are the successful party, you should request a copy of the decision since the County of Wellington Planning and Land Division Committee's decision may be appealed to the Ontario Municipal Board by the applicant or another member of the Public

INFORMATION REGARDING THE APPLICATION is available to the public during regular business hours, Monday to Friday at the County of Wellington Planning and Land Division Office- 74 Woolwich St. Guelph ON N1H 3T9. Phone: (519) 837-2600 x2170 Fax: (519) 837-3875

MAILED TO:

Local Municipality - Puslinch County Planning Conservation Authority - GRCA

Bell Canada County Clerk Roads Civic Addressing

Neighbour - as per list verified by local municipality and filed by applicant with this application

APPLICATION FOR CONSENT

Ontario Planning Act

1. Approval Authority:

County of Wellington Planning and Land Division Committee
County of Wellington Administration Centre
74 Woolwich Street, GUELPH, Ontario N1H 3T9

Phone: 519-837-2600, ext. 2170 or 2160 Fax: 519-837-3875

SECTION B

Required Fee: \$ 1025
Fee Received: June 24/16

File No. B41/16

Accepted as Complete on: June 24/16

A COPY OF YOUR CURRENT DEED MUST BE SUBMITTED WITH THIS APPLICATION

SECTION B: Parcel from which land is being transferred

2(a) Name of Registered Owner(s) JOHN PEDERSEN

Address 4214 10TH SIDEROAD SOUTH, RR #22, CAMBRIDGE, ON. N3C 2V4 (MAIL)

Phone No. [REDACTED] Email:

(b) Name and Address of Applicant (as authorized by Owner) BY OWNER

Phone No. Email:

(c) Name and Address of Owner's Authorized Agent:

Phone No. Email:

(d) All Communication to be directed to:

REGISTERED OWNER [X] APPLICANT [] AGENT []

(e) Notice Cards Posted by:

REGISTERED OWNER [X] APPLICANT [] AGENT []

3 (a) Type and Purpose of Proposed Transaction: (Check off appropriate box & provide short explanation)

[X] Conveyance to effect an addition to a lot

[] Other (Specify - e.g. mortgage, lease, easement, Right-of-way, correction of title):

(b) Provide legal description of the lands to which the parcel will be added:

PT LOT 10 CON#1 ROSLINCH, PART 1, CIR-20790, COUNTY OF WELLINGTON

4. (a) Location of Land in the County of Wellington:

Local Municipality: TOWNSHIP OF ROSKINGHAMConcession 1

Lot No. _____

Registered Plan No. 61R-4788

Lot No. _____

Reference Plan No. 61R-4788

Part No. _____

Civic Address 4214 10TH SIDE ROAD, SOUTH, RR 22(b) When was property acquired: 1991 Registered Instrument No. 6411565. Description of Land intended to be SEVERED:Metric [☒]Imperial [☐]Frontage/Width 7.73 m AREA 0.10 HADepth 133.32 Existing Use(s) VACANT LANDExisting Buildings or structures: NONEProposed Uses (s): NO CHANGE

Type of access (Check appropriate space)

Existing [☐]Proposed [☐]☐ Provincial Highway☒ County Road☒ Municipal road, maintained year round☐ Municipal road, seasonally maintained☐ Easement☐ Right-of-way☐ Private road☐ Crown access road☐ Water access☐ OtherType of water supply - Existing [☐] Proposed [☐] (check appropriate space)☐ Municipally owned and operated piped water system☐ Well [☐] individual [☐] communal☐ Lake☐ Other (specify): N/AType of sewage disposal - Existing [☐] Proposed [☐] (check appropriate space)☐ Municipally owned and operated sanitary sewers☐ Septic Tank [☐] individual [☐] communal☐ Pit Privy☐ Other (specify): N/A6. Description of Land intended to be RETAINED:Metric [☒]Imperial [☐]Frontage/Width 53.23 AREA 0.78 haDepth 133.32 Existing Use(s) VACANT LAND

Existing Buildings or structures: _____

Proposed Uses (s): VACANT LAND, NO CHANGE

Type of access (Check appropriate space)

Existing []

Proposed []

- ☐ Provincial Highway
- ☐ County Road
- ☒ Municipal road, maintained year round
- ☐ Municipal road, seasonally maintained
- ☐ Easement

- ☐ Right-of-way
- ☐ Private road
- ☐ Crown access road
- ☐ Water access
- ☐ Other (specify) _____

Type of water supply - Existing [] Proposed [] (check appropriate space)

- ☒ Municipally owned and operated piped water system
- ☒ Well ☒ individual ☐ communal
- ☐ Lake
- ☐ Other (specify): N/A

Type of sewage disposal - Existing [] Proposed [] (check appropriate space)

- ☐ Municipally owned and operated sanitary sewers
- ☒ Septic Tank ☒ individual ☐ communal
- ☐ Pit Privy
- ☐ Other (specify): N/A

7. Is there an agricultural operation, (either a barn, manure storage, abattoir, livestock area or stockyard) within 500 metres of the Subject lands (severed and retained parcels)? YES ☒ NO ☐

*If yes, see sketch requirements and the application must be accompanied by a:
MINIMUM DISTANCE SEPARATION FORM.

8. Is there a landfill within 500 metres [1640 feet]? YES ☐ NO ☒

9. a) Is there a sewage treatment plant or waste stabilization plant within 500 metres [1640']? YES ☐ NO ☒

- b) Is there an individual well or septic system within 45.7 metres [150 feet] of the boundaries of the proposed severed parcel?

YES ☒ NO ☐ If answer to 9b) is YES, these must be shown on the severance sketch

10. Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the lands to be retained or to be severed or within 120 metres [394 feet]? YES ☒ NO ☐

11. Is there any portion of the land to be severed or to be retained located within a floodplain? YES ☐ NO ☒

12. Is there a provincial park or are there Crown Lands within 500 metres [1640']? YES ☒ NO ☐

BOND TRACT.

13. Is any portion of the land to be severed or retained within a rehabilitated mine/pit site? YES ☐ NO ☒

14. Is there an active or abandoned mine, quarry or gravel pit within 500 metres [1640']? YES ☐ NO ☒

15. Is there a noxious industrial use within 500 metres [1640']? YES ☐ NO ☒

16. Is there an active or abandoned principal or secondary railway within 500 metres [1640']? YES ☐ NO ☒

Name of Rail Line Company: _____

17. Is there an airport or aircraft landing strip nearby? YES ☐ NO ☒

18. Is there a propane retail outlet, propane filling tank, cardlock/keylock or private propane outlet/container refill centre within 750 metres of the proposed subject lands? YES ☐ NO ☒

19. PREVIOUS USE INFORMATION:

a) Has there been an industrial use(s) on the site?

YES [] NO ☒ UNKNOWN []

If YES, what was the nature and type of industrial use(s)?

b) Has there been a commercial use(s) on the site?

YES [] NO ☒ UNKNOWN []

If YES, what was the nature and type of the commercial use(s)

c) Has fill been brought to and used on the site (other than fill to accommodate septic systems or residential landscaping?)

YES [] NO ☒ UNKNOWN []

d) Has there been commercial petroleum or other fuel storage on the site, underground fuel storage, or has the site been used for a gas station at any time, or railway siding?

YES [] NO ☒ UNKNOWN []

If YES, specify the use and type of fuel(s)

20. Is this a resubmission of a previous application?

YES [] NO ☒

If YES, is it identical [] or changed [] Provide previous File Number

21. a) Has any severance activity occurred on the land from the holding which existed as of March 1, 2005 and as registered in the Land Registry/Land Titles Office?

YES [] NO ☒

b) If the answer in (a) is YES, please indicate the previous severance(s) on the required sketch and provide: Transferee's Name, Date of the Transfer and Use of Parcel Transferred.

22. Has the parcel intended to be severed ever been, or is it now, the subject of an application for a plan of subdivision or other Consent or approval under the Planning Act or its predecessors?

YES ☒ NO ☒ UNKNOWN []

23. Under a separate application, is the Owner, applicant, or agent applying for additional consents on this holding simultaneously with this application?

YES [] NO ☒

24. Is the application consistent with the Provincial Policy Statement?

YES ☒ NO []

25. Is the subject land within an area of land designated under any provincial plan or plans?

Greenbelt Plan []

Places to Grow ☒

Other []

If YES, does the application conform with the applicable Provincial Plan(s)

YES ☒ NO []

26. a) What is the existing County Official Plan designation of the subject land? (severed and retained)

SECONDARY AGRICULTURE, CORE GREEN LAND.

b) What is the existing Local Official Plan (if any) designation of the subject land? (severed and retained)

N/A

c) If this consent relates directly to an Official Plan Amendment(s) currently under review by an approval authority, please indicate the Amendment Number and the applicable file number(s).

Amendment Number(s): File Number(s):

27. What is the zoning of the subject lands? AGRICULTURE

28. Does the proposal for the subject lands conform to the existing zoning? YES ☒ NO ☐

If NO, a) has an application been made for re-zoning?
YES ☐ NO ☐ File Number _____

b) has an application been made for a minor variance?
YES ☐ NO ☐ File Number _____

29. Are the lands subject to any mortgages, easements, right-of-ways or other charges? YES ☐ NO ☒

If the answer is YES, please provide a copy of the relevant instrument.
For mortgages, provide complete name and address of Mortgagee _____

Questions 30 – 33 must be answered for Applications for severance in the Rural/Agricultural Area -- Otherwise, if this is not applicable to your application, please state "not Applicable"

30. Type of Farm Operation conducted on these subject lands: N/A
Type: Dairy ☐ Beef Cattle ☐ Swine ☐ Poultry ☐ Other ☒ HORSES

31. Dimensions of Barn(s)/Outbuildings/Sheds (that are to remain) Severed & Retained Lands N/A

<u>Severed</u>	Width _____	Length _____	Area _____	Use _____
	Width _____	Length _____	Area _____	Use _____
<u>Retained</u>	Width _____	Length _____	Area _____	Use _____
	Width _____	Length _____	Area _____	Use _____

32. Manure Storage Facilities on these lands: N/A

DRY		SEMI-SOLID		LIQUID	
Open Pile	<input type="checkbox"/>	Open Pile	<input type="checkbox"/>	Covered Tank	<input type="checkbox"/>
Covered Pile	<input type="checkbox"/>	Storage with Buck Walls	<input type="checkbox"/>	Aboveground Uncovered Tank	<input type="checkbox"/>
				Belowground Uncovered Tank	<input type="checkbox"/>
				Open Earth-sided Pit	<input type="checkbox"/>

33. Are there any drainage systems on the retained and severed lands? YES ☐ NO ☒

Type	Drain Name & Area	Outlet Location
Municipal Drain <input type="checkbox"/>		Owner's Lands <input type="checkbox"/>
Field Drain <input type="checkbox"/>		Neighbours Lands <input type="checkbox"/>
		River/Stream <input type="checkbox"/>

34. Source Water Protection Plan

Is the subject land within a Wellhead Protection Area, Issue Contributing Area, or Intake Protection Zone of a Source Protection Plan in effect? YES ☐ NO ☒

If YES, please complete the Source Water Protection Form and submit with your application.

35. Have you had a pre-consultation meeting with County Planning Staff before filling out this application form? YES [☒] NO [☐]

If yes, please indicate the person you have met/spoken to: SARAH NILHEIN

36. If a new farm operation, or new crops, or new farm buildings are being proposed for the severed and/or retained lands. Please provide some details: N/A

37. If you wish to provide some further information that may assist the Planning and Land Division Committee in evaluating your application, please provide by a letter and attach it to this application.

NOTES:

- 1. One original completed application and two original sketches must be filed with the County of Wellington Planning and Land Division office. If original sketch is larger than 11" x 17", 8 additional copies are required plus one sketch reduced to a size of 11" x 17" (or smaller) for office photocopying and circulation to neighbours. Facsimile documents are not acceptable for reasons of the necessity of good photocopying.
- 2. The location of the lands (severed & retained) which are the subject of the application must also be shown on the Surveyor's sketch or on an attached "Key Map" of the local municipality and included with the application.
- 3. Since the filing fee for applications for consent change from time to time, please contact the Planning and Land Division office for current fee information. This fee may be paid in cash or by cheque payable to the County of Wellington.
- 4. Additional information about the process, about any particular application or obtaining application forms may be obtained by attending at the County of Wellington Administration Centre, 74 Woolwich Street, Guelph Ontario N1H 3T9, by telephone at 519-837-2600, ext. 2160 or 2170; or by facsimile (fax) at 519-837-3875.
- 5. Some municipalities also require the applicant to attend at a Planning Advisory Committee or Council meeting to discuss the application prior to the Municipality's submitting comments to the County of Wellington Planning and Land Division Committee. Please check with your local municipality on this matter.
- 6. If the applicant is a Corporation, then the applicant's Declaration or if applicable, the Owner's authorization too, must be signed by an officer of the corporation who has authority to bind the corporation; or the corporation's seal must be affixed.
- 7. ONE CONSOLIDATED SKETCH WITH APPROPRIATE NOTES AND MARKINGS MAY SUFFICE FOR SECTIONS A AND B OF THIS CONSOLIDATED APPLICATION FORM for LOT LINE ADJUSTMENTS ONLY.

APPLICATION FOR CONSENT

Ontario Planning Act

1. Approval Authority:

County of Wellington Planning and Land Division Committee
County of Wellington Administration Centre
74 Woolwich Street, GUELPH, Ontario N1H 3T9

Phone: 519-837-2600, ext. 2170 or 2160 Fax: 519-837-3875

SECTION A

Fee Received: June 24/16

File No. 3411/16

Accepted as Complete on: June 24/16

A COPY OF YOUR CURRENT DEED MUST BE SUBMITTED WITH THIS APPLICATION

SECTION A: Parcel to which land is being added.

2. (a) Name of Registered Owner(s) JOHN PEDERSEN
Address 4214 10TH SIDE ROAD SOUTH, RR #22, CAMBRIDGE, ONT. N3C 2V4 (MAIL)

Phone No. [REDACTED] Email: _____

(b) Name and Address of Applicant (as authorized by Owner) BY OWNER

Phone No. _____ Email: _____

(c) Name and Address of Owner's Authorized Agent: _____

Phone No. _____ Email: _____

(d) All Communication to be directed to:

REGISTERED OWNER ☒ APPLICANT ☐ AGENT ☐

(e) Notice Cards Posted by:

REGISTERED OWNER ☒ APPLICANT ☐ AGENT ☐

3. Location of Land in the County of Wellington:

Local Municipality: PUSLINCH TOWNSHIP
Concession #1 Lot No. PART 1, REAR PART LOT #10.
Registered Plan No. 61R4788 Lot No. _____
Reference Plan No. _____ Part No. _____
Civic Address 4214 10TH SIDE ROAD SOUTH

(b) When was property acquired: 1991 Registered Instrument No. 641150

Township of Puslinch

6703
SECONDARY
AGRICULTURAL

FRONT OR SOUTH
HALF LOT 9

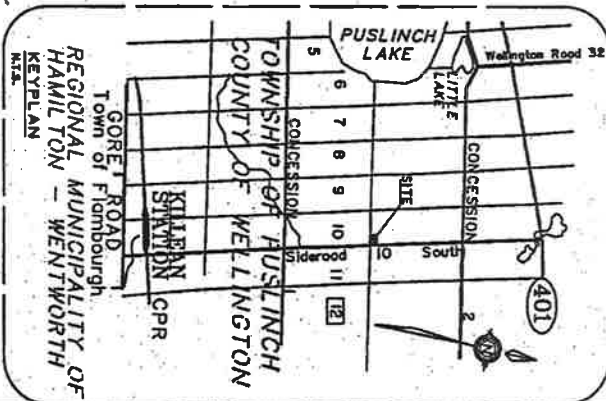
REAR OR NORTH HALF LOT 9

FRONT OR SOUTH
HALF LOT 10

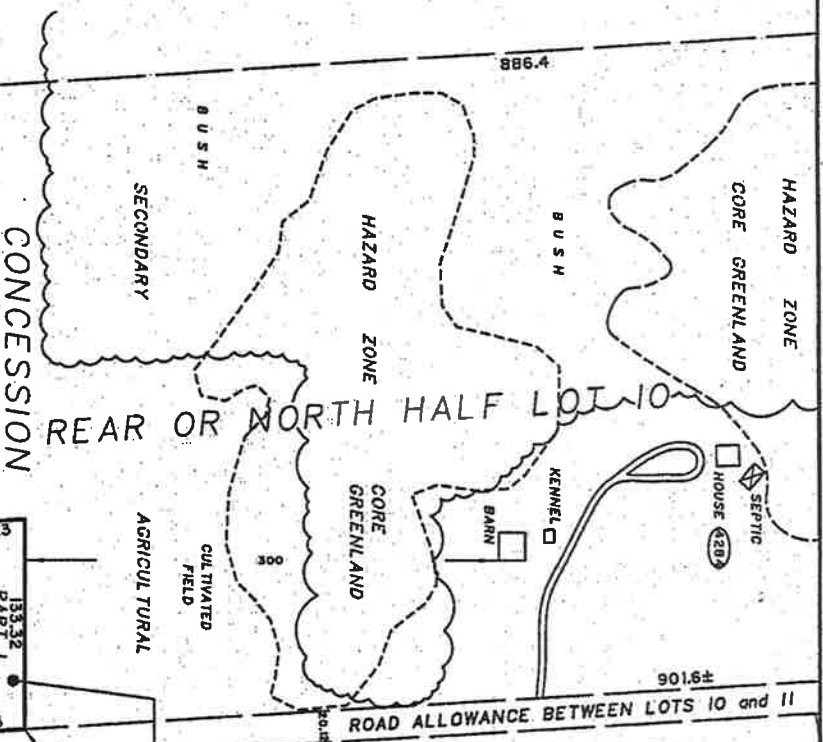
FRONT
OR
SOUTH
HALF
LOT 11

REAR
OR

NORTH HALF LOT 11



SKETCH
PREPARED FOR
SEVERANCE APPLICATION
SCALE 1:3000
METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METERS
AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE
CAUTION: THIS IS NOT A PLAN OF SURVEY AND SHALL NOT
BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.



CONCESSION
CULTIVATED FIELD
PARCEL C
61R-4788
AREA = 0.81 ha

NOTES:
ADD PARCEL A TO
PARCEL C AND MERGE.
FINAL AREA = 0.91 ha ±

PARCEL A
LANDS TO BE SEVERED AND
MERGED WITH PARCEL C
AREA = 0.10 ha ±

PARCEL B
LANDS TO BE RETAINED
AREA = 0.71 ha ± (1.75 ac.)

NOTES:
1. THIS PLAN REPRESENTS A COMPILE OF VARIOUS PLANS AND DOES NOT
REFLECT THE RESULTS OF AN ACTUAL CURRENT FIELD SURVEY.

THIS SKETCH WAS PREPARED FOR
JOHN PEDERSON
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER
PARTIES.

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BLACK, SHOEMAKER, ROBINSON & DONALDSON
LIMITED

BSR&D Ontario Land Surveyors
Urban and Rural Planners

351 Speake Avenue West
Oakville, Ontario, N4H 1C8
TEL: (905) 822-4031
FAX: (905) 822-4030
PROJECT: 18-0334
DATED: JUNE 22, 2001

County of Wellington Planning and Land Division Committee
Deborah Turchet, Secretary-Treasurer
Wellington County Administration Centre
74 Woolwich Street, Guelph ON N1H 3T9

July 8, 2016

NOTICE OF AN APPLICATION FOR CONSENT

Ontario Planning Act, Section 53(4)

The County of Wellington Planning and Land Division Committee requests your written comments on this application for consent.

APPLICATION SUBMITTED ON: June 23, 2016

FILE NO. B43/16

APPLICANT

Lina Trinchini
7287 Concession 1
RR#2
Puslinch ON N0B 2J0

LOCATION OF SUBJECT LANDS:

TOWNSHIP OF PUSLINCH
Part Lot 31
Concession Gore

Proposed lot line adjustment is 0.48562 hectares with 36.576 m frontage, vacant land to be added to abutting rural residential lot – Trink Inc.

Retained parcel is 30.11 hectares with 313.805m frontage, vacant land for proposed rural residential use.

**IF YOU WISH TO SUBMIT COMMENTS ON THIS APPLICATION,
WE MUST HAVE YOUR WRITTEN COMMENTS BEFORE**

August 17, 2016

Please note that if the Comments are not received by the requested date, the Planning and Land Division Committee may proceed to consider the application, and may assume that you have no objection to this APPLICATION for CONSENT.

Please also be advised that if a person or public body that files an appeal of a decision of the County of Wellington Planning and Land Division Committee in respect of the proposed consent has not made written submission to the County of Wellington Planning and Land Division Committee before it gives or refuses to give a provisional consent, then the Ontario Municipal Board may dismiss the appeal.

If you wish to be **NOTIFIED OF THE DATE AND TIME OF THE CONSIDERATION** of this application - **please make your request in writing** to the Planning and Land Division Committee before the "Comments Return Date" noted above.

If you wish to be **NOTIFIED OF THE DECISION** of the County of Wellington Planning and Land Division Committee in respect of this proposed consent, **you must make a request in writing** to the County of Wellington Planning and Land Division Committee. This will also entitle you to be advised of a possible Ontario Municipal Board Hearing. Even if you are the successful party, you should request a copy of the decision since the County of Wellington Planning and Land Division Committee's decision may be appealed to the Ontario Municipal Board by the applicant or another member of the Public

INFORMATION REGARDING THE APPLICATION is available to the public during regular business hours, Monday to Friday at the County of Wellington Planning and Land Division Office- 74 Woolwich St. Guelph ON N1H 3T9. Phone: (519) 837-2600 x2170 Fax: (519) 837-3875

MAILED TO:

Local Municipality - Puslinch County Planning Conservation Authority - GRCA

Bell Canada County Clerk Roads Civic Addressing

Neighbour - as per list verified by local municipality and filed by applicant with this application

APPLICATION FOR CONSENT

Ontario Planning Act

1. Approval Authority:

County of Wellington Planning and Land Division Committee
 County of Wellington Administration Centre
 74 Woolwich Street, GUELPH, Ontario N1H 3T9

Phone: 519-837-2600, ext. 2170 or 2160 Fax: 519-837-3875

SECTION B

Required Fee: \$ 1025

Fee Received: June 23/16

File No. B4B/16

Accepted as Complete on: June 23/16

A COPY OF YOUR CURRENT DEED MUST BE SUBMITTED WITH THIS APPLICATION

SECTION B: Parcel from which land is being transferred

2(a) Name of Registered Owner(s) ~~TRINCHINI~~ LINA TRINCHINIAddress 7287 CONCESSION #1
RR#2 PUSUNCH, ONT NOB-250

Phone No. [REDACTED] Email: [REDACTED]

(b) Name and Address of Applicant (as authorized by Owner)

LINA TRINCHINI
7287 CONCESSION #1, RR#2 PUSUNCH, ON

Phone No. [REDACTED] Email: NOB-250

(c) Name and Address of Owner's Authorized Agent:

Phone No. [REDACTED] Email: [REDACTED]

(d) All Communication to be directed to:

REGISTERED OWNER []

APPLICANT [x]

AGENT []

(e) Notice Cards Posted by:

REGISTERED OWNER []

APPLICANT [x]

AGENT []

3 (a) Type and Purpose of Proposed Transaction: (Check off appropriate box & provide short explanation)

[x] Conveyance to effect an addition to a lot

[] Other (Specify - e.g. mortgage, lease, easement, Right-of-way, correction of title):

(b) Provide legal description of the lands to which the parcel will be added:

4. (a) Location of Land in the County of Wellington:

Local Municipality: PUSLINCH

Concession GORE Lot No. 31

Registered Plan No. _____ Lot No. _____

Reference Plan No. _____ Part No. _____

Civic Address _____

(b) When was property acquired: 2013 Registered Instrument No. _____

5. Description of Land intended to be SEVERED: Metric [] Imperial []

Frontage/Width 36.576m AREA 0.48562 HA

Depth 72.238m Existing Use(s) VACANT

Existing Buildings or structures: NONE

Proposed Uses (s): ADD TO RESIDENTIAL LOT

Type of access (Check appropriate space)	Existing [X]	Proposed []
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Right-of-way	
<input type="checkbox"/> County Road	<input type="checkbox"/> Private road	
<input checked="" type="checkbox"/> Municipal road, maintained year round	<input type="checkbox"/> Crown access road	
<input type="checkbox"/> Municipal road, seasonally maintained	<input type="checkbox"/> Water access	
<input type="checkbox"/> Easement	<input type="checkbox"/> Other	

Type of water supply - Existing [] Proposed [] (check appropriate space)

☐ Municipally owned and operated piped water system

☒ Well ☒ individual ☐ communal

☐ Lake

☐ Other (specify): _____

Type of sewage disposal - Existing [] Proposed [] (check appropriate space)

☐ Municipally owned and operated sanitary sewers

☒ Septic Tank ☒ individual ☐ communal

☐ Pit Privy

☐ Other (specify): _____

6. Description of Land intended to be RETAINED: Metric [X] Imperial []

Frontage/Width 313.805m AREA 30.11 HA

Depth 756.382m Existing Use(s) VACANT

Existing Buildings or structures: NONE

Proposed Uses (s): DWELLING

Type of access (Check appropriate space)

Existing ☒

Proposed ☐

- ☐ Provincial Highway
☐ County Road
☒ Municipal road, maintained year round
☐ Municipal road, seasonally maintained
☐ Easement

- ☐ Right-of-way
☐ Private road
☐ Crown access road
☐ Water access
☐ Other (specify) _____

Type of water supply - Existing ☐ Proposed ☒ (check appropriate space)

- ☐ Municipally owned and operated piped water system
☒ Well ☐ individual ☒ communal
☐ Lake
☐ Other (specify): _____

Type of sewage disposal - Existing ☐ Proposed ☒ (check appropriate space)

- ☐ Municipally owned and operated sanitary sewers
☒ Septic Tank ☒ individual ☐ communal
☐ Pit Privy
☐ Other (specify): _____

7. Is there an agricultural operation, (either a barn, manure storage, abattoir, livestock area or stockyard) within 500 metres of the Subject lands (severed and retained parcels)? YES ☐ NO ☒

*If yes, see sketch requirements and the application must be accompanied by a:
MINIMUM DISTANCE SEPARATION FORM.

8. Is there a landfill within 500 metres [1640 feet]? YES ☐ NO ☒

9. a) Is there a sewage treatment plant or waste stabilization plant within 500 metres [1640']? YES ☐ NO ☒

- b) Is there an individual well or septic system within 45.7 metres [150 feet] of the boundaries of the proposed severed parcel?

YES ☐ NO ☒ If answer to 9b) is YES, these must be shown on the severance sketch

10. Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the lands to be retained or to be severed or within 120 metres [394 feet]? YES ☐ NO ☒

11. Is there any portion of the land to be severed or to be retained located within a floodplain? YES ☐ NO ☒

12. Is there a provincial park or are there Crown Lands within 500 metres [1640']? YES ☐ NO ☒

13. Is any portion of the land to be severed or retained within a rehabilitated mine/pit site? YES ☐ NO ☒

14. Is there an active or abandoned mine, quarry or gravel pit within 500 metres [1640']? YES ☐ NO ☒

15. Is there a noxious industrial use within 500 meters [1640']? YES ☐ NO ☒

16. Is there an active or abandoned principal or secondary railway within 500 metres [1640']? YES ☐ NO ☒

Name of Rail Line Company: _____

17. Is there an airport or aircraft landing strip nearby? YES ☐ NO ☒

18. Is there a propane retail outlet, propane filling tank, cardlock/keylock or private propane outlet/container refill centre within 750 metres of the proposed subject lands? YES ☐ NO ☒

19. PREVIOUS USE INFORMATION:

a) Has there been an industrial use(s) on the site?

YES []

NO ☒

UNKNOWN []

If YES, what was the nature and type of industrial use(s)?

b) Has there been a commercial use(s) on the site?

YES []

NO ☒

UNKNOWN []

If YES, what was the nature and type of the commercial use(s)

c) Has fill been brought to and used on the site (other than fill to accommodate septic systems or residential landscaping?)

YES []

NO ☒

UNKNOWN []

d) Has there been commercial petroleum or other fuel storage on the site, underground fuel storage, or has the site been used for a gas station at any time, or railway siding?

YES []

NO ☒

UNKNOWN []

If YES, specify the use and type of fuel(s)

20. Is this a **resubmission** of a previous application?

YES []

NO ☒

If YES, is it identical [] or changed [] Provide previous File Number

21. a) Has any severance activity occurred on the land from the holding which existed as of March 1, 2005 and as registered in the Land Registry/Land Titles Office?

YES []

NO ☒

b) If the answer in (a) is YES, please indicate the previous severance(s) on the required sketch and provide: **Transferee's Name, Date of the Transfer and Use of Parcel Transferred.**

? 22. Has the parcel intended to be severed ever been, or is it now, the subject of an application for a plan of subdivision or other Consent or approval under the Planning Act or its predecessors?

YES []

NO ☒

UNKNOWN []

? 23. Under a separate application, is the Owner, applicant, or agent applying for additional consents on this holding simultaneously with this application?

YES []

NO ☒

? 24. Is the application consistent with the Provincial Policy Statement?

YES ☒

NO []

? 25. Is the subject land within an area of land designated under any provincial plan or plans?

Greenbelt Plan ☒

Places to Grow []

Other []

If YES, does the application conform with the applicable Provincial Plan(s)

YES []

NO ☒

? 26. a) What is the existing **County Official Plan** designation of the subject land? (severed and retained)

AGRICULTURE

b) What is the existing **Local Official Plan** (if any) designation of the subject land? (severed and retained)

AGRICULTURE

c) If this consent relates directly to an Official Plan Amendment(s) currently under review by an approval authority, please indicate the Amendment Number and the applicable file number(s).

Amendment Number(s):

File Number(s):

27. What is the zoning of the subject lands? AGRICULTURAL.

28. Does the proposal for the subject lands conform to the existing zoning? YES ☒ NO ☐

If NO, a) has an application been made for re-zoning?

YES ☐ NO ☒ File Number _____

b) has an application been made for a minor variance?

YES ☐ NO ☒ File Number _____

29. Are the lands subject to any mortgages, easements, right-of-ways or other charges? YES ☐ NO ☐

If the answer is YES, please provide a copy of the relevant instrument.

For mortgages, provide complete name and address of Mortgagee _____

Questions 30 – 33 must be answered for Applications for severance in the Rural/Agricultural Area -- Otherwise, if this is not applicable to your application, please state "not Applicable"

30. Type of Farm Operation conducted on these subject lands:

Type: Dairy ☐ Beef Cattle ☐ Swine ☐ Poultry ☐ Other ☐

31. Dimensions of Barn(s)/Outbuildings/Sheds (that are to remain) Severed & Retained Lands

	Width	Length	Area	Use
<u>Severed</u>				
<u>Retained</u>				

32. Manure Storage Facilities on these lands:

DRY	SEMI-SOLID	LIQUID
Open Pile <input type="checkbox"/>	Open Pile <input type="checkbox"/>	Covered Tank <input type="checkbox"/>
Covered Pile <input type="checkbox"/>	Storage with Buck Walls <input type="checkbox"/>	Aboveground Uncovered Tank <input type="checkbox"/>
		Belowground Uncovered Tank <input type="checkbox"/>
		Open Earth-sided Pit <input type="checkbox"/>

33. Are there any drainage systems on the retained and severed lands? YES ☐ NO ☐

Type	Drain Name & Area	Outlet Location
Municipal Drain <input type="checkbox"/>		Owner's Lands <input type="checkbox"/>
Field Drain <input type="checkbox"/>		Neighbours Lands <input type="checkbox"/>
		River/Stream <input type="checkbox"/>

34. Source Water Protection Plan

Is the subject land within a Wellhead Protection Area, Issue Contributing Area, or Intake Protection Zone of a Source Protection Plan in effect? YES ☐ NO ☒

If YES, please complete the Source Water Protection Form and submit with your application.

35. Have you had a pre-consultation meeting with County Planning Staff before filling out this application form?

YES []

NO ☒

If yes, please indicate the person you have met/spoken to: _____

36. If a new farm operation, or new crops, or new farm buildings are being proposed for the severed and/or retained lands. Please provide some details:

37. If you wish to provide some further information that may assist the Planning and Land Division Committee in evaluating your application, please provide by a letter and attach it to this application.

NOTES:

1. **One original completed application and two original sketches must be filed with the County of Wellington Planning and Land Division office. If original sketch is larger than 11" x 17", 8 additional copies are required plus one sketch reduced to a size of 11" x 17" (or smaller) for office photocopying and circulation to neighbours. Facsimile documents are not acceptable for reasons of the necessity of good photocopying.**
2. The location of the lands (severed & retained) which are the subject of the application must also be shown on the Surveyor's sketch or on an attached "Key Map" of the local municipality and included with the application.
3. Since the filing fee for applications for consent change from time to time, please contact the Planning and Land Division office for current fee information. This fee may be paid in cash or by cheque payable to the County of Wellington.
4. Additional information about the process, about any particular application or obtaining application forms may be obtained by attending at the County of Wellington Administration Centre, 74 Woolwich Street, Guelph Ontario N1H 3T9, by telephone at 519-837-2600, ext. 2160 or 2170; or by facsimile (fax) at 519-837-3875.
5. Some municipalities also require the applicant to attend at a Planning Advisory Committee or Council meeting to discuss the application prior to the Municipality's submitting comments to the County of Wellington Planning and Land Division Committee. Please check with your local municipality on this matter.
6. If the applicant is a Corporation, then the applicant's Declaration or if applicable, the Owner's authorization too, must be signed by an officer of the corporation who has authority to bind the corporation; or the corporation's seal must be affixed.
7. **ONE CONSOLIDATED SKETCH WITH APPROPRIATE NOTES AND MARKINGS MAY SUFFICE FOR SECTIONS A AND B OF THIS CONSOLIDATED APPLICATION FORM for LOT LINE ADJUSTMENTS ONLY.**

APPLICATION FOR CONSENT

Ontario Planning Act

1. Approval Authority:

County of Wellington Planning and Land Division Committee
County of Wellington Administration Centre
74 Woolwich Street, GUELPH, Ontario N1H 3T9

Phone: 519-837-2600, ext. 2170 or 2160 Fax: 519-837-3875

SECTION A

Fee Received: June 23/16

File No. B43/16

Accepted as Complete on: June 23/16

A COPY OF YOUR CURRENT DEED MUST BE SUBMITTED WITH THIS APPLICATION

SECTION A: Parcel to which land is being added.

2. (a) Name of Registered Owner(s) TRINK INC

Address 7287 CONCESSION # 1
RR# 2 PUSLINCH ONT NOB-270

Phone No. [REDACTED] Email:

(b) Name and Address of Applicant (as authorized by Owner)

LINA TRINCHINI
7287 CONCESSION # 1 RR# 2 PUSLINCH, ON
NOB-270

Phone No. [REDACTED] Email:

(c) Name and Address of Owner's Authorized Agent:

Phone No. Email:

(d) All Communication to be directed to:

REGISTERED OWNER [] APPLICANT [☒] AGENT []

(e) Notice Cards Posted by:

REGISTERED OWNER [] APPLICANT [☒] AGENT []

3. Location of Land in the County of Wellington:

Local Municipality: PUSLINCH

Concession GORE Lot No. 31

Registered Plan No. Lot No.

Reference Plan No. Part No.

Civic Address

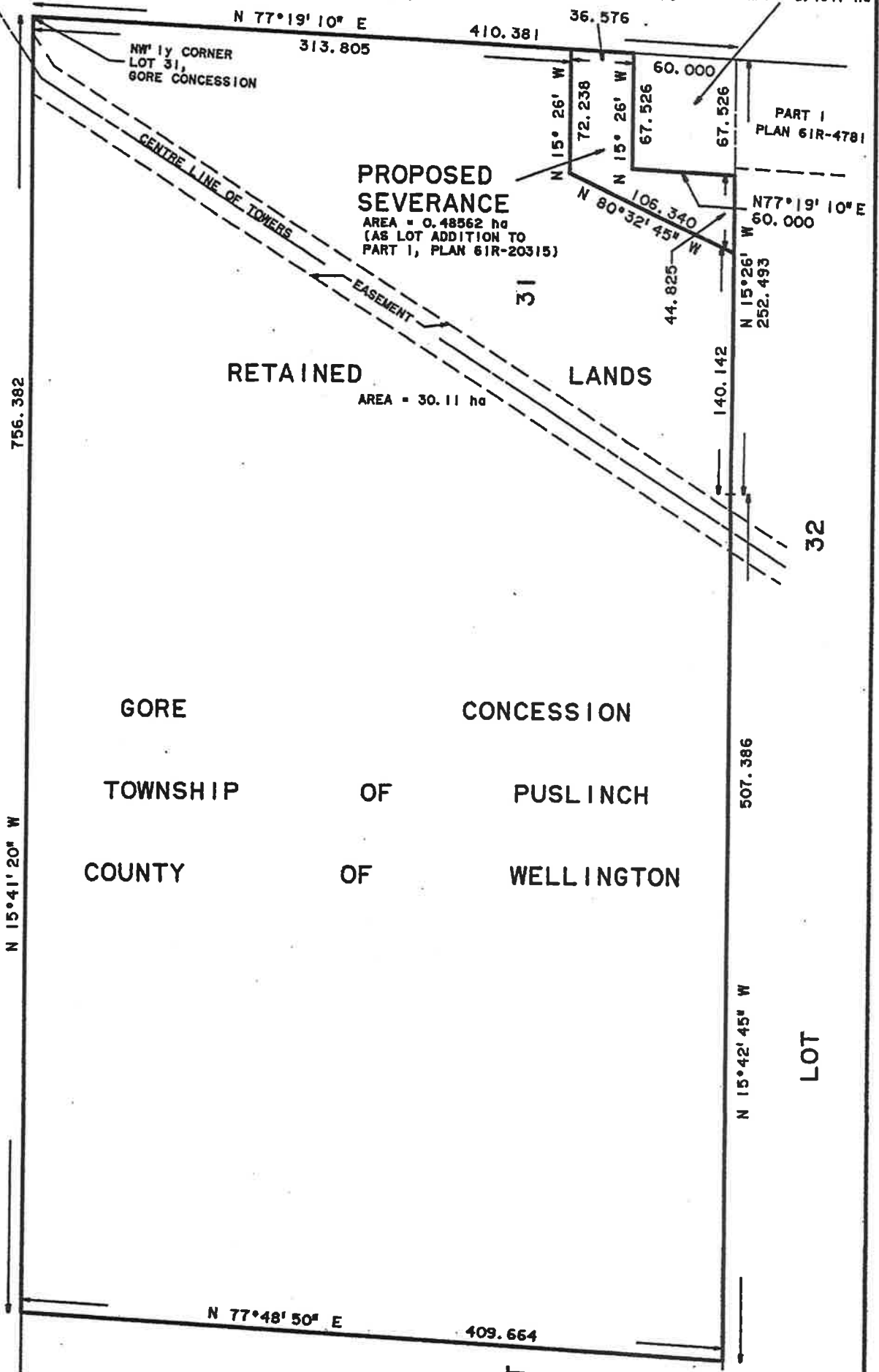
(b) When was property acquired: APRIL 30 2015 Registered Instrument No. WC432595

SKETCH SHOWING PROPOSED SEVERANCE
ON PART OF LOT 31, GORE CONCESSION
TOWNSHIP OF PUSLINCH
COUNTY OF WELLINGTON
SCALE = 1 : 3000 (METRIC)

ROAD ALLOWANCE BETWEEN
CONCESSION 7 & GORE CONCESSION
(20.117 WIDE)

PREVIOUS
SEVERANCE
PART I,
PLAN 61R-20315
AREA = 0.4047 ha

ROAD ALLOWANCE BETWEEN
LOTS 30 & 31
(20.117 WIDE)



GORE CONCESSION
TOWNSHIP OF PUSLINCH
COUNTY OF WELLINGTON

LOT

LOT

JOB NO.

99-3(6)

THIS IS NOT
A PLAN OF SURVEY

JUNE 14, 2016

GUENTHER RUEB SURVEYING LIMITED
KITCHENER, ONTARIO

County of Wellington Planning and Land Division Committee
Deborah Turchet, Secretary-Treasurer
Wellington County Administration Centre
74 Woolwich Street, Guelph ON N1H 3T9

July 8, 2016

NOTICE OF AN APPLICATION FOR CONSENT

Ontario Planning Act, Section 53(4)

The County of Wellington Planning and Land Division Committee requests your written comments on this application for consent.

APPLICATION SUBMITTED ON: June 30, 2016

FILE NO. B50/16

APPLICANT

David & Nadine Deacon
159 Carter Road
Puslinch ON N1H 6H8

LOCATION OF SUBJECT LANDS:

TOWNSHIP OF PUSLINCH
Part Lot 6, East of Blind Line
Reg Plan 131

Proposed severance is 0.402 hectares with 39m frontage, existing vacant land for proposed rural residential use.

Retained parcel is 0.4742 hectares with 57m frontage, existing and proposed rural residential use with existing dwelling & pool. Shed to be removed.

IF YOU WISH TO SUBMIT COMMENTS ON THIS APPLICATION,
WE MUST HAVE YOUR WRITTEN COMMENTS BEFORE

August 17, 2016

Please note that if the Comments are not received by the requested date, the Planning and Land Division Committee may proceed to consider the application, and may assume that you have no objection to this APPLICATION for CONSENT.

Please also be advised that if a person or public body that files an appeal of a decision of the County of Wellington Planning and Land Division Committee in respect of the proposed consent has not made written submission to the County of Wellington Planning and Land Division Committee before it gives or refuses to give a provisional consent, then the Ontario Municipal Board may dismiss the appeal.

If you wish to be NOTIFIED OF THE DATE AND TIME OF THE CONSIDERATION of this application - please make your request in writing to the Planning and Land Division Committee before the "Comments Return Date" noted above.

If you wish to be NOTIFIED OF THE DECISION of the County of Wellington Planning and Land Division Committee in respect of this proposed consent, **you must make a request in writing** to the County of Wellington Planning and Land Division Committee. This will also entitle you to be advised of a possible Ontario Municipal Board Hearing. Even if you are the successful party, you should request a copy of the decision since the County of Wellington Planning and Land Division Committee's decision may be appealed to the Ontario Municipal Board by the applicant or another member of the Public

INFORMATION REGARDING THE APPLICATION is available to the public during regular business hours, Monday to Friday at the County of Wellington Planning and Land Division Office- 74 Woolwich St. Guelph ON N1H 3T9. Phone: (519) 837-2600 x2170 Fax: (519) 837-3875

MAILED TO:

Local Municipality - Puslinch County Planning

GRCA Bell Canada County Clerk Roads Civic Addressing

Neighbour - as per list verified by local municipality and filed by applicant with this application

APPLICATION FOR CONSENT

Ontario Planning Act

1. Approval Authority:

County of Wellington Planning and Land Division Committee
County of Wellington Administration Centre
74 Woolwich Street, GUELPH, Ontario N1H 3T9

Phone: 519-837-2600, ext. 2170 or 2160 Fax: 519-837-3875

Required Fee: \$ 1025Fee Received: June 30/16File No. B50/16Accepted as Complete on: June 30/16

A COPY OF YOUR CURRENT DEED MUST BE SUBMITTED WITH THIS APPLICATION

2. (a) Name of Registered Owner(s) David & Nadine DEACON (Nadine O'NEILL)Address 159 Carter Road, Puslinch, ON, N1H 6H8

Phone No. [REDACTED]

Email: [REDACTED]

(b) Name and Address of Applicant (as authorized by Owner) _____

Phone No. _____

Email: _____

(c) Name and Address of Owner's Authorized Agent: _____

Jeff Buisman of VanHarten Surveying Inc.423 Woolwich Street, Guelph, ON, N1H 3X3

Phone No. [REDACTED]

Email: [REDACTED]

(d) All Communication to be directed to:

REGISTERED OWNER []

APPLICANT []

AGENT [X]

(e) Notice Cards Posted by:

REGISTERED OWNER []

APPLICANT []

AGENT [X]

3. Type and Purpose of Proposed Transaction: (Check off appropriate box & provide short explanation)

RURAL RESIDENTIAL[X] AGRICULTURAL[] URBAN RESIDENTIAL[] COMMERCIAL/INDUSTRIAL[]

To create a new lot for residential purposes.OR

EASEMENT [] RIGHT OF WAY [] CORRECTION OF TITLE [] LEASE []

(a) If known, the name of person to whom the land or an interest in the land is to be transferred, charged or leased.

Future owner is not known

4. (a) Location of Land in the County of Wellington:

Local Municipality: **Township of Puslinch**

Concession

Lot No.

Registered Plan No. 131

Lot No. **Part of Lot 6 East of Blind Line**

Reference Plan No. Parts 1, 2, 3 & 4, 61R-7357 & Parts 1 & 2, 61R-9350

Civic Address **159 Carter Road**

(b) When was property acquired: May 2011 Registered Instrument No. WC312358

5. Description of Land intended to be SEVERED:

Metric [X]

Imperial []

Frontage/Width **39.0 / 55.6 ±** AREA **0.4 ha ±**

Depth	<u>91.4 ±</u>	Existing Use(s)	<u>Residential, vacant yard</u>
-------	---------------	-----------------	---------------------------------

Existing Buildings or structures: **None**

Proposed Uses (s): A new rural residential dwelling

Type of access (Check appropriate space)

Existing []

Proposed [X]

[] Provincial Highway

☐ County Road

☒ Municipal road, maintained year round

[] Municipal road, seasonally maintained

☐ Easement

☐ Right-of-way

☐ Private road

[] Crown access road

☐ Water access

☐ Other

Type of water supply - Existing [] Proposed [X] (check appropriate space)

☐ Municipally owned and operated piped water system

☒ Well ☒ individual ☐ communal

☐ Lake

☐ Other

Type of sewage disposal - Existing [] Proposed [X] (check appropriate space)

☐ Municipally owned and operated sanitary sewers

☒ Septic Tank ☒ individual ☐ communal

☐ Pit Privy

☐ Other (Specify): _____

6. Description of Land intended to be RETAINED: Metric ☒ Imperial ☐

Frontage/Width 57 / 40.4 ± AREA 0.5 ha ±
Depth 91.4 ± Existing Use(s) Rural dwelling
Existing Buildings or structures: Dwelling, pool, shed to be removed
Proposed Uses (s): No Change

Type of access (Check appropriate space)	Existing <input checked="" type="checkbox"/>	Proposed <input type="checkbox"/>
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Right-of-way	
<input type="checkbox"/> County Road	<input type="checkbox"/> Private road	
<input checked="" type="checkbox"/> Municipal road, maintained year round	<input type="checkbox"/> Crown access road	
<input type="checkbox"/> Municipal road, seasonally maintained	<input type="checkbox"/> Water access	
<input type="checkbox"/> Easement	<input type="checkbox"/> Other	

Type of water supply - Existing ☒ Proposed ☐ (check appropriate space)

☐ Municipally owned and operated piped water system
☒ Well ☒ individual ☐ communal
☐ Lake
☐ Other

Type of sewage disposal - Existing ☒ Proposed ☐ (check appropriate space)

☐ Municipally owned and operated sanitary sewers
☒ Septic Tank ☒ individual ☐ communal
☐ Pit Privy
☐ Other (Specify):

7. Is there an agricultural operation, (either a barn, manure storage, abattoir, livestock area or stockyard) within 500 metres of the Subject lands (severed and retained parcels)? YES ☒ NO ☐

*If yes, see sketch requirements and the application must be accompanied by a MINIMUM DISTANCE SEPARATION FORM.

8. Is there a landfill within 500 metres [1640 feet]? YES ☐ NO ☒

9. a) Is there a sewage treatment plant or waste stabilization plant within 500 metres [1640']? YES ☐ NO ☒

b) Is there an individual well or septic system within 45.7 metres [150 feet] of the boundaries of the proposed severed parcel?

YES ☒ NO ☐ If answer to 9b) is YES, these must be shown on the severance sketch

10. Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the lands to be retained or to be severed or within 120 metres [394 feet]? YES ☒ NO ☐

11. Is there any portion of the land to be severed or to be retained located within a floodplain? YES ☐ NO ☒

12. Is there a provincial park or are there Crown Lands within 500 metres [1640']? YES ☐ NO ☒

13. Is any portion of the land to be severed or retained within a rehabilitated mine/pit site? YES ☐ NO ☒

14. Is there an active or abandoned mine, quarry or gravel pit within 500 metres [1640']? YES ☒ NO ☐

15. Is there a noxious industrial use within 500 meters [1640']? YES [] NO [X]
16. Is there an active or abandoned principal or secondary railway within 500 metres [1640']? YES [X] NO []

Name of Rail Line Company: GUELPH JUNCTION RAILWAY

17. Is there an airport or aircraft landing strip nearby? YES [] NO [X]
18. Is there a propane retail outlet, propane filling tank, cardlock/keylock or private propane outlet/container refill centre within 750 metres of the proposed subject lands? YES [] NO [X]

19. PREVIOUS USE INFORMATION:

- a) Has there been an industrial use(s) on the site? YES [] NO [X] UNKNOWN []

If YES, what was the nature and type of industrial use(s)?

- b) Has there been a commercial use(s) on the site? YES [] NO [X] UNKNOWN []

If YES, what was the nature and type of the commercial use(s)

- c) Has fill been brought to and used on the site (other than fill to accommodate septic systems or residential landscaping?) YES [] NO [X] UNKNOWN []

- d) Has there been commercial petroleum or other fuel storage on the site, underground fuel storage, or has the site been used for a gas station at any time, or railway siding? YES [] NO [X] UNKNOWN []

If YES, specify the use and type of fuel(s)

20. Is this a **resubmission** of a previous application? YES [] NO [X]

If YES, is it identical [] or changed [] Provide previous File Number

21. a) Has any severance activity occurred on the land from the holding which existed as of March 1, 2005 and as registered in the Land Registry/Land Titles Office? YES [] NO [X]

- b) If the answer in (a) is YES, please indicate the previous severance(s) on the required sketch and provide:
Transferee's Name, Date of the Transfer and Use of Parcel Transferred.

22. Has the parcel intended to be severed ever been, or is it now, the subject of an application for a plan of subdivision or other Consent or approval under the Planning Act or its predecessors? YES [] NO [X] UNKNOWN []

23. Under a separate application, is the Owner, applicant, or agent applying for additional consents on this holding simultaneously with this application? YES [] NO [X]

24. Is the application consistent with the Provincial Policy Statement? YES [X] NO []

25. Is the subject land within an area of land designated under any provincial plan or plans?

Greenbelt Plan [] **Places to Grow [X]** Other []

If YES, does the application conform with the applicable Provincial Plan(s) YES [X] NO []

26. Is the subject land a proposed surplus farm dwelling?* YES [] NO [X]
 *If yes, an application to sever a surplus farm dwelling must be accompanied by a FARM INFORMATION FORM.

27. a) What is the existing **Local Official Plan** designation(s) of the subject land? (severed and retained)

b) What is the existing **County Official Plan** designation(s) of the subject land? (severed and retained)

Primary Agricultural and Special Policy Area (PA7-4)

c) If this consent relates directly to an Official Plan Amendment(s) currently under review by an approval authority, please indicate the Amendment Number and the applicable file number(s).

Amendment Number(s): _____ File Number(s): _____

28. What is the zoning of the subject lands? Agricultural (A)

29. Does the proposal for the subject lands conform to the existing zoning? YES [X] NO []

If NO, a) has an application been made for re-zoning?
 YES [] NO [] File Number _____

b) has an application been made for a minor variance?
 YES [] NO [] File Number _____

30. Are the lands subject to any mortgages, easements, right-of-ways or other charges? YES [X] NO []

If the answer is YES, please provide a copy of the relevant instrument.
 For mortgages just provide complete name and address of Mortgagee.

Mortgage as in Instrument WC461065 with Equitable Bank at 30 St. Clair Avenue West, Suite 700, Toronto, ON, M4V 3A1.

Questions 31 – 34 must be answered for Applications for severance in the Rural/Agricultural Area -- Otherwise, if this is not applicable to your application, please state “not Applicable”

31. Type of Farm Operation conducted on these subject lands: **None**
 Type: Dairy [] Beef Cattle [] Swine [] Poultry [] Other []

32. Dimensions of Barn(s)/Outbuildings/Sheds (that are to remain) Severed & Retained Lands

<u>Severed</u>	Width	Length	Area	Use
	Width	Length	Area	Use
<u>Retained</u>	Width <u>4±m</u>	Length <u>5±m</u>	Area <u>20±m²</u>	Use <u>Shed to be removed</u>
	Width	Length	Area	Use

33. Manure Storage Facilities on these lands: **None**

DRY		SEMI-SOLID		LIQUID	
Open Pile	[]	Open Pile	[]	Covered Tank	[]
Covered Pile	[]	Storage with Buck Walls	[]	Aboveground Uncovered Tank	[]
				Belowground Uncovered Tank	[]
				Open Earth-sided Pit	[]

June 30, 2016
23621-16

County of Wellington Land Division Committee
74 Woolwich Street
GUELPH, Ontario
N1H 3T9

Attention: Ms. Deborah Turchet

Dear Ms. Turchet,

Re: Severance Application and Sketch
159 Carter Road, RR #2
Part of Lot 6, Registered Plan 131 East of the Blind Line
PIN 71185-0105 & 71185-0184
Township of Puslinch

Please find enclosed an application for a severance on the above-mentioned property. Included with this submission are copies of the severance sketch, completed application form, the required deeds, addresses of neighbouring properties, a cheque to Wellington County for \$1,025 and a cheque to the GRCA for \$380.


Proposal:

The proposal is to create a new rural residential parcel along Carter Road with a frontage of 39m±, width of 55.6m±, depth of 91.4m±, and an area of 0.4 ha±. The severed parcel is the vacant side yard of dwelling #159. The retained parcel will have an area of 0.5 ha±.

The severed parcel has a County Official Plan designation of Prime Agriculture which normally does not support severances for residential uses. However, the subject lands are part of Special Policy Area PA7-4. This section states that "if the livestock operations are not affected or have ceased operation, the uses permitted under the Secondary Agricultural Areas would be allowed without an amendment to this Plan." There are no livestock operations on the subject property therefore the subject lands can be treated as if they are designated Secondary Agricultural. We provide the opinion that the proposed severance meets the requirements of Section 10.4.4 of the Official Plan for lot creation in Secondary Agricultural areas.

Please call me if you or the Planning Staff have any questions.

Van Harten Surveying Inc.




Jeffrey E. Buisman B.E.S, B.Sc.
Ontario Land Surveyor

cc David Deacon

34. Are there any drainage systems on the retained and severed lands? YES [] NO [X]

Type	Drain Name & Area	Outlet Location
Municipal Drain []		Owner's Lands []
Field Drain []		Neighbours Lands []
		River/Stream []

35. Source Water Protection Plan

Is the subject land within a Wellhead Protection Area, Issue Contributing Area, or Intake Protection Zone of a Source Protection Plan in effect? YES [] NO [X]

If YES, please complete the Source Water Protection Form and submit with your application.

36. Have you had a pre-consultation meeting with County Planning Staff before filling out this application form?

YES [X] NO []

If yes, please indicate the person you have met/spoken to: Sarah Wilhelm & Elizabeth Martelluzzi

37. If you wish to provide some further information that may assist the Planning and Land Division Committee in evaluating your application, please provide by a letter and attach it to this application.

Please see covering letter.

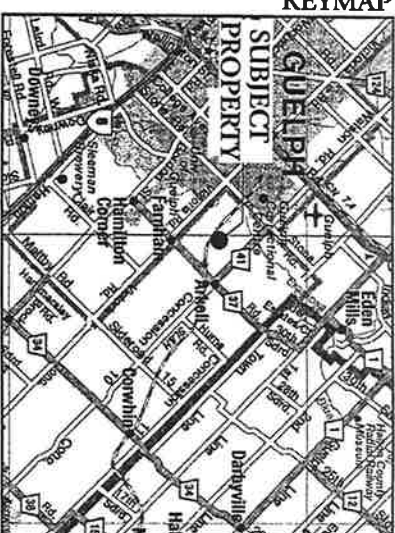
NOTES:

1. One original completed application and two original sketches must be filed with the County of Wellington Planning and Land Division office. If original sketch is larger than 11" x 17", 8 additional copies are required plus one sketch reduced to a size of 11" x 17" (or smaller) for office photocopying and circulation to neighbours. Facsimile documents are not acceptable for reasons of the necessity of good photocopying.
2. The location of the lands (severed & retained) which are the subject of the application must also be shown on the Surveyor's sketch or on an attached "Key Map" and included with the application.
3. Since the filing fee for applications for consent change from time to time, please contact the Planning and Land Division office for current fee information. This fee may be paid in cash or by cheque payable to the County of Wellington.
4. Additional information about the process, about any particular application or obtaining application forms may be obtained by attending at the County of Wellington Administration Centre, 74 Woolwich Street, Guelph Ontario N1H 3T9, by telephone at 519-837-2600, ext. 2160 or 2170; or by facsimile (fax) at 519-837-3875.
5. Generally, regular severance application forms are also available at the local municipal office.
6. Some municipalities also require the applicant to attend at a Planning Advisory Committee or Council meeting to discuss the application prior to the Municipality's submitting comments to the County of Wellington Planning and Land Division Committee. Please check with your local municipality.
7. If the applicant is a Corporation, then the applicant's Declaration or if applicable, the Owner's authorization too, must be signed by an officer of the corporation who has authority to bind the corporation; or the corporation's seal must be affixed.

SEVERANCE SKETCH
PART OF LOT 6
EAST OF THE BLIND LINE
REGISTERED PLAN 131
TOWNSHIP OF PUSLINCH
COUNTY OF WELLINGTON

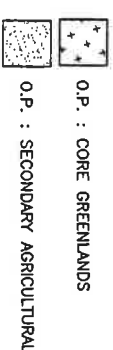
SCALE 1 : 1000

0 10 20 40 60 metres
VAN HARTEN SURVEYING INC.



NOTES:

1. THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE USED FOR REAL ESTATE TRANSFERS OR MORTGAGES.
2. SUBJECT LANDS ARE ZONED AGRICULTURAL.
3. SUBJECT LANDS HAVE AN OFFICIAL PLAN DESIGNATION OF PRIME AGRICULTURAL AND SPECIAL POLICY AREA (PA7-4).
4. DISTANCES ON THIS PLAN ARE SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
5. DIMENSIONS ON THIS SKETCH ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED BY SURVEY.
6. DISTANCES TO BARNS TAKEN FROM GRCA GIS MAPPING WEBSITE.



SURVEYORS CERTIFICATE:

THIS SKETCH WAS PREPARED
ON THE 9th DAY OF JUNE, 2016

JEFFREY E. BUISMAN
ONTARIO LAND SURVEYOR

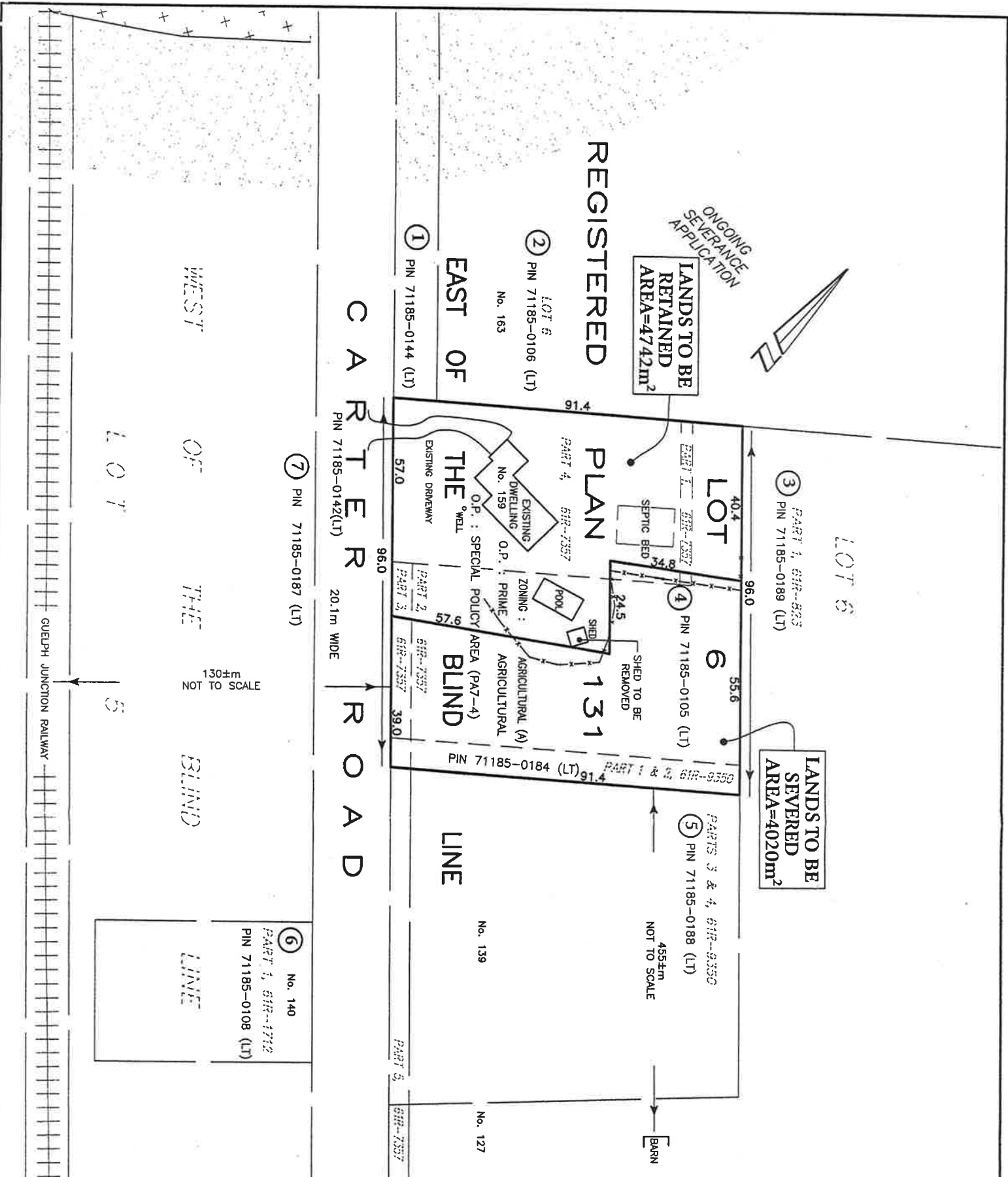


LAND SURVEYORS and ENGINEERS

423 WOOLWICH STREET
GUELPH - ONTARIO, N1H 3X3
PHONE: (519) 821-22763
FAX: 821-22770
www.vanharten.com

660 RIDDELL ROAD, UNIT 1
ORANGEVILLE - ONTARIO, L9W 5G5
PHONE: (519) 840-4110
FAX: 519-840-4113
www.vanharten.com

DRAWN BY: ARN CHECKED BY: JEB PROJECT NO. 23621-16
Jun 09, 2016-9:09am
G:\PUSLINCH\131\ACAD\SEV PT6 (DEACON).dwg



APPLICATION FOR CONSENT

Ontario Planning Act

1. Approval Authority:

County of Wellington Planning and Land Division Committee
County of Wellington Administration Centre
74 Woolwich Street, GUELPH, Ontario N1H 3T9

Phone: 519-837-2600, ext. 2170 or 2160 Fax: 519-837-3875

Required Fee: \$ 1025
Fee Received: July 4/16
File No. BS3/16
Accepted as Complete on: July 4/16

A COPY OF YOUR CURRENT DEED MUST BE SUBMITTED WITH THIS APPLICATION

2. (a) Name of Registered Owner(s) Jackie Harman
Address 4822 Nassagaweya - Puslinch Town line
Moffat, ON LOP 150
Phone No. [REDACTED] Email: [REDACTED]

(b) Name and Address of Applicant (as authorized by Owner)

Phone No. _____ Email: _____

(c) Name and Address of Owner's Authorized Agent:

Phone No. _____ Email: _____

(d) All Communication to be directed to:
REGISTERED OWNER ☒ APPLICANT [] AGENT []
(e) Notice Cards Posted by:
REGISTERED OWNER ☒ APPLICANT [] AGENT []

3. Type and Purpose of Proposed Transaction: (Check off appropriate box & provide short explanation)
RURAL RESIDENTIAL ☒ AGRICULTURAL [] URBAN RESIDENTIAL [] COMMERCIAL/INDUSTRIAL []
OR
EASEMENT [] RIGHT OF WAY [] CORRECTION OF TITLE [] LEASE []

(a) If known, the name of person to whom the land or an interest in the land is to be transferred, charged or leased.

4. (a) Location of Land in the County of Wellington:

Local Municipality: Pusimch Township

Concession 11 Lot No. 14

Registered Plan No. _____ Lot No. _____

Reference Plan No. _____ Part No. _____

Civic Address _____

(b) When was property acquired: 1998 Registered Instrument No. _____

5. Description of Land intended to be SEVERED:

Metric ☒ Imperial ☐

Frontage/Width 75m AREA 0.45 ha

Depth 60m Existing Use(s) agricultural / fallow

Existing Buildings or structures: N/A

Proposed Uses (s): Rural Residential

Type of access (Check appropriate space)	Existing <input checked="" type="checkbox"/>	Proposed <input type="checkbox"/>
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Right-of-way	
<input type="checkbox"/> County Road	<input type="checkbox"/> Private road	
<input checked="" type="checkbox"/> Municipal road, maintained year round	<input type="checkbox"/> Crown access road	
<input type="checkbox"/> Municipal road, seasonally maintained	<input type="checkbox"/> Water access	
<input type="checkbox"/> Easement	<input type="checkbox"/> Other	

Type of water supply - Existing ☐ Proposed ☒ (check appropriate space)

☐ Municipally owned and operated piped water system

☒ Well ☐ individual ☐ communal

☐ Lake

☐ Other _____

Type of sewage disposal - Existing ☐ Proposed ☒ (check appropriate space)

☐ Municipally owned and operated sanitary sewers

☒ Septic Tank (specify whether individual or communal): _____

☐ Pit Privy

☐ Other (Specify): _____

6. Description of Land intended to be **RETAINED**:

Metric ☒

Imperial ☐

Frontage/Width various

AREA 18.92 ha

Depth 274.57 m

Existing Use(s) Agricultural

Existing Buildings or structures: house, shop, barn, run in shed

Proposed Uses (s): same no change

Type of access (Check appropriate space)

Existing ☐

Proposed ☐

☐ Provincial Highway

☐ County Road

☒ Municipal road, maintained year round

☐ Municipal road, seasonally maintained

☐ Easement

☐ Right-of-way

☐ Private road

☐ Crown access road

☐ Water access

☐ Other

Type of water supply - Existing ☐ Proposed ☐ (check appropriate space)

☐ Municipally owned and operated piped water system

☒ Well ☒ individual ☐ communal

☐ Lake

☐ Other

Type of sewage disposal - Existing ☐ Proposed ☐ (check appropriate space)

☐ Municipally owned and operated sanitary sewers

☒ Septic Tank (specify whether individual or communal):

☐ Pit Privy

☐ Other (Specify):

7. Is there an agricultural operation, (either a barn, manure storage, abattoir, livestock area or stockyard) within 500 metres of the Subject lands (severed and retained parcels)? YES ☒ NO ☐
*If yes, see sketch requirements and the application must be accompanied by a MINIMUM DISTANCE SEPARATION FORM.

8. Is there a landfill within 500 metres [1640 feet]? YES ☐ NO ☒

9. a) Is there a sewage treatment plant or waste stabilization plant within 500 metres [1640']? YES ☐ NO ☒

b) Is there an individual well or septic system within 45.7 metres [150 feet] of the boundaries of the proposed severed parcel? YES ☐ NO ☒ If answer to 9b) is YES, these must be shown on the severance sketch

10. Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the lands to be retained or to be severed or within 120 metres [394 feet]? YES ☐ NO ☒

11. Is there any portion of the land to be severed or to be retained located within a floodplain? YES ☐ NO ☒

12. Is there a provincial park or are there Crown Lands within 500 metres [1640']? YES ☐ NO ☒

13. Is any portion of the land to be severed or retained within a rehabilitated mine/pit site? YES ☐ NO ☒

14. Is there an active or abandoned mine, quarry or gravel pit within 500 metres [1640']? YES ☐ NO ☒

15. Is there a noxious industrial use within 500 meters [1640']? YES ☐ NO ☒

16. Is there an active or abandoned principal or secondary railway within 500 metres [1640']? YES [] NO [☒]

Name of Rail Line Company: _____

17. Is there an airport or aircraft landing strip nearby? YES [] NO [☒]

18. Is there a propane retail outlet, propane filling tank, cardlock/keylock or private propane outlet/container refill centre within 750 metres of the proposed subject lands? YES [] NO [☒]

19. PREVIOUS USE INFORMATION:

a) Has there been an industrial use(s) on the site? YES [] NO [☒] UNKNOWN []

If YES, what was the nature and type of industrial use(s)?

b) Has there been a commercial use(s) on the site? YES [] NO [☒] UNKNOWN []

If YES, what was the nature and type of the commercial use(s)

c) Has fill been brought to and used on the site (other than fill to accommodate septic systems or residential landscaping?) YES [] NO [☒] UNKNOWN []

d) Has there been commercial petroleum or other fuel storage on the site, underground fuel storage, or has the site been used for a gas station at any time, or railway siding? YES [] NO [☒] UNKNOWN []

If YES, specify the use and type of fuel(s) _____

20. Is this a **resubmission** of a previous application? YES [] NO [☒]

If YES, is it identical [] or changed [] Provide previous File Number _____

21. a) Has any severance activity occurred on the land from the holding which existed as of March 1, 2005 and as registered in the Land Registry/Land Titles Office? YES [] NO [☒]

b) If the answer in (a) is YES, please indicate the previous severance(s) on the required sketch and provide:
Transferee's Name, Date of the Transfer and Use of Parcel Transferred.

22. Has the parcel intended to be severed ever been, or is it now, the subject of an application for a plan of subdivision or other Consent or approval under the Planning Act or its predecessors? YES [] NO [☒] UNKNOWN []

23. Under a separate application, is the Owner, applicant, or agent applying for additional consents on this holding simultaneously with this application? YES [] NO [☒]

24. Is the application consistent with the Provincial Policy Statement? YES [☒] NO []

25. Is the subject land within an area of land designated under any provincial plan or plans?

Greenbelt Plan [] Places to Grow [] Other [] _____

If YES, does the application conform with the applicable Provincial Plan(s) YES [] NO [☒]

26. Is the subject land a proposed surplus farm dwelling?* YES [] NO [X]
*If yes, an application to sever a surplus farm dwelling must be accompanied by a FARM INFORMATION FORM.

27. a) What is the existing Local Official Plan designation(s) of the subject land? (severed and retained) N/A

b) What is the existing County Official Plan designation(s) of the subject land? (severed and retained) Secondary Agricultural and Core

c) If this consent relates directly to an Official Plan Amendment(s) currently under review by an approval authority, please indicate the Amendment Number and the applicable file number(s).
Amendment Number(s): File Number(s):

28. What is the zoning of the subject lands? Agricultural and Natural Env.

29. Does the proposal for the subject lands conform to the existing zoning? YES [X] NO []

If NO, a) has an application been made for re-zoning? YES [] NO [] File Number
b) has an application been made for a minor variance? YES [] NO [] File Number

30. Are the lands subject to any mortgages, easements, right-of-ways or other charges? YES [] NO [X]
If the answer is YES, please provide a copy of the relevant instrument.
For mortgages just provide complete name and address of Mortgagee.

Questions 31 – 34 must be answered for Applications for severance in the Rural/Agricultural Area -- Otherwise, if this is not applicable to your application, please state "not Applicable"

31. Type of Farm Operation conducted on these subject lands:
Type: Dairy [] Beef Cattle [] Swine [] Poultry [] Other [X] hay & hobby farm

32. Dimensions of Barn(s)/Outbuildings/Sheds (that are to remain) Severed & Retained Lands
Severed N/A Width Length Area Use
Retained Width 6m Length 10m Area 60m² Use horse barn
Width 5m Length 7m Area 35m² Use run in shed

33. Manure Storage Facilities on these lands: N/A N/A

DRY		SEMI-SOLID		LIQUID	
Open Pile	[X]	Open Pile	[]	Covered Tank	[]
Covered Pile	[]	Storage with Buck Walls	[]	Aboveground Uncovered Tank	[]
				Belowground Uncovered Tank	[]
				Open Earth-sided Pit	[]

July 4, 2016

Country of Wellington

Attention: Ms Sarah Wilhelm

Dear Sarah,

Attached is our application for a severance in lot 14 concession 11 in the township of Puslinch. Enclosed with the application are the required drawings, a copy of our deed, a list of the neighbours within 60 metres of our property on the Milton side of the road. Puslinch has sent a list to you directly from the puslinch side. Milton will also send a confirmation email.

We have decided to apply to sever a lot at the corner of our road, the Nassagawey-Puslinch Townline and Maltby road. The reason for this location is to impact our neighbours as little as possible and also to place the new lot on an unproductive part of our property.

The neighbour on the northeast corner of Maltby and Concession 11 is not happy to have a new lot created near his property and therefore we did not want to place the lot immediately behind his lot. The piece of property between his lot and the proposed new lot will be retained as a farm entrance to that field and the remainder will be planted with trees.

We did not want to place the proposed lot beside his property along the 11th concession because the portion of the field along concession 11 is the most productive part. That portion of the field is higher, drier and we have done some work to improve the productivity of that area. In fact the last several years we have not harvested hay from the portion of the field along the Nassagaweya-Puslinch Townline and along maltby road.

Thank you for your consideration.

Sincerely,

A black rectangular box redacting the signature of Jackie Harman.

Jackie Harman

34. Are there any drainage systems on the retained and severed lands?

YES [] NO ☒

Type	Drain Name & Area	Outlet Location
Municipal Drain []		Owner's Lands []
Field Drain []		Neighbours Lands []
		River/Stream []

35. Source Water Protection Plan

Is the subject land within a Wellhead Protection Area, Issue Contributing Area, or Intake Protection Zone of a Source Protection Plan in effect?

YES [] NO ☒

If YES, please complete the Source Water Protection Form and submit with your application.

36. Have you had a pre-consultation meeting with County Planning Staff before filling out this application form?

YES ☒ NO []

If yes, please indicate the person you have met/spoken to: Sarah Wilhelm

37. If you wish to provide some further information that may assist the Planning and Land Division Committee in evaluating your application, please provide by a letter and attach it to this application.

NOTES:

- One original completed application and two original sketches must be filed with the County of Wellington Planning and Land Division office. If original sketch is larger than 11" x 17", 8 additional copies are required plus one sketch reduced to a size of 11" x 17" (or smaller) for office photocopying and circulation to neighbours. Facsimile documents are not acceptable for reasons of the necessity of good photocopying.
- The location of the lands (severed & retained) which are the subject of the application must also be shown on the Surveyor's sketch or on an attached "Key Map" and included with the application.
- Since the filing fee for applications for consent change from time to time, please contact the Planning and Land Division office for current fee information. This fee may be paid in cash or by cheque payable to the County of Wellington.
- Additional information about the process, about any particular application or obtaining application forms may be obtained by attending at the County of Wellington Administration Centre, 74 Woolwich Street, Guelph Ontario N1H 3T9, by telephone at 519-837-2600, ext. 2160 or 2170; or by facsimile (fax) at 519-837-3875.
- Generally, regular severance application forms are also available at the local municipal office.
- Some municipalities also require the applicant to attend at a Planning Advisory Committee or Council meeting to discuss the application prior to the Municipality's submitting comments to the County of Wellington Planning and Land Division Committee. Please check with your local municipality.
- If the applicant is a Corporation, then the applicant's Declaration or if applicable, the Owner's authorization too, must be signed by an officer of the corporation who has authority to bind the corporation; or the corporation's seal must be affixed.

Minimum Distance Separation I (MDS I) Report

Application Date:	27-Jun-2016		
File Number:	Preconsultation (Harmon)		
Preparer Information	Applicant Information		
Sarah Wilhelm	Jackie Harmon	County of Wellington	
	4622 Nassagaweya-Puslinch Townline	Township of Puslinch	
	Puslinch, ON, Canada	Geotownship: PUSLINCH	
		Concession: 11	
		Lot: 14 & 15	

Calculation #1
Spears

Adjacent Farm Contact Information	Farm Location
Barb Spears	Regional Municipality of Halton
12535 Nassagaweya-Puslinch Townline	Town of Milton
Milton, ON, Canada	Geotownship: NASSAGAWEYA
	Concession: 1
	Lot: 20

Manure Form	Type of Livestock/Material	Existing Capacity	Existing NU	Estimated Barn Area
Solid	Horses; Large-framed, mature; > 680 kg (including unweaned offspring)	7	10.0	211 m²

Encroaching Land Use Factor: Type A Land Use

Tillable area of land on this lot: 4 ha

Manure/Material Storage Type: V3. Solid, outside, no cover, >= 30% DM

Factor A (Odour Potential): 0.7

Factor B (Nutrient Units): 220

Factor D (Manure/Material Type): 0.7

Factor E (Encroaching Land Use): 1.1

Total Nutrient Units: 10

Distance from nearest livestock building 'F' (A x B x D x E):	Required Setback	Actual Setback
Distance from nearest permanent manure/material storage 'S':	119 m (389 ft)	
	119 m (389 ft)	

Signature of Preparer:		Date: JUNE 27, 2016
	Sarah Wilhelm	

NOTE TO THE USER:
The Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA) has developed this software program for distribution and use with the Minimum Distance Separation (MDS) Formulae as a public service to assist farmers, consultants, and the general public. This version of the software distributed by OMAFRA will be considered to be the official version for purposes of calculating MDS. OMAFRA is not responsible for errors due to inaccurate or incorrect data or information; mistakes in calculation; errors arising out of modification of the software, or errors arising out of incorrect inputting of data. All data and calculations should be verified before acting on them.



Minimum Distance Separation I (MDS I) Report

Calculation #2
Dickson

Adjacent Farm Contact Information
Victoria Dickson
4614 Concession 11
Puslinch, ON, Canada
Phone #1: 519-821-1553

Farm Location
County of Wellington
Township of Puslinch
Geotownship: PUSLINCH
Concession: 10
Lot: 15

Manure Form	Type of Livestock/Material	Existing Capacity	Existing NU	Estimated Barn Area
Solid	Horses; Large-framed, mature; > 680 kg (including unweaned offspring)	5	7.1	151 m²

Encroaching Land Use Factor: Type A Land Use

Tillable area of land on this lot: 6.1 ha

Manure/Material Storage Type: V3. Solid, outside, no cover, >= 30% DM

Factor A (Odour Potential): 0.7
Factor B (Nutrient Units): 252
Factor D (Manure/Material Type): 0.7
Factor E (Encroaching Land Use): 1.1
Total Nutrient Units: 7

Required Setback	Actual Setback
136 m (445 ft)	
136 m (445 ft)	

Distance from nearest livestock building 'F' (A x B x D x E):
Distance from nearest permanent manure/material storage 'S':

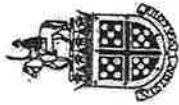
Signature of Preparer:


Sarah Wilhelm

Date: JUNE 27, 2016

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County of Wellington

FARM DATA SHEET
Minimum Distance Separation (MDSI)

NOTE TO THE FACILITY OWNER:

Your cooperation in filling out this sheet will help to ensure that new land uses will be located a suitable distance from your operation.

Owner of Livestock Facility Victoria Dickson
Telephone 09 821 1553 Civic Address 4614 Conc 11
Municipality Pestland Lot 15 Concession 10 DIV Pestland
Tillable Hectares/Acres* on the lot where the livestock facility is located 15 hectares 15 acres
Signature of Livestock Facility Owner Victoria Dickson Date 30/06/16

Permanent Manure or Material Storage Types

Solid Manure: 18% dry matter, or more
Liquid Manure: Less than 18% dry matter
Digestate: Less than 18% dry matter

- 0 No storage required (manure/material stored for less than 14 days)
V1 Solid, inside, bedded pack
V2 Solid, outside, covered
V3 Solid, outside, no cover, greater than or equal 30% dry matter
V4 Solid, outside, no cover, 18% to less than 30% dry matter, with covered liquid runoff storage
L1 Solid, outside, no cover, 18% to less than 30% dry matter, with uncovered liquid runoff storage
V5 Liquid, inside, underneath slatted floor
V6 Liquid, outside, with a permanent, light fitting cover
V7 Liquid, (digestate), outside, no cover

BARN(S) SIZE
(m² / m³)
(m² / m³)
(m² / m³)
Please provide the size of the barns located on the property. This information is required to determine maximum livestock capacity.

Animal Type or Material	Description	Housing Capacity* (maximum)	Manure Storage Type* (select from list above)
Beef Cattle	Cows, including calves in weaning (all breeds)		
	Feeders (7 - 18 months)		
	Backgrounders (7 - 12.5 months)		
	Shortsteppers (12.5 - 17.5 months)		
	Milking-age cows (dry or milking)		
	Large-framed: 545 kg - 638 kg (for example - Holsteins)		
	Medium-framed: 455 kg - 545 kg (for example - Guernseys)		
	Small-framed: 384 kg - 455 kg (for example - Jerseys)		
	Heifers (5 months to freshening)		
	Calves (0 - 5 months)		
Dairy Cattle	Large-framed: 182 kg - 545 kg (for example - Holsteins)		
	Medium-framed: 148 kg - 455 kg (for example - Guernseys)		
	Small-framed: 125 kg - 384 kg (for example - Jerseys)		
	Large-framed: 45 kg - 182 kg (for example - Holsteins)		
	Medium-framed: 30 kg - 148 kg (for example - Guernseys)		
	Small-framed: 30 kg - 125 kg (for example - Jerseys)		
	Sows with litter, dry sows/borners, Segregated Early Weaning (SEW)		
	Breeder gilts (entire barn designed specifically for this purpose)		
	Weaners (7 kg - 27 kg)		
	Feeders (27 kg - 105 kg)		
Swine	Large-framed, mature: >601 kg (including unweaned offspring)		
	Medium-framed, mature: 227 kg - 601 kg (including unweaned offspring)		
Horses	Small-framed, mature: <227 kg (including unweaned offspring)		
	Ewes & rams (for meat lamb; includes unweaned offspring & replacements)		
Sheep	Ewes & rams (dairy operator; includes unweaned offspring & replacements)		
	Lambs (dairy or feeder lambs)		

Animal Type or Material	Description	Housing Capacity*	Manure Storage Type* (select from list above)
Goats	Doe & buck (for meat kids; includes unweaned offspring & replacements)		
	Doe & buck (for dairy; includes unweaned offspring & replacements)		
	Kids (dairy or feeder kids)		
	Laver hens (for eating eggs; after transfer from pullet barn)		
	Laver pullets (day old unit transferred into layer barn)		
	Broiler breeder growers (males/females transferred out to layer barn)		
	Broiler breeder layers (males/females transferred in from grower barn)		
	Broilers on an 8 week cycle		
	Broilers on a 9 week cycle		
	Broilers on a 10 week cycle		
Turkeys	Broilers on a 12 week cycle		
	Broilers on any other cycle, or unknown		
	Turkey pullets (day old unit transferred to layer turkey barn)		
	Turkey broiler layers (males/females transferred in from grower barn)		
	Breeder (males)		
	Broilers (day old to 6.2 kg)		
	Hens (day old up to 6.2 kg to 10.8 kg; 7.5 kg is typical)		
	Toms (day old to over 10.8 kg to 20 kg; 14.5 kg is typical)		
	Turkeys at any other weights, or unknown		
	Milked		
Veal	Grain-fed		
Other			
Manure Imported to a lot not generating manure			
	Medium capacity of permanent storage at any time: solid or liquid capacity		
Anaerobic Digester	Medium capacity of permanent storage at any time: solid or liquid capacity		

*see terms defined on reverse side of page



WELLINGTON COUNTY OFFICIAL PLAN DESIGNATION:

RETAINED PARCEL: SECONDARY AGRICULTURAL & CORE GREENLANDS
SEVERED PARCEL: SECONDARY AGRICULTURAL
RETAINED AND SEVERED PARCEL: PARTS GALT MORANE POLICY AREA

LEGEND:

(4587) DENOTES MUNICIPAL ADDRESS NUMBER
(4587) DENOTES WETLANDS (FROM GRC MAPING)

CAUTION:

1. BOUNDARIES, AREAS & DIMENSIONS SHOWN ON THIS SKETCH ARE APPROXIMATE.
2. BOUNDARIES, AREAS & DIMENSIONS SHOWN ON THIS SKETCH ARE APPROXIMATE.
3. HAVING BEEN COMPILED FROM RELEVANT OFFICE RECORDS AND VARIOUS SURVEYING
DATA, THIS SKETCH IS NOT TO BE USED FOR A COMPLETE UP-TO-DATE LEGAL SURVEY.

SKETCH

PREPARED FOR SEVERANCE APPLICATION
TOWNSHIP OF PUSLINCH
COUNTY OF WELLINGTON

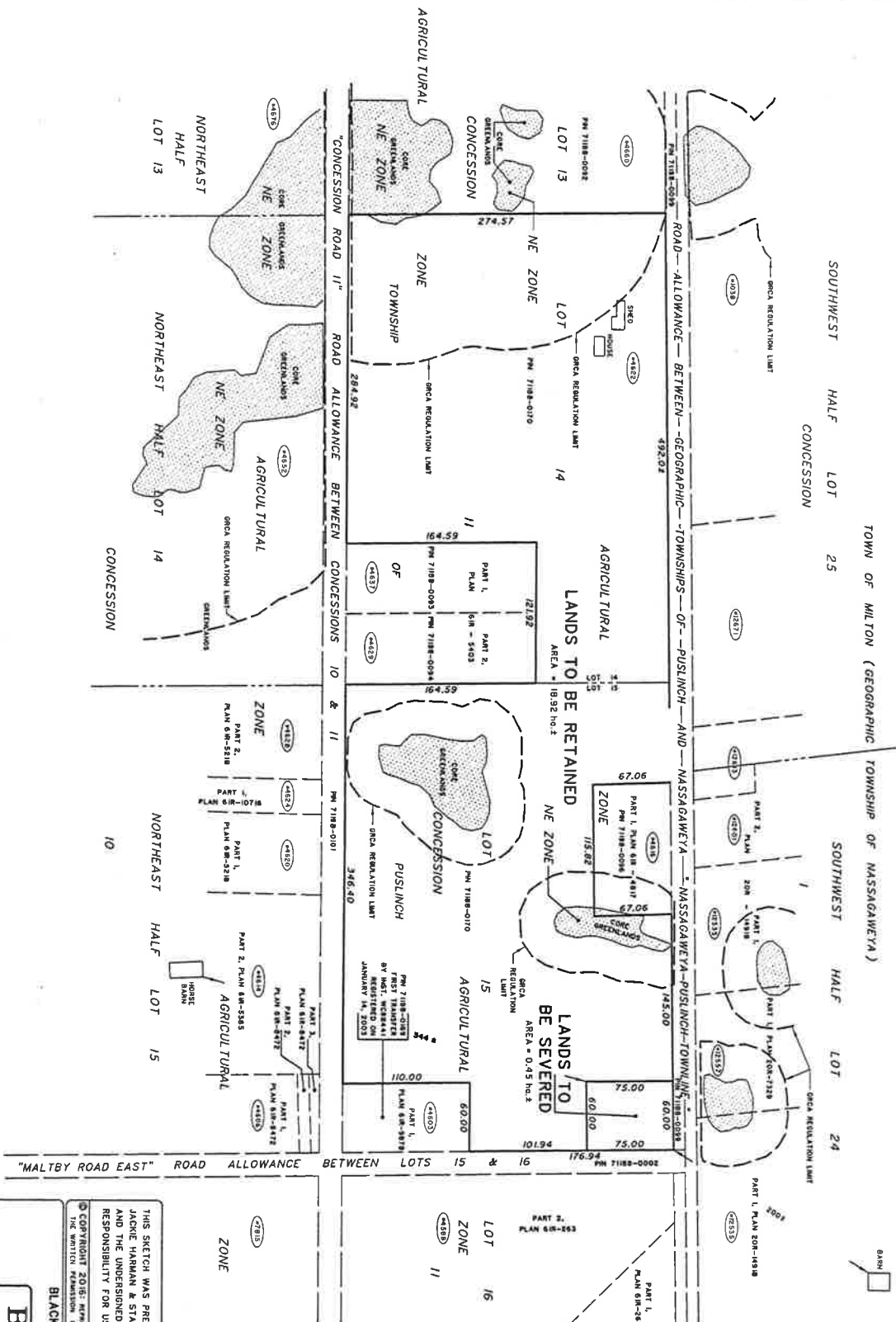
SCALE 1 : 2500

METRIC: DISTANCES SHOWN ON THIS SKETCH ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

CAUTION: THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE
USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

KEY PLAN

NOT TO SCALE



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JAN & ROBINSON
DRAFTED LAND SURVEYOR

BSRP

Ontario Land Surveyors
Urban and Rural Planners

WWW.BSRP.COM

331 Speedvale Avenue West
Oakville, Ontario N4V 1G5

TEL: (519) 822-1220
FAX: (519) 822-1220

DATE: JUNE 23, 2016

KS

PROJECT 16-0270-1