

THE CORPORATION OF THE TOWNSHIP OF PUSLINCH 2015 COUNCIL MEETING

A G E N D A

DATE: Wednesday, October 21, 2015

CLOSED MEETING: 5:30 P.M.

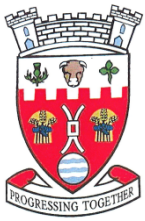
REGULAR MEETING: 7:00 P.M.

≠ Denotes resolution prepared

1. Call the Meeting to Order
2. Disclosure of Pecuniary Interest & the General Nature Thereof.
- ≠ 3. Adoption and Receipt of Minutes of the Previous Meeting.
 - (a) Special Council Meeting – September 29, 2015
 - (b) Budget Meeting – September 30, 2015
 - (c) Council Meeting – October 7, 2015
 - (d) Closed Council Meeting – October 7, 2015
4. Business Arising Out of the Minutes.
5. **PUBLIC MEETINGS**
 1. **Rezoning Application File D14/FRO – Glenn and Yvonne Frosch c/o Robert and Lisa Frosch, Concession Gore, Part Lots 1-3, municipally known as 6525 Concession 1**

***note this Public meeting will be held on Wednesday, October 21, 2015 at 6:30 p.m. at the Municipal Complex – 7404 Wellington Rd. 34**

 - (a) Notice of Public Meeting – Rezoning Application File D14/FRO – Glenn and Yvonne Frosch c/o Robert and Lisa Frosch, Concession Gore, Part Lots 1-3, municipally known as 6525 Concession 1.
 - (b) Report PD-2015-025 – Information Report - Rezoning Application File D14/FRO Glenn and Yvonne Frosch c/o Robert and Lisa Frosch, Concession Gore, Part Lots 1-3, municipally known as 6525 Concession 1.



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH October 21, 2015 COUNCIL MEETING

2. Community Improvement Plan

***note this Public meeting will be held on Thursday, November 5, 2015 at 7:00 p.m. at the Municipal Complex- 7404 Wellington Rd. 34**

(a) Notice of Public Meeting and Open House.

6. COMMUNICATIONS

#1. Green Legacy Committee

(a) Correspondence from County of Wellington regarding Local Representative – Green Legacy Committee dated October 5, 2015.

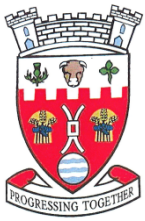
2. 2015 Annual Compliance Assessment Report

(a) Correspondence from Robert Gibson Consulting Services Inc. regarding Annual Compliance Assessment Report for 2015 – Licence #5654 (Martini Pit), North ½ Lot 4, Concession 4, Township of Puslinch Licensee: TGL Ltd. dated September 25, 2015 with attachment. (6576 Forestell Rd)

(b) Correspondence from Robert Gibson Consulting Services Inc. regarding Annual Compliance Assessment Report for 2015 – Licence #5610 (Philips Pit), Part Lots 4 & 5 , Concession 5, Township of Puslinch Licensee: TGL Ltd. dated September 25, 2015 with attachment.

(c) Correspondence from Robert Gibson Consulting Services Inc. regarding Annual Compliance Assessment Report for 2015 – Licence #5709 McKenzie Brothers (Guelph) Limited, Part Lots 3 - 5 , Concession 9, Township of Puslinch Licensee: TGL Ltd. dated September 25, 2015 with attachment. (661 Watson Rd S.).

(d) Correspondence from Robert Gibson Consulting Services Inc. regarding Annual Compliance Assessment Report for 2015 – Licence #15338 McKenzie Brothers (Guelph) Limited, Part Lot 3, Concession 9, Township of Puslinch dated September 25, 2015 with attachment. (661 Watson Rd S.)



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3. **Dufferin Aggregates**

- (a) Correspondence from Dufferin Aggregates regarding August 2015 monitoring report Mill Creek Pit Licence #5738, Lots 21-24, Conc. 2 dated September 11, 2015. **(7115 Concession 2)**

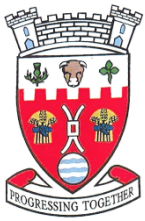
Mr. Stan Denhoed, Harden Environmental Services Ltd. has reviewed the report and is satisfied that there are no exceedences.

- (b) Correspondence from CRH Canada Group Inc. regarding Dufferin Aggregates 2015 Compliance Assessment Reports – Mill Creek Pit Licence #5738 with attachment dated September 25, 2015 with attachment. – 7115 Concession 2
- (c) Correspondence from CRH Canada Group Inc. regarding Dufferin Aggregates 2015 Compliance Assessment Reports – Licence #5483 & 5609 Aberfoyle Pits dated September 25, 2015 with attachments.
- (d) Correspondence from Ministry of Natural Resources and Forestry regarding Licence Amendment under the Aggregate Resources Act, Licence Number 5483 dated September 10, 2015. (Aberfoyle Pit).
- (e) Correspondence from Ministry of Natural Resources and Forestry regarding Licence Amendment under the Aggregate Resources Act, Licence Number 5609 dated September 10, 2015. (Aberfoyle Pit 2).
- (f) Correspondence from County of Wellington regarding Application for Official Plan Amendment, County File OP-2015-04, Dufferin Aggregates – Mill Creek Pit, University of Guelph, Part of Lot 24, Concession 1, Puslinch Township, Part Lots 21, 22, 23, and 24, Concession 2, Puslinch Township dated September 28, 2015.

4. **Licensees Compliance Assessment Report – Aggregate Resources Act**

St. Marys Cement Inc. (Canada)

- (a) Licence ID 5497 (McNally Pit) - 4350 Con. 7
- (b) Licence ID 5531 (Edgington 1 Pit), Pt Lot 25, Con. 7
- (c) Licence ID 5563 (Coburn Pit) – Pt Lot 23, Con. 7
- (d) Licence ID 5520 (Aberfoyle Pit) – Pt Lot 24 & 25, Con 7
- (e) Licence ID 5734 (Edgington 2 Pit) – Pt Lot 25, Con. 7



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- (f) Licence ID 5737 (McMilan Pit) – Pt. Lot 22, Con. 1
- (g) Licence ID 48576 (Tikal) - Pt. Lot 21, Con. 9 – Victoria Rd.
- (h) Licence ID 624864 (McNally East) – Pt. Lot 27, Con. 2
- (i) Licence ID 625284 (Neubauer pit) – Pt. Lot 27, Con. 1
- (j) Licence ID 129817 (Mast Snyder) - 6848 Forestell Rd
- (k) Licence ID 625189 – Pt. Lots 1 & 2, Conc. 3&4 - 6618 and 6524 Roszell Rd
- (l) Licence ID 624952 (Lanci) – Concession 2/Sideroad 25
- (m) Licence ID 17600 - Pt. Lot 26, Conc 1 - 4313 Sideroad 25 S

5. **Meadows of Aberfoyle**

- (a) Correspondence from Stan Denhoed, Harden Environmental Services Ltd. to Township regarding Permit to Take Water – Meadows of Aberfoyle dated October 1, 2015.

#6. **County of Wellington – Draft Official Plan Amendment to Update Community Improvement Policies**

- (a) Correspondence from County of Wellington to Township regarding Request for Comment, Draft Official Plan Amendment to Update Community Improvement Policies with attachments dated October 6, 2015.

#7. **Speed Limit Request**

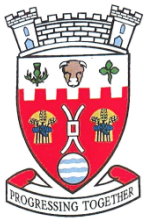
- (a) Correspondence from Bill Dennis regarding request to lower speed limit – Watson Rd. South of 401 to Leslie Rd. dated October 12, 2015.

#8. **Intergovernmental Affairs**

- (a) Various correspondence for review.

7. **DELEGATIONS/PRESENTATIONS**

- #1. **7:05 p.m.** – Mr. Brandon Flewwelling, Associate-Senior Planner, GSP Group Inc. and Mr. Hugh Handy, Associate, GSP Group Inc. regarding Persian Investments Inc. * **See Agenda Item 8.4(b)**



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- ≠2. **7:25 p.m.** – Mr. Don Kudo, Deputy City Engineering/Manager, Infrastructure Services and Mr. Philip Rowe from R. J. Burnside and Associates, regarding Update on City of Guelph, Niska Rd. Environmental Assessment.

(a) Municipal Class Environmental Assessment for Niska Road Improvements – Presentation by R. J. Burnside and Associates and City of Guelph
Supporting documents:

- i. Niska Road Cultural Heritage Landscape Addendum report
- ii. City of Guelph Heritage Committee and River Systems Advisory Committee resolutions

***note delegations with respect to the City of Guelph R.J. Burnside and Associates Niska Road presentation will immediately follow the presentation.**

- ≠3. Ms. Sandy Nichols, regarding Niska Rd.
- ≠4. Mr. Shugang Li, regarding Niska Rd.
- ≠5. Ms. Nicole Abouhalka, regarding Niska Bridge.
- ≠6. Ms. Hanna Boos, regarding Niska Bridge.

8. **REPORTS**

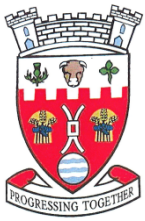
1. **Puslinch Fire and Rescue Services**

- ≠ (a) Puslinch Fire and Rescue Services Response Report – September 2015

2. **Finance Department**

- ≠ (a) Financial Reports –September 2015

- i. Financial Report as of September 30, 2015
- ii. Cheque Register –September 1 to September 30, 2015
- iii. Financial Report By Department –September 2015
- iv. Total Revenues, Contributions from Working Reserves and Expenditures – All Departments – September 2015



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3. **Administration Department**

None.

4. **Planning and Building Department**

≠ (a) Chief Building Official Report – September, 2015

≠ (b) Report from County of Wellington Planning and Development Department regarding Zoning By-law Amendment – Application D14/PER, Part Lot 16, Concession 7, Township of Puslinch, 424 Maltby Road – Persian Investments Limited Proposed Industrial Development with attachments dated October 14, 2015.

≠ (c) Report PD-2015-026 - Conditional Building Permit Agreement - Release of Securities – Jeffrey Born and Vicki Dickson – Con 10 PT Lot 15 RP 61R5385 Part 2 PT - 4614 Concession 11, Puslinch

5. **Roads & Parks Department**

≠ (a) Report PW-2015-004 – Costing of Paved Shoulders and Edge Line Painting

≠ (b) Report PW-2015-005 – Authorizing Speed Limits By-Law 53/12

6. **Recreation Department**

None.

7. **Mayor's Updates**

None.

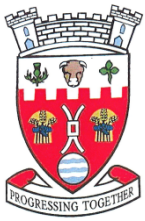
≠ 9. **NOTICES OF MOTION**

(a) Councillor Bulmer - Amendment to the Township's Site Plan Control By-law 16/08.

*** note to be distributed under separate cover on Monday, October 19, 2015**

10. **COMMITTEE MINUTES**

None.



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October 21, 2015 COUNCIL MEETING

11. **MUNICIPAL ANNOUNCEMENTS**

12. **UNFINISHED BUSINESS**

≠ 13. **CLOSED ITEMS**

- (a) Confidential Communication from Aird & Berlis LLP dated October 9, 2015, regarding litigation or potential litigation, including matters before administrative tribunals affecting the municipality or local board and advice that is subject to Solicitor-Client privilege, including communications necessary for that purpose – Reid – 7827 Wellington Rd. 36
- (b) Confidential Verbal Report from Karen Landry CAO/Clerk, regarding litigation or potential litigation, including matters before administrative tribunals affecting the municipality or local board – 599 Arkell Rd.
- (c) Confidential Verbal Report from Karen Landry, CAO/Clerk, regarding a proposed or pending acquisition or disposition of land by the municipality or local board and litigation or potential litigation, including matters before administrative tribunals, affecting the municipality or local board – Plan 386

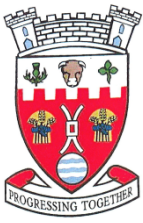
14. **BY-LAWS**

None.

≠15. **CONFIRMING BY-LAW**

- (a) By-law to confirm the proceedings of Council for the Corporation of the Township of Puslinch

≠16. **ADJOURNMENT**



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH
September 29, 2015 SPECIAL COUNCIL MEETING

MINUTES

DATE: Tuesday, September 29, 2015

TIME: 1:00 P.M.

The September 29, 2015 Special Council Meeting was held on the above date and called to order at 1:05 p.m. in the Puslinch Community Centre, 23 Brock Rd South, Guelph.

1. **ATTENDANCE:**

Mayor Dennis Lever
Councillor Matthew Bulmer
Councillor Susan Fielding - Absent
Councillor Ken Roth
Councillor Wayne Stokley

STAFF IN ATTENDANCE:

1. Donna Tremblay, Deputy Clerk
2. Karen Landry, CAO/Clerk
3. Mary Hasan, Director of Finance/Treasurer
4. Paul Creamer, Acting Director of Finance/Treasurer
5. Don Creed, Director of Public Works & Parks
6. Steve Goode, Fire Chief
7. Robert Kelly, Chief Building Official

OTHERS IN ATTENDANCE

1. John Whitesell, Managing Partner, Whitesell & Company

2. **DISCLOSURE OF PECUNIARY INTEREST & THE GENERAL NATURE THEREOF:**

None.

3. **Community Based Strategic Plan – Planning Session**

- i. Mission
- ii. Vision
- iii. Strategic Priorities

Mr. John Whitesell, Managing Director, Whitesell & Company lead Council and Township Staff in several small group discussions regarding the Township's Mission and Vision and Strategic Priorities.

4. **CONFIRMING BY-LAW**

- (a) By-Law to confirm the proceedings of Council for the Corporation of the Township of Puslinch

Resolution 2015-356 Moved by Councillor Stokley and
Seconded by Councillor Roth

That the following By-law be taken as read three times and finally passed in open Council:

- By-Law **53/15** being a by-law to confirm the proceedings of Council for the Corporation of the Township of Puslinch at its meeting held on the 29th day of September 2015.

CARRIED



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH
September 29, 2015 SPECIAL COUNCIL MEETING

5. **ADJOURNMENT:**

Resolution No. 2015-357: Moved by Councillor Stokley and
Seconded by Councillor Roth

That Council hereby adjourns at 4:57 p.m.

CARRIED

Dennis Lever, Mayor

Karen Landry, CAO Clerk



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH
September 30, 2015 COUNCIL BUDGET MEETING

MINUTES

DATE: Wednesday, September 30, 2015

TIME: 9:00 A.M.

The Council Budget Meeting was held on the above date and called to order at 9:00 a.m. in the Council Chambers, Aberfoyle.

1. **ATTENDANCE:**

Mayor Dennis Lever
Councillor Matthew Bulmer
Councillor Susan Fielding
Councillor Ken Roth
Councillor Wayne Stokley

STAFF IN ATTENDANCE:

1. Karen Landry, CAO/Clerk
2. Donna Tremblay, Deputy Clerk
3. Mary Hasan, Director Finance/Treasurer
4. Paul Creamer, Acting Director Finance/Treasurer
5. Don Creed, Director of Public Works and Parks
6. Steve Goode, Fire Chief
7. Robert Kelly, Chief Building Official

2. **DISCLOSURE OF PECUNIARY INTEREST & THE GENERAL NATURE THEREOF:**

None.

3. **REPORTS:**

Finance Department

1. Report FIN-2015-031 – 2016 Proposed Budget

Mary Hasan, Director of Finance/Treasurer provided Council with a summary of the key points regarding Report FIN-2015-031 – 2016 Proposed Budget.

Council requested staff to follow up on the following related to the Proposed 2016 Capital and Operating Budgets as follows:

Item – Nassageweya Puslinch Townline

Councillor Bulmer inquired as to whether the Township had considered offering a lesser amount than the 50% request for the road repairs given that the Township has jurisdiction over 1.5 km of the 6 km of roadway. Don Creed, Director of Public Works and Parks indicated that the Township had previously provided 30% of the project or \$300,000 which was financed over 10 years by the Town of Milton. Mr. Creed indicated that the Township could inquire of Milton as to whether this arrangement could be made again on this project.

Badeoch Community Centre

Council requested staff to switch the timing of the exterior wall repairs with the interior wall repairs.



Item Caroll Pond & Lesic-Jassal Municipal Drain

Council inquired as to whether the Township has a Maintenance Agreement with the County of Wellington and whether the Township has inquired of the County of Wellington as to whether they wish to participate in the costs. Karen Landry, CAO/Clerk advised that the Township would be making these inquiries of the County of Wellington.

Item Clothing and Safety – All Departments

Council requested that staff provide a chart showing the total annual costs of this expense. Karen Landry, CAO/Clerk advised the Chart will be updated and staff will report back with this information when reporting back on the Expense Policy.

Item Contributions to Working Reserves and Reserve Funds

Council expressed concerns regarding the 2016 proposed budget not including contributions to working reserves and reserve funds.

Council recessed from 10:55 a.m. to 11:00 a.m.

Item – Parks Trail Development

Councillor Roth inquired as to whether the works associated with the trail development could be undertaken by Township Staff. Councillor Bulmer advised that Friends of Mill Creek may be interested in working with the Township through their Ranger Program. Councillor Bulmer requested that staff provide him with details of the scope of work and he could make inquiries at the next Friends of Mill Creek meeting regarding their interest.

Item - Video and Audio Recording of Council Meetings

Council requested staff to follow up on audio recordings of Council meetings versus audio and video recordings.

Resolution 2015-358 : Moved by Councillor Stokley and
Seconded by Councillor Fielding

That Report FIN-2015-031 - regarding the 2016 Proposed Budget be received; and

That the Parkland Trail Development project at the Puslinch Community Centre Park with an estimated cost of \$37,800 be funded as \$18,900 through the Wellington County Trail Funding Program and \$18,900 through the Township's Parks and Recreation Development Charge Reserve Fund; and

That staff report back on the implementation of a \$1,000,000 capital tax funded program in May 2016 to effectively address the Township's future capital requirements.

CARRIED

2. Report FIN-2015-032 – 2015 Completed Capital Projects (Projected)

Resolution 2015-359 : Moved by Councillor Stokley and
Seconded by Councillor Fielding



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH
September 30, 2015 COUNCIL BUDGET MEETING

That Report FIN-2015-032 regarding the 2015 Completed Capital Projects (Projected) be received.

CARRIED

3. Report FIN-2015-33 – Balances in Working Reserves and Reserve Funds (Projected)

Councillor Bulmer requested that for clarification purposes the language be changed from Reserve Funds to Restricted Reserve Funds and Unrestricted Reserve Funds.

Resolution 2015-360 : Moved by Councillor Roth and
Seconded by Councillor Bulmer

That Report FIN-2015-33 regarding the Balances in Working Reserves and Reserve Funds (Projected) be received.

CARRIED

4. **2016 Proposed Capital Budget Presentations**

- (a) Steve Goode, Fire Chief – Fire and Rescue Services Department
- (b) Don Creed, Director Public Works and Parks - Public Works Department, Optimist Recreation Centre and Parks Department
- (c) Karen Landry, CAO/Clerk –Corporate Department
- (d) Mary Hasan, Director of Finance/Treasurer – Finance Department
- (e) Donna Tremblay, Deputy Clerk – Puslinch Community Centre
- (f) Robert Kelly, Chief Building Official – Building Department and Planning Department

Steve Goode, Fire Chief made a presentation to Council regarding the Quint Apparatus.

Council requested that further Operating and Capital Budget meeting be set for November 25, 2015 commencing at 9:00 a.m. in order to take into recommendations contained in the Fire Master Plan.

5. **BY-LAW:**

Resolution 2015-361 Moved by Councillor Bulmer and
Seconded by Councillor Roth

That the following By-law be taken as read three times and finally passed in open Council:

- (a) By-Law **54/15** being a by-law to confirm the proceedings of Council for the Corporation of the Township of Puslinch at its meeting held on the 30th day of September, 2015.

CARRIED

6. **ADJOURNMENT:**

Resolution No. 2015-362: Moved by Councillor Stokley and
Seconded by Councillor Fielding

That Council hereby adjourns at 12:12 p.m.

CARRIED

Dennis Lever, Mayor

Karen Landry, CAO/Clerk



MINUTES

DATE: Wednesday, October 7, 2015

TIME: 12:00 noon.

The October 7, 2015 Regular Council Meeting was held on the above date and called to order at 12:00 noon in the Council Chambers, Aberfoyle.

1. ATTENDANCE:

Mayor Dennis Lever
Councillor Matthew Bulmer
Councillor Susan Fielding
Councillor Ken Roth
Councillor Wayne Stokley

STAFF IN ATTENDANCE:

1. Donna Tremblay, Deputy Clerk
2. Karen Landry, CAO/Clerk
3. Paul Creamer, Director of Finance/Treasurer
4. Steve Goode, Fire Chief

OTHERS IN ATTENDANCE

1. Doug Smith
2. Aldo Salis
3. Steve Smith
4. Kathy White
5. Karen Lever
6. Joanne Townes
7. Stephen Goyda
8. John Slood
9. Jessica Goyda
10. Dave Prior

2. DISCLOSURE OF PECUNIARY INTEREST & THE GENERAL NATURE THEREOF:

None.

3. ADOPTION OF THE MINUTES:

- (a) Council Meeting – September 16, 2015
- (b) Closed Council Meeting – September 16, 2015

Resolution No. 2015-363: Moved by Councillor Stokley and
Seconded by Councillor Fielding

That the minutes of the following meetings be adopted as written and distributed:

- (a) Council Meeting – September 16, 2015, as amended
- (b) Closed Council Meeting – September 16, 2015

CARRIED

4. BUSINESS ARISING OUT OF THE MINUTES:

None.



5. PUBLIC MEETINGS:

2016 International Plowing Match discussions on this matter will occur upon conclusion of all other business items on this Agenda.

- i. Township of Puslinch Theme
- ii. Inclusion of local business, artists and/or musical talent groups
- iii. Budget for IPM contributions.

Council suggested that the Puslinch theme could be “Horse Power” and that each member of Council would submit to Ms. Herner directly suggested business, artists and/or musical talent groups. Ms. Herner will be preparing information to submit to members Council should they wish to contact groups directly. Council set a preliminary budget amount of \$3,500.

6. COMMUNICATIONS:

**1. Puslinch Pit – Cox Construction Limited
6803 Laird Road, Township of Puslinch**

- (a) Memorandum from Aldo Salis, Manager of Development Planning, County of Wellington regarding Vertical Zoning and Proposed Rezoning of Cox Site Township of Puslinch Zoning By-law Amendment File D14/COX Cox Construction Laird Road.
- (b) Revised Site Plan drawings – refer to changes on Page 2 of 3 under Item 22 and Hours of Operation and on Page 3 of 3 under item 16.
- (c) Email correspondence dated September 25, 2015 from Seanna Richardson, Ministry of Natural Resources and Forestry, Guelph District, acknowledging revisions.

Resolution No. 2015-364: Moved by Councillor Fielding and
Seconded by Councillor Stokley

That Council receive the following:

- (a) Memorandum from Aldo Salis, Manager of Development Planning, County of Wellington regarding Vertical Zoning and Proposed Rezoning of Cox Site Township of Puslinch Zoning By-law Amendment File D14/COX Cox Construction Laird Road.
- (b) Revised Site Plan drawings- refer to changes on Page 2 of 3 under Item 22 and Hours of Operation and on Page 3 of 3 under item 16.
- (c) Email correspondence dated September 25, 2015 from Seanna Richardson, Ministry of Natural Resources and Forestry, Guelph District, acknowledging revisions.

CARRIED

2. Mini Lakes Mobile Home Community

- (a) Correspondence from GM Blue Plan Engineering regarding Mini Lakes Wastewater Treatment Plant Effluent Monitoring Report dated September 24, 2015.
- (b) Report from Stantec Consulting Ltd. regarding Mini Lakes Mobile Home Community Quarterly Monitoring Program – 1st Quarter 2015 dated May 8, 2015. ***note a full copy of the report is available for reviewing in the Clerk’s office at the Township Offices.**



- (c) Correspondence from Harden Environmental Services Ltd. regarding Mini Lakes 1st Quarter 2015 – Groundwater Monitoring dated September 22, 2015.

Council requested that staff advise GM Blue Plan that they are not in support of annual reporting and prefer the 12 month rolling average for nitrate reporting.

3. **Liquor Licence Application – 599 Arkell Rd.**

- (a) Alcohol and Gaming Commission of Ontario Agency Letter of Approval dated July 27, 2015.
- (b) Alcohol and Gaming Commission of Ontario – Application for a New Liquor Licence for outdoor areas being added to an existing liquor licence -Municipal Information – The Dirty Apron, 599 Arkell Road dated September 10, 2015.
- (c) Correspondence from AGCO dated September 25, 2015.
- (d) Correspondence from Glenna & Doug Smith regarding Concern over Liquor Sales Licence dated September 21, 2015
- (e) Correspondence from The Dirty Apron Ltd. to The Arkell/Puslinch Community dated September 30, 2015
- (f) Correspondence from Dave Prior Re: Letter of Objection, Liquor Licence File 803092 dated October 5, 2015.

Resolution No. 2015-365:

Moved by Councillor Roth and
Seconded by Councillor Bulmer

That Council direct staff to file an Objection with the Alcohol and Gaming Commission of Ontario indicating that all Zoning, Building and Fire Legislation and Municipal By-Laws be complied with prior to the issuing of a Liquor Licence for 599 Arkell Road, Puslinch.

CARRIED

4. **University of Guelph
Mill Creek Pit – Licence #5738
Lots 21-24, Conc. 2 – 7115 Concession 2**

- (a) Correspondence from Dufferin Aggregates regarding July 2015 monitoring report dated August 13, 2015.

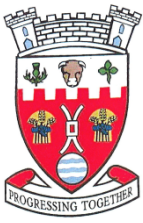
Mr. Stan Denhoed, Harden Environmental Services Ltd. has reviewed the report and is satisfied with the July 2015 monitoring report.

5. **Morrison Streetscape Project**

- (a) Ministry of Transportation Encroachment Permit – Morrison Community Streetscape Improvements – Tree and Shrub planting (Phase 1) dated September 18, 2015 with attachments.

6. **2016 Municipal Insurance Program**

- (a) Frank Cowan Company 2016 Municipal Insurance Program Renewal Report for the Policy Term February 1, 2016 to February 1, 2017.



7. **Cox Construction Ltd.
2015 Licensees Compliance Assessment Reports – Aggregate
Resources Act**

- (a) Licence #624889 – 6795 Laird Rd.
- (b) Licence # 5710 – 6795 Laird Rd.
- (c) Licence #20212 -6696 Forestell Rd.
- (d) Licence 20749 (Nigro)

8. **Highway #6 Morriston**

- (a) Correspondence from Bill Knetsch regarding Highway #6 Morriston Ontario dated September 24, 2015.

9. **Intergovernmental Affairs**

- (a) Various correspondence for review.

Resolution No. 2015-366: Moved by Councillor Stokley and
Seconded by Councillor Fielding

That the correspondence items listed on the Council Agenda for October 7, 2015 Council meeting be received.

CARRIED

7. **DELEGATIONS/PRESENTATIONS**

- 1. Julio D'Antonio, Jeffery & Spence Ltd. and Steven Smith, Frank Cowan Company – Presentation – 2016 Municipal Insurance Program.

Mr. Juilo D'Antonio and Mr. Steve Smith made a presentation to council on the 2016/2017 Municipal Insurance Program.

Council requested that if there are any insurance requirements regarding cyber crime that Jeffery & Spence Ltd. and Frank Cowan Company advise the Township of the changes.

Resolution No. 2015-367: Moved by Councillor Fielding and
Seconded by Councillor Stokley

That Council receive the delegation from Julio D'Antonio, Jeffery & Spence Ltd. and Steven Smith, Frank Cowan Company – Presentation – 2016 Municipal Insurance Program and the Frank Cowan Company 2016 Municipal Insurance Program Renewal Report for the Policy Term February 1, 2016 to February 1, 2017; and

That the Township renew its insurance coverage in the Frank Cowan Company as outlined in the 2016 Municipal Insurance Program Renewal Report for the Policy Term February 1, 2016 to February 1, 2017.

CARRIED

- 2. Mr. Stephen Goyda, regarding The Dirty Apron, 599 Arkell Road.

Mr. Goyda made a presentation to Council which included information regarding his business plans for 599 Arkell Rd. Mr. Goyda also provided information regarding his Liquor Licence Application to the AGCO.



Resolution No. 2015-368:

Moved by Councillor Stokley and
Seconded by Councillor Fielding

That Council receive the delegation from Mr. Stephen Goyda, regarding The Dirty Apron, 599 Arkell Road and correspondence from The Dirty Apron Ltd. to The Arkell/Puslinch Community dated September 30, 2015.

CARRIED

3. Mr. John Slood, regarding support of Liquor Licence Application – 599 Arkell Rd.

Mr. Slood made a presentation to Council which included information regarding past usage of the property since his purchase of the building located at 599 Arkell Rd. Mr. Slood advised Council that he is in support of the proposed restaurant at this location.

Resolution No. 2015-369:

Moved by Councillor Fielding and
Seconded by Councillor Stokley

That Council receive the delegation from Mr. John Slood regarding support of Liquor Licence Application – 599 Arkell Rd.

CARRIED

8. REPORTS:

1. Puslinch Fire and Rescue Services

None.

2. Finance Department

(a) Financial Reports – August 2015

- i. Financial Report as of August 31, 2015
- ii. Cheque Register – August 1 to August 31, 2015
- iii. Financial Report By Department – August 2015
- iv. Total Revenues, Contributions from Working Reserves and Expenditures – All Departments – August 2015

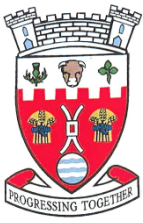
Resolution No. 2015-370:

Moved by Councillor Stokley and
Seconded by Councillor Fielding

That Council hereby receives the following reports as information:

- i. Financial Report as of August 31, 2015
- ii. Cheque Register – August 1, 2015 to August 31, 2015
- iii. Financial Report by Department – August 2015
- iv. Total Revenues, Contributions from Working Reserves and Expenditures – All Departments – August, 2015.

CARRIED



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH
October 7, 2015 COUNCIL MEETING

- (b) Applications for Cancellation, Reduction or Refund of Taxes re: Chapter 25, Section 357, 358, the Municipal Act, S.O., 2001.

Resolution No. 2015-371: Moved by Councillor Roth and
Seconded by Councillor Bulmer

That Council does hereby authorize the applications for Cancellation, Reduction or Refund of Taxes chapter 25, section 357 or 358 of the Municipal Act, 2001 as follows:

Year	Application #	Roll #	Write Off Amount
2013	10/15	7-09950	\$549.68
2014	11/15	7-09950	\$616.96
2015	12/15	7-09950	\$658.90
2015	05/15	6-06300	\$18.20
2015	09/15	6-06300	\$1,390.51

CARRIED

3. Administration Department

- (a) Report ADM-2015-015 – Revised 2015-2016 Council/Budget Meeting Schedule.

Karen Landry, CAO/Clerk advised that since preparation of the Report that an additional date of November 25, 2015 at 9:00 a.m. for the holding of an additional Capital and Operating Budget Meeting.

Resolution No. 2015-372 Moved by Councillor Bulmer and
Seconded by Councillor Roth

That Report ADM-2015-015 regarding the Revised 2015-2016 Council/Budget Meeting Schedule, be received; and

That Council adopt the Revised 2015-2016 Council/Budget Meeting Schedule, attached as Appendix “A” to Report ADM-2015-015, as amended; and

That the revised schedule be circulated to the County of Wellington; and

That the Township’s website be updated to reflect the changes.

CARRIED

- (b) Report ADM-2015-016 – 2018 Municipal Election – Vote Counting Equipment

Resolution No. 2015-373 Moved by Councillor Roth and
Seconded by Councillor Bulmer

That Report ADM-2015-016 regarding the 2018 Municipal Election – Vote Counting Equipment be received; and

That Council authorize the single source retainer of Dominion Voting Systems Corporation at the unit prices paid for System Lease Pricing for the 2014 Municipal Election at a total of \$25,295 exclusive of consumables and additional item pricing such as ballot boxes and ballots.

CARRIED



4. Planning and Building Department

- (a) Report PD-2015-024 – Site Plan Agreement – 1471352 Ontario Inc., property described as Plan 684, Part Lot 12, RP 61R4192, Parts 1 & 3, municipally known as 38 Winer Road, Township of Puslinch.

Resolution No. 2015-374

Moved by Councillor Bulmer and
Seconded by Councillor Roth

That Report PD-2015-024 regarding the Site Plan Agreement 1471352 Ontario Inc. property described as Plan 684, Part Lot 12, RP 61R4192, Parts 1 & 3, municipally known as 38 Winer Road, Township of Puslinch, be received; and

That Council pass a by-law to authorize the entering into and the execution of a Site Plan Agreement with 1471352 Ontario Inc.

CARRIED

5. Roads & Parks Department

None.

6. Recreation Department

None.

7. Mayor's Updates

None.

9. NOTICE OF MOTION:

- (a) Councillor Stokley – Bill 100 Support Ontario Trails Act.

Resolution No. 2015-375

Moved by Councillor Stokley and
Seconded by Councillor Fielding

WHEREAS Bill 100, Supporting the Ontario Trails Act has the following purposes:

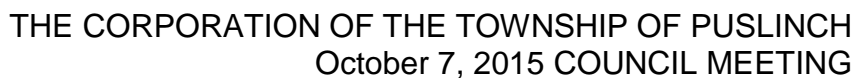
1. To increase awareness about and encourage the use of trails.
2. To enhance trails and the trail experience.
3. To protect trails for today's generation and future generations.
4. To recognize the contribution that trails make to quality of life in Ontario.
5. To recognize the contribution to quality of place.

AND WHEREAS the Association of Municipalities of Ontario has had input into this Bill looking out for municipal interests

AND WHEREAS the Bill includes stronger penalties for property damage and trespassing to discourage such actions

AND WHEREAS the Bill will be asking for best practices to be created and will have participation in these practices be voluntary therefore not creating undue hardship on the municipality

AND WHEREAS this is complementary to recommendations contained in the Township of Puslinch Recreation and Parks Master Plan.



AND FURTHER LET IT BE RESOLVED THAT the Council of the Township of Puslinch forward this resolution for consideration by all other municipalities in the Province of Ontario.

CARRIED

(b) Councillor Bulmer - Amendment to the Township's Site Plan Control By-law 16/08

Councillor Bulmer will work with staff to bring forward a Notice of Motion for consideration by Council to the next meeting regarding an amendment to the By-Law No. 16/08 – Site Plan Control.

10. COMMITTEE MINUTES

- (a) Planning and Development Advisory Committee- August 11, 2015
(b) Committee of Adjustment – August 11, 2015
(c) Recreation Committee Meeting – July 21, 2015

Resolution No. 2015-376 Moved by Councillor Roth and
Seconded by Councillor Bulmer

That Council hereby receives the following minutes as information:

- (a) Planning and Development Advisory Committee – August 11, 2015
(b) Committee of Adjustment – August 11, 2015
(c) Recreation Committee – July 21, 2015

CARRIED

11. MUNICIPAL ANNOUNCEMENTS

Jack Johnston Memorial Highway Dedication

Councillor Fielding advised that she attended the Jack Johnston Memorial Highway Dedication on Friday, October 2, 2015.

COP Committee – Suicide Prevention Workshop

Councillor Fielding advised that she attended the Suicide Prevention workshop held by the COP Committee on October 1, 2015. Councillor Fielding advised that approximately 25 individuals took part and completed the workshop and received their certificates of completion.

Arkell Store Meeting

Councillor Bulmer advised that he attended a meeting with Arkell residents and Mr. Goyda in attendance regarding the proposed AGCO Liquor Licence Application for 599 Arkell Rd.

Ontario Stone Sand and Gravel

Councillor Bulmer advised that along with Mayor Lever they attended an OSSGA breakfast meeting on October 7, 2015. Councillor Bulmer advised that he was pleased to hear at the



meeting of the increase in inspectors from 1 to 3 in the Guelph Offices and believes that this is good news in that it assists in building trust in the process.

Gravel Watch – Ontario Meeting

Mayor Lever advised that he attended the Gravel Watch meeting on October 1, 2015 at the Puslinch Community Centre. Mayor Lever advised that approximately 40-50 individuals attended the meeting along with Ingersoll Mayor Ted Comiskey attended the meeting and gave an excellent presentation.

Wellington County Economic Development Meeting

Mayor Lever advised that he attended the Wellington County Economic Development Meeting held at the Wellington County Museum at Aboyne on September 17, 2015. Mayor Lever advised that there was a demonstration by StreetCast who have created a software app that will attract tourists and other traffic to local downtown cores through special events being promoted by area businesses.

Streetlights at Townline and Ellis Rd.

Mayor Lever advised that the streetlights are now operational at the corner of Ellis and Townline Rds.

Puslinch Historical Society Presentation

Mayor Lever advised that he attended a presentation at the Knox Crieff Sunday School Room for "The Third", Killeen, Crieff and Morriston areas (School Sections 5 to 8 Crieff) on Tuesday October 6, 2015. Mayor Lever advised that there were excellent presentations given that evening. The last presentation in the series will be held in November. Details are available on the Puslinch Historical website.

Community Based Strategic Plan Meeting

Mayor Lever advised that along with other members of Council and Township Staff they attended a Community Based Strategic Planning session with the Township's consultant John Whitesell on Tuesday, September 29th at the Puslinch Community Centre.

12. UNFINISHED BUSINESS

None.

13. CLOSED MEETING

**Council was in closed session from 12:02 p.m. to 12:22 p.m.
Council recessed from 12:23 p.m. to 1:00 p.m.**

- (a) Confidential verbal report from Karen Landry CAO/Clerk, regarding litigation or potential litigation, including matters before administrative tribunals affecting the municipality or local board and advice that is subject to Solicitor-Client privilege, including communications necessary for that purpose – Reid - 7827 Wellington Rd. 36
- (b) Confidential Verbal Report from Karen Landry, CAO/Clerk, regarding litigation or potential litigation, including matters before administrative tribunals affecting the municipality or local board and advice that is subject to solicitor-client privilege, including communications necessary for that purpose – 6643 Concession 2
- (c) Confidential Report from Julio D' Antonio, Jeffrey and Spence Insurance and Steven Smith, Frank Cowan Company, regarding litigation or potential litigation, including matters before administrative tribunals affecting the municipality or local board and



advice that is subject to Solicitor-Client privilege, including communications necessary for that purpose – Insurance Claim Matters.

Resolution No. 2015-377: Moved by Councillor Bulmer and
Seconded by Councillor Roth

That Council shall go into closed session under Section 239 of the Municipal Act for the purpose of:

- (a) Confidential Verbal Report from Karen Landry CAO/Clerk, regarding litigation or potential litigation, including matters before administrative tribunals affecting the municipality or local board and advice that is subject to Solicitor-Client privilege, including communications necessary for that purpose – Reid - 7827 Wellington Rd. 36
- (b) Confidential Verbal Report from Karen Landry, CAO/Clerk regarding litigation or potential litigation, including matters before administrative tribunals affecting the municipality or local board and advice that is subject to solicitor-client privilege, including communications necessary for that purpose – 6643 Concession 2
- (c) Confidential Report from Julio D' Antonio, Jeffrey and Spence Insurance and Steven Smith, Frank Cowan Company, regarding litigation or potential litigation, including matters before administrative tribunals affecting the municipality or local board and advice that is subject to Solicitor-Client privilege, including communications necessary for that purpose – Insurance Claim Matters

CARRIED

Resolution No. 2015-378 Moved by Councillor Fielding and
Seconded by Councillor Stokley

That Council move into open session.

CARRIED

- (a) Confidential verbal report from Karen Landry CAO/Clerk, regarding litigation or potential litigation, including matters before administrative tribunals affecting the municipality or local board and advice that is subject to Solicitor-Client privilege, including communications necessary for that purpose – Reid - 7827 Wellington Rd. 36

Resolution No. 2015-379 Moved by Councillor Roth and
Seconded by Councillor Bulmer

That Council receive the Verbal Report from Karen Landry CAO/Clerk, regarding litigation or potential litigation, including matters before administrative tribunals affecting the municipality or local board and advice that is subject to Solicitor-Client privilege, including communications necessary for that purpose – Reid - 7827 Wellington Rd. 36.

CARRIED

- (b) Confidential Verbal Report from Karen Landry, CAO/Clerk, regarding litigation or potential litigation, including matters before administrative tribunals affecting the municipality or local board and advice that is subject to solicitor-client privilege, including communications necessary for that purpose – 6643 Concession 2



Resolution No. 2015-380 Moved by Councillor Bulmer and
Seconded by Councillor Roth

That Council receive the confidential verbal report from Karen Landry, CAO/Clerk, regarding litigation including matters before administrative tribunals affecting the municipality or local board and advice that is subject to solicitor-client privilege, including communications necessary for that purpose – 6643 Concession 2

CARRIED

- (c) Confidential Report from Julio D' Antonio, Jeffrey and Spence Insurance and Steven Smith, Frank Cowan Company, regarding litigation or potential litigation, including matters before administrative tribunals affecting the municipality or local board and advice that is subject to Solicitor-Client privilege, including communications necessary for that purpose – Insurance Claim Matters

Resolution No. 2015-381: Moved by Councillor Roth and
Seconded by Councillor Bulmer

That Council receive the Confidential Report from Julio D' Antonio, Jeffrey and Spence Insurance and Steven Smith, Frank Cowan Company, regarding litigation or potential litigation, including matters before administrative tribunals affecting the municipality or local board and advice that is subject to Solicitor-Client privilege, including communications necessary for that purpose – Insurance Claim Matters

CARRIED

14. **BY-LAWS:**

- (a) A By-law to amend Zoning By-Law 19/95 (Cox Construction) Part Lot 13, Concession 4, Puslinch
- (b) A by-law to authorize the entering into an Agreement with Whistle Stop Co-Operative Preschool Inc. – Puslinch Community Centre – 23 Brock Rd. S.
- (c) A by-law to authorize the entering into of a Site Plan Agreement with 1471352 Ontario Inc.

Resolution 2015-382 Moved by Councillor Stokley and
Seconded by Councillor Fielding

That the following By-law be taken as read three times and finally passed in open Council:

- (a) By-Law 55/15 being a by-law to amend Zoning By-Law 19/95 (Cox Construction) Part Lot 13, Concession 4, Puslinch.
- (b) By-Law 56/15 being a by-law to authorize the entering into of a Site Plan Agreement with 1471352 Ontario Inc.

CARRIED

15. **CONFIRMING BY-LAW**

- (a) By-Law to confirm the proceedings of Council for the Corporation of the Township of Puslinch



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH
October 7, 2015 COUNCIL MEETING

Resolution 2015-383: Moved by Councillor Fielding and
Seconded by Councillor Stokley

That the following By-law be taken as read three times and finally passed in open Council:

- (a) By-Law 57/15 being a by-law to confirm the proceedings of Council for the Corporation of the Township of Puslinch at its meeting held on the 7th day of October, 2015.

CARRIED

16. **ADJOURNMENT:**

Resolution No. 2015-384 Moved by Councillor Stokley and
Seconded by Councillor Fielding

That Council hereby adjourns at 2:51 p.m.

CARRIED

Dennis Lever, Mayor

Karen Landry, CAO Clerk



THE TOWNSHIP OF PUSLINCH NOTICE OF COMPLETE APPLICATION & NOTICE OF THE PUBLIC MEETING

TAKE NOTICE that pursuant to the requirements of the Planning Act, R.S.O., 1990, as amended, the Township of Puslinch has received a complete application to amend Zoning By-law 19/85. The file number assigned to this application is **D14/FRO**.

AND TAKE NOTICE that the Council of the Township of Puslinch will hold a **Public Meeting** on **Wednesday the 21st of October, at 6:30 pm** in the Council Chambers at 7404 Wellington Road 34, pursuant to the requirements of Section 34 of the Planning Act, R.S.O., 1990, as amended.

THE LAND SUBJECT to the application is known as Part Lots 1 to 3, Concession Gore, municipally known as 6525 Concession 1, Township of Puslinch. The subject lands are shown on the inset map.

THE PURPOSE AND EFFECT of the application is to amend Township of Puslinch Zoning By-law 19/85 to rezone the lands from Agricultural to an Agricultural (A-_) Site Specific Zone to not permit the housing of livestock in an existing barn on the property that does not meet MDS 1 requirements, to satisfy conditions of related County of Wellington Consent File B32/15.

ORAL OR WRITTEN SUBMISSIONS may be made by the public either in support or in opposition to the proposed Zoning By-law Amendment. Any person may attend the public meeting and make an oral submission or direct a written submission to the Township Clerk at the address below. All those present at the public meeting will be given the opportunity to make an oral submission, however; it is requested that those who wish to address Council notify the Township Clerk in advance of the public meeting.

TAKE NOTICE that if a person or public body does not make an oral submission at a public meeting or make a written submission to the Township of Puslinch before the Zoning By-law is passed, the person or public body is not entitled to appeal the decision of the Council of the Township of Puslinch to the Ontario Municipal Board.

AND TAKE NOTICE that if a person or public body does not make an oral submission at a public meeting or make a written submission to the Township of Puslinch before the Zoning By-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Municipal Board unless, in the opinion of the Board, there are reasonable grounds to do so.

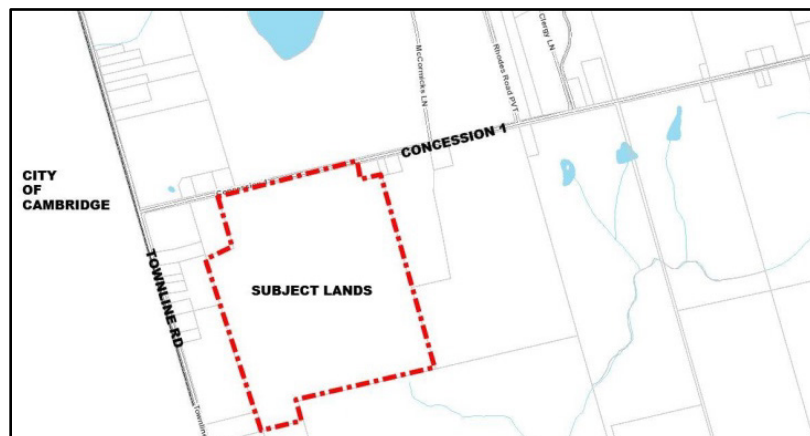
REQUEST FOR NOTICE OF DECISION regarding the Zoning By-law amendment must be made in written format to the Township Clerk at the address shown below.

ADDITIONAL INFORMATION regarding the proposed amendment is available for review between 9:00 a.m. and 4:30 p.m. at the Township of Puslinch Municipal Office as of the date of this notice.

Dated at the Township of Puslinch on this 25th day of September 2015.

Karen Landry
CAO/Clerk
Township of Puslinch
7404 Wellington Road 34
Guelph, Ontario N1H 6H9
Phone (519) 763-1226
admin@puslinch.ca

KEY MAP:





REPORT PD-2015-025

INFORMATION REPORT

FROM: Kelly Patzer, Development Coordinator

DATE: October 21, 2015

SUBJECT: Public Meeting - Rezoning Application File D14/FRO
Glenn and Yvonne Frosch c/o Robert and Lisa Frosch, Concession Gore,
Part Lots 1-3, municipally known as 6525 Concession 1

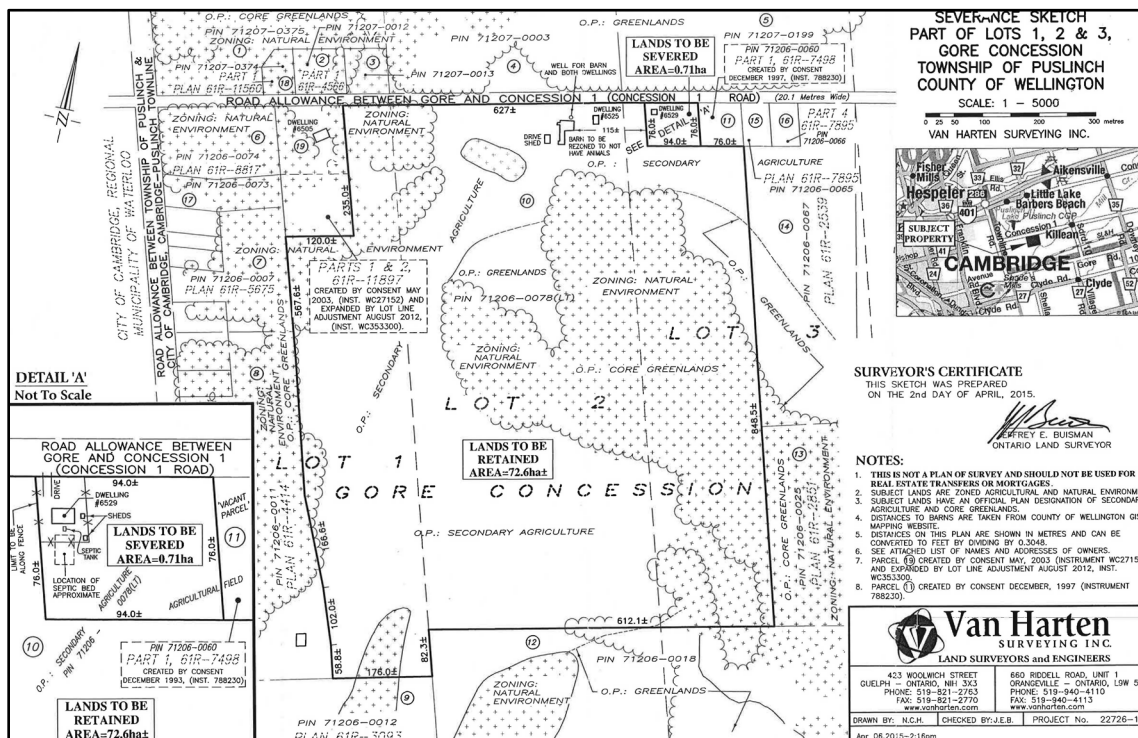
BACKGROUND:

1. Purpose of Report

This report is to advise Council and the Public of the application for a Zoning By-law Amendment located at 6525 Concession 1. The proposed amendment seeks to rezone the property from Agricultural Zone to a site specific Agricultural (A-) Zone.

2. Application

The zoning amendment application has been submitted to satisfy a condition of County of Wellington consent file B32/15. The severance of the new lot has created a Minimum Distance Separation I (MDSI) conflict with the existing barn on the retained parcel.

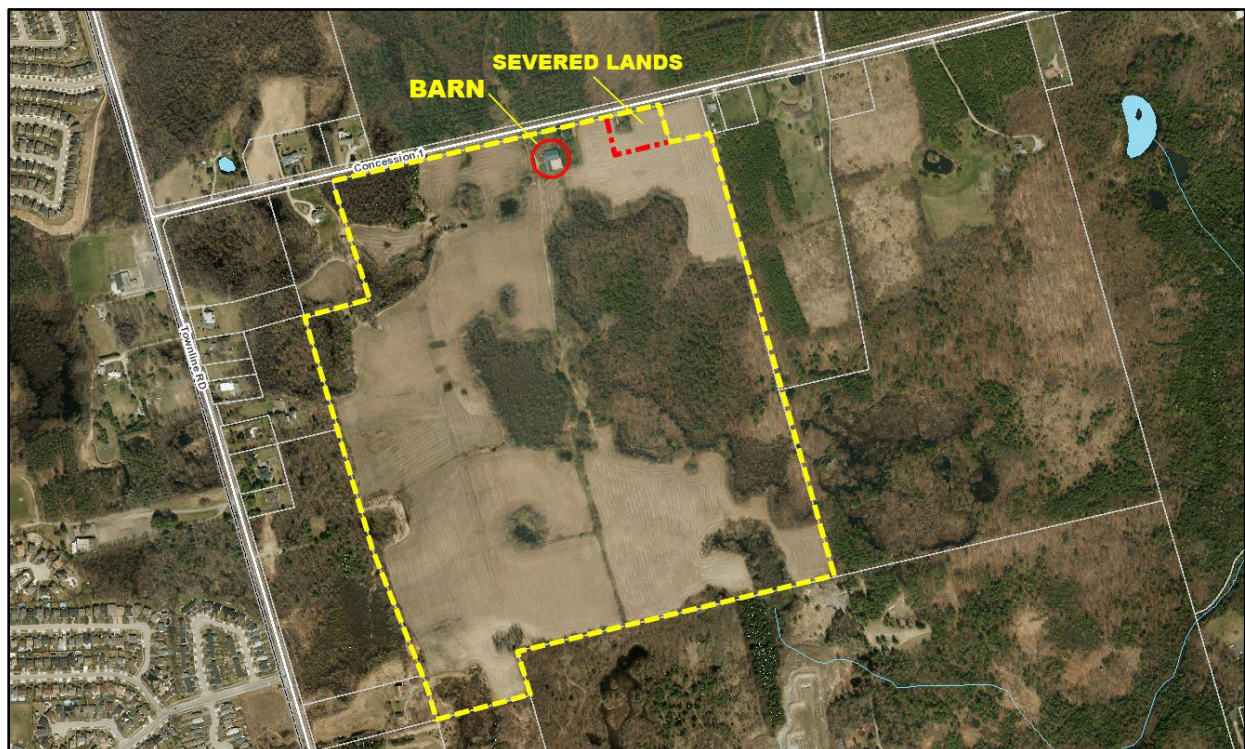


The proposal would rezone the existing barn on the retained lands to not house animals which would achieve MDSI compliance with the new severed lot. An explanation letter by the agent for the application (**Attachment "A"**) has been submitted as part of the application package.

3. Location & Site Characteristics

The subject site known municipally as 6525 Concession 1, is located on the south side of Concession 1, east of Townline Road.

The parcel to be severed is a 0.7 hectare (1.8 acre) rural residential lot containing an existing dwelling. The 73 hectare retained agricultural parcel contains an existing dwelling, a shed and a barn.



APPLICATION CHRONOLOGY:

1. Township of Puslinch Zoning Application

The application was submitted July 3rd, 2015 and deemed complete August 4th, 2015.

2. Notice:

August 28, 2015: Notice of a Complete Application & Public Meeting was mailed to property owners within 120 metres of the subject property and all required agencies.

September 25, 2015: Notice of a Complete Application and Public Meeting was published in The Wellington Advertiser.

October 21, 2015 @ 6:30 p.m.: Public Meeting to be held at Township of Puslinch

3. Staff, Agency & Public Circulation Comments:

The application was circulated to the Township's consultants and External Agencies for comments. The following comments have been received to date:

Planning and Development Advisory Committee:

- Rezoning the barn will unnecessarily encumber the future agricultural use of the property;
- Difficult to enforce the rezoning;
- A barn is meant to be full to maintain its structure; and
- Any rezoning should be done as to not restrict future agricultural operations or structures on the property.

The Township's Building Department has commented that it is not in support of the application as it would create a situation that would be difficult to detect and enforce if an inappropriate use was started.

All other comments received from the consultants and agencies have been "no comments or objections". The County of Wellington Planning report is attached as a separate document (**Attachment "B" – County of Wellington Planning Report**).

The Township has not received any comments from the public in support of or against the application.

APPLICABLE LEGISLATION & REQUIREMENTS:

1. County of Wellington Official Plan

The Official Plan designates the subject property as Secondary Agricultural, Core Greenlands and Greenlands. Agricultural uses and single detached homes are permitted uses within this designation.

2. Township of Puslinch Zoning By-Law 19/85

The subject lands are designated Agricultural (A) Zone and Natural Environment (NE) Zone. The parcel to be severed is within the Agricultural (A) Zone. Permitted uses under the A Zone include an agricultural use, an intensive agricultural use and a single detached dwelling.

An Agricultural Use is defined under the by-law as an area of land, with or without accessory buildings or structures, which is used primarily for:

- (i) the tillage of soil;
- (ii) the growing and harvesting of vegetables, fruits, field crops, mushrooms, berries, trees, flowers or landscaping materials and may include the erection and use of greenhouses, and woodlots and forestry uses;
- (iii) the grazing, breeding, raising, boarding or training of livestock of all kinds, including, but not so as to limit the generality of the foregoing, cattle, swine, sheep, goats, rabbits, poultry, fish, horses, ponies, donkeys, mules, fur-bearing animals and household pets but not at an intensive level as defined in Subsection 2(6) (b);
- (iv) dairying, beekeeping, but not at an intensive level as defined in Subsection 2(6)(b)
- (v) any other operation normally associated with farming;
- (vi) an accessory farm sales outlet;
but excluding a kennel, an abattoir or any premises used for the killing of livestock or the processing of meat.

An Intensive Agricultural Use is permitted on agricultural parcels that have an area greater than 4.0 hectares, where the number of permitted livestock is calculated by a formula based on the area of the parcel and the type of livestock, including animals or birds.

CONCLUSION:

Once all relevant information, reports and comments have been reviewed and completed, a final Recommendation Report will be brought forward to Council with the associated amending By-law which will summarize all agency and public comments and assess the merits of the application.

ATTACHMENT "A" - EXPLANATION LETTER



July 30, 2015
Jeff.Buisman@vanharten.com
22726-15

Township of Puslinch
7404 Wellington Road 34
R.R. #3
Guelph, ON
N1H 6H9

Attention: Karen Landry, CAO

Dear Ms. Landry,

**Re: Zone Change D14/FRO for Severance Application B32/15
6529 Concession 1
Part of Lot 1-3, Concession GORE
Township of Puslinch**

We submitted a zone change application to the Township to rezone the existing barn on the Retained Lands of Severance Application B32/15 to not house animals. The zone change will allow the owner to maintain the barn which is currently in good condition and will satisfy MDS requirements as required as a condition of Severance Application B32/15.

We have received input from Kelly Patzer, Puslinch Development Coordinator, Robert Kelly, Puslinch Chief Building Official and Sarah Wilhelm, County of Wellington Planner with a variety of comments, preferences and advice. I have reviewed them with the client and the client would like to proceed with the zone change application.

Below is a summary of my understanding of the situation and factors to consider.

- Our client would like to have a severance that incorporates the second small house on this farm. This severance has been approved subject to conditions.
- The proximity of the proposed severance limit is too close to the barn on the retained parcel to pass the MDS 1 test.
- One option would be to demolish the barn, but the barn is in good shape and has some historic and aesthetic features that the client would like to keep. Our client is quite adamant that they would like to keep this barn.

- The County Planner has informed us that, in these situations, OMAFRA asks that the barn be rezoned to not have animals.
- One concern was whether or not the barn has to be reviewed under the Ontario Building Code and that the barn may not pass the structural tests as an accessory building instead of a barn.
- The building will still be a barn in that it could be used to store hay, straw or farm machinery and therefore it is not considered an accessory building.
- There is no building permit application or building project being sought and therefore the Chief Building Official does not have to evaluate the barn under the Ontario Building Code.
- Another concern is proper notification to the public of the proposed restriction.
- The zone change application is probably the best public notification process available to a future purchaser. A future purchaser and their solicitor is expected to implement the principle of “buyer beware” and should check the zoning of the subject property before purchase.
- In the event that a future purchaser wants a significant change to the barn, that owner would have to apply for a building permit at which point the Chief Building Official would have to enforce the Ontario Building Code.
- A similar example of this type of zone change application is on Page 5-13 of the Puslinch Zoning By-law, sub-section (mm) A-39 which prohibits the housing of livestock or manure storage in the buildings and tank existing as of the date of passing of this by-law

One of the comments of sub-section (mm) is that there is lack of clarity of which buildings or if they are replaced and the location of the buildings. I suggest that a PART on a Reference Plan be established for the area of the existing barn to clarify the location and extent to which the amendment applies. Any further development on the farm, such as a new barn at another location or removal of the existing barn, will be subject to existing Zoning, Building Code and MDS regulations.

Preservation of this barn is important to the owners who have a long heritage on this property. Preservation of this barn is good for the agricultural aesthetics of Puslinch.

We feel that the proposed application adequately addresses the concerns that have been raised, as well as accomplish the client's goal of preserving the barn.

Please call me if you or the Planning Staff have any questions.

Very truly yours,
Van Harten Surveying Inc.



Jeffrey E. Buisman B.E.S., B.Sc.
Ontario Land Surveyor

JEB:lb

c.c. Robert & Lisa Frosch

ATTACHMENT 'B' - COUNTY OF WELLINGTON PLANNING REPORT



PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department

DATE: October 1, 2015
TO: Kelly Patzer, Development Coordinator
Township of Puslinch
FROM: Sarah Wilhelm, Senior Planner
County of Wellington
SUBJECT: **FIRST CIRCULATION D14/FRO (Frosch)**
Zoning By-law Amendment
6525 Concession 1 (Part Lots 1, 2 & 3, Gore Concession), Puslinch

SUMMARY

This zoning by-law amendment application was deemed complete by the Township of Puslinch and a public meeting scheduled for October 21, 2015. The purpose of this report is to provide our preliminary comments concerning the application materials submitted by the applicant's agent (Jeff Buisman, VanHarten Surveying). There were no comments or concerns identified by the public at the time of writing this report. The Building Department is not in support of the application. The Planning and Development Advisory Committee also has concerns with the application.

INTRODUCTION

The land subject to the proposed zoning by-law amendment (Application D14/FRO) fronts onto the south side of Concession 1 to the east of Townline Road (see Figure 1). The property is legally described as Part of Lots 1, 2 and 3, Gore Concession. This irregular shaped property has 627 m (2,057 ft) of frontage on Concession 1 and is 72.6 ha (179 ac) in size.

This agricultural property has approximately 42 ha (104 ac) under cultivation and 30 ha (74 ac) of treed areas. The remainder of the acreage is taken up by the area of the existing dwelling, barn and driveshed. Surrounding land uses include rural residential lands to the west, rural residential and natural areas to the north and east and a shooting range to the south.

BACKGROUND

This property has been the subject of an application to sever a 0.7 ha (1.8 ac) rural residential lot with 94 m (308 ft) frontage (file B32/15). The retained lot includes a single detached dwelling, barn and driveshed. This rezoning would satisfy a condition of the severance, which was provisionally approved by the County Land Division Committee. Conditions must be fulfilled by June 17, 2016.

PROPOSAL

According to the application materials, the purpose of the proposed zoning by-law amendment is to rezone the existing barn on the retained lands of severance application B32/15 to not house animals. This would achieve Minimum Distance Separation I (MDSI) compliance from the new lot.

In support of the rezoning application, the proponent has filed the following information:

- Zone Change Sketch
- Explanation Letter by VanHarten Surveying

If approved, the retained lands would continue to be used for rural residential and agricultural purposes.

Figure 1 Property Location



PROVINCIAL PLANNING POLICY

The Provincial Growth Plan (Places to Grow) provides for limited development within rural areas under Section 2.2.9. This includes rural land uses that cannot be located in settlement areas.

The Provincial Policy Statement (2014) provides for limited residential development and other rural land uses in rural areas of municipalities. New land uses, including the creation of lots, and new or expanding livestock facilities, shall comply with the minimum distance separation formulae.

COUNTY OFFICIAL PLAN

According to Schedule A7 (Puslinch) of the Official Plan, the property is designated SECONDARY AGRICULTURAL, CORE GREENLANDS and GREENLANDS. Agricultural uses and single detached homes are a permitted use within this designation. According to Section 6.5.6 of the Plan “The provincial minimum distance formula will be applied to new land uses, lot creation and new or expanding livestock facilities”.

MINIMUM DISTANCE SEPARATION (MDS)

The MDS Formulae are intended to minimize nuisance complaints about livestock facilities due to odour and thereby reduce potential land use conflicts. There are two formulae: MDSI and MDSII. MDSI is applied to ensure that appropriate setbacks are provided from existing livestock facilities to proposed development. MDSI is usually dealt with by the County. MDSII is applied to ensure that a new or expanded livestock facility provides appropriate setbacks from existing development. MDSII is usually dealt with by staff of the local building department.

MDSI was applied by the County at the time of consideration of the proposed new lot. As the lot would result in the fourth lot in a row, it is considered a rural residential cluster. This qualifies as a Type B land use which has an increased setback (in this case, double). Although the barn on the retained lands is vacant, our office completed a calculation based on a beef operation which was reported on the Farm Data Sheet prepared by the land owner. The resultant MDSI arc is 500 m. The barn is 115 m from the new lot and therefore, would not meet the required separation.

Application of MDS to Empty Livestock Facilities

The current Implementation Guidelines provide direction concerning the application of MDS to empty livestock facilities. Guideline 20 states that “MDSI applies to empty livestock facilities if they are structurally sound and reasonably capable of housing livestock.” We have been advised that this bank barn has been empty since 2006, but is in good condition.

Figure 2 Existing Barn



The Ministry of Agriculture, Food and Rural Affairs (OMAFRA) is currently reviewing the Minimum Distance Separation Implementation Guidelines. The draft document issued by OMAFRA (2015) proposes changes to Guideline 20. One of the changes would exempt an unoccupied livestock barn from an MDSI setback when:

“the lot on which the unoccupied livestock barn is located is rezoned to preclude a livestock facility as a permitted use”.

Given the large size of the farm, there could be locations for a new barn elsewhere on the property provided MDSII requirements are met. The ability to construct a new livestock facility should be protected.

PUBLIC AND AGENCY COMMENTS

There were no comments from neighbouring property owners or from the Fire Prevention Officer at this time. We are in receipt of comments indicating no concerns from:

- Harden Environmental Services Ltd.
- GM BluePlan Engineering
- GWS Ecological and Forestry Services Inc.
- Grand River Conservation Authority

The Chief Building Official is not in support of the rezoning. In his comments of September 30, 2015 Robert Kelly advised:

“From a building and by-law perspective, on the surface there is no immediate issue; however this would create a situation that would be both difficult to detect and enforce if an inappropriate use were started. As such the Building Department is not in support of the rezoning.”

The Planning and Development Advisory Committee provided the following comments at their meeting of September 8, 2015:

- Rezoning the barn will unnecessarily encumber the future agricultural use of the property
- Difficult to enforce the rezoning
- A barn is meant to be full to maintain its structure
- Any rezoning should be done so as to not restrict any future agricultural operations or structures on the property

TOWNSHIP ZONING BY-LAW

According to Schedule ‘A’ of Zoning By-law 19/85, the subject property is zoned Agricultural (A) and Natural Environment (NE). As requested, this application proposes to amend the zoning as follows:

- From Agricultural (A) to Agricultural Site-Specific (A-___) on the retained agricultural lot to prohibit the keeping of livestock within the existing barn

NEXT STEPS

The public meeting for this application is scheduled for October 21, 2015. Materials associated with the application should be available to the public at the Township office prior to the public meeting date. Following the public meeting, Township Council may further consider the applicant’s response to any matters raised by the public and other comments and concerns identified. We will be in attendance at the public meeting to hear the applicant’s presentation, public comments and Council discussion.

Our planning recommendations will be provided following the public meeting and resolution of outstanding issues.

Respectfully submitted
County of Wellington Planning and Development Department

A handwritten signature in dark ink, appearing to read 'Sarah Wilhelm', with a horizontal line extending to the right.

Sarah Wilhelm, BES, MCIP, RPP
Senior Planner



THE TOWNSHIP OF PUSLINCH NOTICE OF PUBLIC MEETING & OPEN HOUSE

TAKE NOTICE that pursuant to the requirements of the Planning Act, R.S.O. 1990, the Township of Puslinch will hold a **Public Meeting & Open House** on **November 5, 2015 at 7:00 p.m.** in the Council Chambers to consider a Community Improvement Plan (CIP).

THE LANDS SUBJECT to Community Improvement Plan Area are lands that have frontage along the Brock Road corridor to the limits of the Villages of Aberfoyle and Morriston, as shown on the key map below.

ORAL OR WRITTEN SUBMISSIONS may be made by the public either in support or in opposition to the proposed CIP. Any person may attend the public meeting and make and oral submission or direct a written submission to the Township Clerk at the address below. All those present at the public meeting will be given the opportunity to make an oral submission, however; it is requested that those who wish to address Council notify the Township Clerk in advance of the public meeting.

TAKE NOTICE that if a person or public body does not make an oral submission at a public meeting or make a written submission to the Township of Puslinch before the CIP is adopted, the person or public body is not entitled to appeal the decision of the Council of the Township of Puslinch to the Ontario Municipal Board.

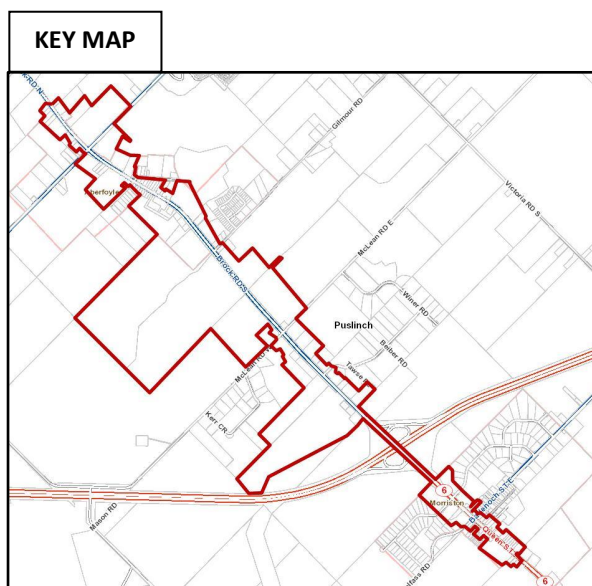
AND TAKE NOTICE that if a person or public body does not make an oral submission at a public meeting or make a written submission to the Township of Puslinch before the CIP is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Municipal Board unless, in the opinion of the Board, there are reasonable grounds to do so.

REQUEST FOR NOTICE OF DECISION regarding the Community Improvement Plan must be made in written format to the Township Clerk at the address shown below.

ADDITIONAL INFORMATION regarding the proposed CIP is available for review between 9:00 a.m. and 4:30 p.m. at the Township of Puslinch Municipal Office as of the date of this notice.

Dated at the
Township of Puslinch
on this 16th day of October 2015

Karen Landry
CAO/Clerk
Township of Puslinch
7404 Wellington Road 34
Guelph, Ontario N1H 6H9
Phone (519) 763-1226
admin@puslinch.ca



6.1(a).



COUNTY OF WELLINGTON

PLANNING AND DEVELOPMENT DEPARTMENT
GARY A. COUSINS, M.C.I.P., DIRECTOR
TEL: (519) 837-2600
FAX: (519) 823-1694
1-800-663-0750

ADMINISTRATION CENTRE
74 WOOLWICH STREET
GUELPH, ONTARIO
N1H 3T9

October 5, 2015

Mayor Dennis Lever and Puslinch Council
Township of Puslinch
7404 Wellington Road 34
Guelph, Ontario
N1H 6H9

RECEIVED
OCT 07 2015
Township of Puslinch

Dear Mayor Lever and Puslinch Councillors:

Re: Local Representative – Green Legacy Committee

Our Green Legacy Committee met earlier this week and decided that we should invite local Councils to send a representative to sit on our Committee.

We lost Brad Whitcombe this year due to his untimely passing. We also lost two other members in the last election. Currently, Erin has the only local Council rep on our Committee.

Our Committee usually meets 3 or 4 times per year for about 2 hours, usually in the morning. Our mandate is to provide guidance to the Green Legacy Programme. We report to the County's Planning Committee.

If one of your Councillors has a particular interest in trees, we would be glad to have them join us. Alternatively, if there is a local citizen that would represent the Township, that would be fine too.

Please do not feel any pressure if no one comes to mind. I understand that you are all busy. We thank you for your consideration.

Sincerely,

A handwritten signature in black ink that reads "Mark Van Patter".

Mark Van Patter, RPP, MCIP
Manager of Planning and Environment
Green Legacy Chair

6.2(a).

ROBERT GIBSON CONSULTING SERVICES INC.

15 IDLEWOOD DRIVE
KITCHENER, ONTARIO
N2A 1H9

Phone (519) 894-0273
Fax (519) 894-9526
Email gibsonr@rogers.com

September 25, 2015

Ministry of Natural Resources and Forestry
Guelph District Office
1 Stone Road W., 1st Floor
Guelph, Ontario
N1G 4Y2

Attention: Kristy Sutherland, Aggregate Resource Specialist

Dear Kristy,

SUBJECT: Annual Compliance Assessment Report for 2015
Licence # 5654 (Martini Pit)
North ½ Lot 4, Concession 4
Township of Puslinch
Licensee: TGL Ltd.

Enclosed is the Compliance Assessment Report for the gravel pit licensed to TGL Ltd. at the above noted location. Copies of the report have been filed with the Township of Puslinch and the County of Wellington.

If you have any questions regarding the report, please contact me at my office.

Yours truly,



Robert J. Gibson

Encl.

cc: Don Poort, TGL Ltd.
Township of Puslinch
County of Wellington

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OCT 05 2015

Township of Puslinch

Licensees Compliance Assessment Report - Aggregate Resources Act

Martini Pit

Background Information						Year: 2015	
Licensee: TGL Ltd.			Licence ID #: 5654		MNR District/Area Office: Guelph District		
Lot: N.1/2 4	Conc.: 4	Geographic Twp.: Puslinch			Municipality: Wellington County		
Observations							
OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?	
		Yes	No	N/A			
A - Site Access							
A1	Boundaries (clearly marked)	x			Boundaries along former Cox pit and Twp Rd. 4A are fenced with marker posts identifying common boundary between former Dolime site		
A2	Entrance and Exits (location/closed)	x			Locked gate at entrance/exit restricts access from Twp. Rd. 5.		
A3	Lease/Ownership/Extraction Agreement	Licensee owns property					
B - Site Protection							
B4	Fencing	x			Boundary fencing is in good condition.		
B5	Fencing (site plan variation or temporary relief granted)	x			West boundary common to Dolime site runs through agricultural lands and is staked with wood marker posts		
B6	Screening (trees/berms)	x			Pit is not active and mainly rehabilitated.		
B7	Setbacks (15m / 30m or other)	x			Variance/overrides approved for common boundaries with Dolime site and former Cox pit. Override approved for S. 30m setback along Rd. 4A.		
C - Operational Details							
C8	Operating Sequence	x			Pit was not active and is mainly depleted of aggregate.		
C9	Stripping (overburden)	x			Topsoil and overburden has been stripped and stored in stockpiles and/or used in progressive rehabilitation of pit.		
C10	Overburden Seeded	x			Remaining stockpiles are vegetated with self sustaining growth.		
C11	Extraction Depth	x			Lowest floor elevation: 296.5+/-		
C12	Buildings/Scales (location)	x			Scale and scale house are located on the main internal haul road. Scale house damaged by vandals.		
C13	Equipment (any specific conditions or restrictions)	x			No aggregate related equipment was observed on site during the inspection.		
C14	Plant (location/any specific conditions or restrictions)	x			Portable processing equipment to be used on site.		
C15	Scrap (location/removal)	x			No scrap was observed on site at time of inspection.		
C16	Stockpiles (location)	x					
C17	Topsoil (location/seeded)	x			Same as C10 above. Any soil stored in stockpiles is vegetated and self sustaining.		
C18	Excavation Faces	x					
C19	Ponds (location/depth)			x			
C20	Internal Roads (any specific conditions or restrictions)	x			Well maintained road		
C21	Haul Routes (external/any specific conditions or restrictions)	x					
C22	Blast Monitoring Report (quarries only)			x			
C23	Dust Suppression	x			Dust suppressants to be used when required.		
C24	Hours of Operation (any specific conditions or restrictions)	x					
C25	Well Monitoring Reports	x					
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)	x			Identification sign located near County Road 32 access (Twp Road 5).		
C27	Orderly Conditions	x			Site is maintained in an orderly manner		
C28	Blasting Hours (quarries only)			x			

Note: Any ("No") requires completion of Page 3

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Form #591 (Rev. 04/03)

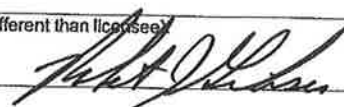
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☐ Additional Detailed Information Attached

- Page 3

Date Submitted to MNR: Y / M / D	15/09/25	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to:	County/Regional Municipality	Local Municipality	Ministry of Natural Resources
(by September 30th)	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES

TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	15/07/15	Review Conducted by: Bob Gibson (Please Print)	Signature (if different than licensee) 
Name of Company and Address: Robert Gibson Consulting Services Inc., 15 Idlewood Drive, Kitchener, ON, N2A 1H9			
Position with Company: President			

Signature of Licensee or Authorized Official:	 TGL Ltd.
---	---

FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>			Licence ID #: 5654	

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

Licence ID# 5654

ROBERT GIBSON CONSULTING SERVICES INC.

Phone (519) 894-0273
Fax (519) 894-9526
Email gibsonr@rogers.com

6.2157
15 IDLEWOOD DRIVE
KITCHENER, ONTARIO
N2A 1H9

September 25, 2015

Ministry of Natural Resources and Forestry
Guelph District Office
1 Stone Road W., 1st Floor
Guelph, Ontario
N1G 4Y2

Attention: Kristy Sutherland, Aggregate Resource Specialist

Dear Kristy,

SUBJECT: Annual Compliance Assessment Report for 2015
Licence # 5610 (Philips Pit)
Part Lots 4 & 5, Concession 5
Township of Puslinch
Licensee: TGL Ltd.

Enclosed is the Compliance Assessment Report for the gravel pit licensed to TGL Ltd. at the above noted location. Copies of the report have been filed with the Township of Puslinch and the County of Wellington.

If you have any questions regarding the report, please contact me at my office.

Yours truly,



Robert J. Gibson

Encl.

cc: Don Poort, TGL Ltd.
Township of Puslinch
County of Wellington

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Township of Puslinch

Licensees Compliance Assessment Report - Aggregate Resources Act

Philips Pit

Background Information						Year: 2015
Licensee: TGL Ltd.			Licence ID #: 5610		MNR District/Area Office: Guelph District	
Lot: Pt. 4 & 5	Conc.: 5	Geographic Twp.: Puslinch		Municipality: Wellington County		
Observations						
OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?
		Yes	No	N/A		
A - Site Access						
A1	Boundaries (clearly marked)	x			Licensed boundaries are fenced and/or identified by vegetated fencerows and/or woodlands.	
A2	Entrance and Exits (location/closed)	x			Locked gate located at entrance/exit restricts public access from Township Road 5.	
A3	Lease/Ownership/Extraction Agreement	Licensee owns property				
B - Site Protection						
B4	Fencing	x			Fencing requires maintenance along County Rd.; however pit is no longer active.	
B5	Fencing (site plan variation or temporary relief granted)	x			Westerly boundary along Speed River and west section of south boundary identified by natural features/fence lines.	
B6	Screening (trees/berms)	x			Pit is depleted and is rehabilitated to an agricultural after use	
B7	Setbacks (15m / 30m or other)	x				
C - Operational Details						
C8	Operating Sequence	x			Pit is depleted and no longer active.	
C9	Stripping (overburden)	x			Topsoil and overburden material used in the rehabilitation of pit.	
C10	Overburden Seeded	x			Overburden material used in rehabilitation and is presently cropped.	
C11	Extraction Depth	x			Lowest floor elevation: 296.5+/-	
C12	Buildings/Scales (location)	x			No buildings are located within the pit area.	
C13	Equipment (any specific conditions or restrictions)	x			Pit is mainly depleted and not in operation.	
C14	Plant (location/any specific conditions or restrictions)	x				
C15	Scrap (location/removal)	x			No scrap was observed on site during the inspection.	
C16	Stockpiles (location)	x			No aggregate stockpiles remain on site	
C17	Topsoil (location/seeded)	x			Soil is used in rehabilitation.	
C18	Excavation Faces	x			All pit faces have been sloped prior to rehabilitation.	
C19	Ponds (location/depth)			x		
C20	Internal Roads (any specific conditions or restrictions)	x			No internal road system on site.	
C21	Haul Routes (external/any specific conditions or restrictions)	x				
C22	Blast Monitoring Report (quarries only)			x		
C23	Dust Suppression	x			Dust suppression is not required as the pit is not active.	
C24	Hours of Operation (any specific conditions or restrictions)	x				
C25	Well Monitoring Reports	x				
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)	x			Common identification sign with Martini Pit	
C27	Orderly Conditions	x			Majority of site is rehabilitated and maintained in an orderly manner.	
C28	Blasting Hours (quarries only)			x		

Note: Any ("No") requires completion of Page 3

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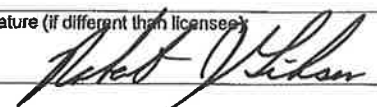
Licence ID #: 5610

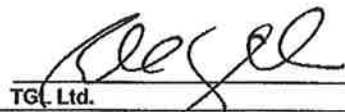
 Additional Detailed Information Attached

- ***You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.***
- ***In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.***

Date Submitted to MNR: Y / M / D	15/09/25	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to:	County/Regional Municipality	Local Municipality	Ministry of Natural Resources
(by September 30th)	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES

TO BE COMPLETED BY PERSON CONDUCTING REVIEW (Including on-site inspection)			
Date Inspected: Y / M / D	15/07/15	Review Conducted by: Bob Gibson (Please Print)	Signature (if different than licensee) 
Name of Company and Address: Robert Gibson Consulting Services Inc., 15 Idlewood Drive, Kitchener, ON, N2A 1H9			
Position with Company: President			

Signature of Licensee or Authorized Official:	 TGL Ltd.
---	---

FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>		Licence ID #: 5610		

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

Licence ID# 5610

6.2(c)

ROBERT GIBSON CONSULTING SERVICES INC.

15 IDLEWOOD DRIVE
KITCHENER, ONTARIO
N2A 1H9

Phone (519) 894-0273
Fax (519) 894-9526
Email gibscon@rogers.com

September 22, 2015

Ministry of Natural Resources
Guelph District Office
1 Stone Road W., 1st Floor
Guelph, Ontario
N1G 4Y2

Attention: Seana Richardson, Aggregate Resource Specialist

Dear Seana,

Subject: Annual Compliance Assessment Report for 2015
McKenzie Brothers (Guelph) Limited
Part Lots 3 – 5, Concession 9
Township of Puslinch
License ID # 5709

Enclosed is the Compliance Assessment Reports for the above noted licensed pit operated by McKenzie Brothers (Guelph) Limited. Copies of the report have been filed with the lower and upper tier municipalities which the property is situated, as required under the Aggregate Resources Act.

If you have any questions regarding the report, please give me a call.

Yours truly,



Robert J. Gibson

Enclosures

cc: Dave McKenzie, McKenzie Brothers (Guelph) Limited
Township of Puslinch
County of Wellington

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OCT 05 2015

Township of Puslinch

Licensees Compliance Assessment Report - Aggregate Resources Act

Background Information						Year: 2015
Licensee: McKenzie Brothers (Guelph) Limited			Licence ID #: 5709		MNR District/Area Office: Guelph District	
Lot: Pt. 3, 4, 5		Conc.: 9		Geographic Twp.: Puslinch		Municipality: Wellington County
Observations						
OPERATING STANDARDS			IN COMPLIANCE?		COMMENTS	
			Yes	No	N/A	Remedial Action?
A - Site Access						
A1	Boundaries (clearly marked)		x		The licensed boundaries are delineated by post and wire fencing except for common boundary with adjacent pit Lic.# 15338.	
A2	Entrance and Exits (location/closed)		x		Entrance to the pit is located off site and inadvertent public access to the pit is restricted by a lockable gate when the pit is not in use.	
A3	Lease/Ownership/Extraction Agreement		Licensee owns property			
B - Site Protection						
B4	Fencing		x		Fencing requiring repairs in 2014 have been fixed. Portions of fencing have become overgrown	
B5	Fencing (site plan variation or temporary relief granted)		x		No fencing necessary between the common boundary between the licensee's adjacent pit.	
B6	Screening (trees/berms)		x		Site is located in a remote area and is well screened by surrounding woodlands and general topography.	
B7	Setbacks (15m / 30m or other)		x		A site plan variance is approved to allow for the removal of the common setback between the licensee's adjacent pit Lic. #15338.	
C - Operational Details						
C8	Operating Sequence		x		Pit is being utilized for processing imported material for recycling and resale purposes. Stockpiled material on site. No active excavation.	
C9	Stripping (overburden)		x		Overburden has been used for rehabilitation purposes (sloping of pit faces) or is stored in berming or stockpiled for future use.	
C10	Overburden Seeded		x		Stockpiles of overburden are well vegetated with self sustaining growth.	
C11	Extraction Depth		x		Complies with site plan requirements. Lowest floor elevation: 316+/-	
C12	Buildings/Scales (location)		x		Weigh scales and office are located on site.	
C13	Equipment (any specific conditions or restrictions)		x		There are no special restrictions concerning internal haul roads	
C14	Plant (location/any specific conditions or restrictions)		x		Portable crushing and screening equipment used intermittently.	
C15	Scrap (location/removal)		x		Site is very well maintained and scrap is collected and stored in a central location.	
C16	Stockpiles (location)		x		Aggregate stockpiles are located on the pit floor below grade.	
C17	Topsoil (location/seeded)		x		Same as C10 above	
C18	Excavation Faces		x		All pit faces have been sloped and are vegetated with excellent cover.	
C19	Ponds (location/depth)			x	Small pond on site used as a water source for dust control	
C20	Internal Roads (any specific conditions or restrictions)		x			
C21	Haul Routes (external/any specific conditions or restrictions)		x			
C22	Blast Monitoring Report (quarries only)			x		
C23	Dust Suppression		x		Dust suppressant/water used when required. No dust concerns were observed during the inspection.	
C24	Hours of Operation (any specific conditions or restrictions)		x			
C25	Well Monitoring Reports			x	City of Guelph monitors wells for their purposes.	
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)		x		Identification sign is located off site at the main entrance/exit onto County Rd. 41.	
C27	Orderly Conditions		x		Site is maintained in a very orderly manner.	
C28	Blasting Hours (quarries only)			x		

Note: Any ("No") requires completion of Page 3

[illegible]

Form #591 (Rev. 04/03)

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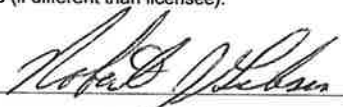
Licence ID #: 5709

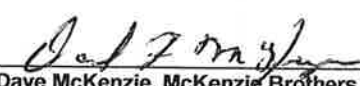
☐ Additional Detailed Information Attached

- Form #591 (Rev. 04/03)

Date Submitted to MNR: Y / M / D	15/09/22	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to:	County/Regional Municipality	Local Municipality	Ministry of Natural Resources
(by September 30th)	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES

TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	15/08/10	Review Conducted by: (Please Print) Bob Gibson	Signature (if different than licensee): 
Name of Company and Address: Robert Gibson Consulting Services Inc., 15 Idlewood Drive, Kitchener, ON, N2A 1H9			
Position with Company: President			

Signature of Licensee or Authorized Official:
 Dave McKenzie, McKenzie Brothers (Guelph) Limited

FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>		Licence ID #:5709		

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

Licence ID# 5709

ROBERT GIBSON CONSULTING SERVICES INC.

6.2(d)
15 IDLEWOOD DRIVE
KITCHENER, ONTARIO
N2A 1H9

Phone (519) 894-0273
Fax (519) 894-9526
Email gibscon@rogers.com

September 22, 2015

Ministry of Natural Resources and Forestry
Guelph District Office
1 Stone Road W., 1st Floor
Guelph, Ontario
N1G 4Y2

Attention: Seana Richardson, Aggregate Resource Specialist

Dear Seana,

Subject: Annual Compliance Assessment Report for 2015
McKenzie Brothers (Guelph) Limited
Part Lot 3, Concession 9
Township of Puslinch
License ID # 15338

Enclosed is the Compliance Assessment Reports for the above noted licensed pit operated by McKenzie Brothers (Guelph) Limited. Copies of the report have been filed with the lower and upper tier municipalities which the property is situated, as required under the Aggregate Resources Act.

If you have any questions regarding the report, please give me a call.

Yours truly,



Robert J. Gibson

Enclosures

cc: Dave McKenzie, McKenzie Brothers (Guelph) Limited
Township of Puslinch
County of Wellington

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OCT 05 2015

Township of Puslinch

Licensees Compliance Assessment Report - Aggregate Resources Act

Background Information						Year: 2015
Licensee: McKenzie Brothers (Guelph) Limited			Licence ID #: 15338		MNR District/Area Office: Guelph District	
Lot: Pt. 3	Conc.: 9	Geographic Twp.: Puslinch			Municipality: Wellington County	
Observations						
OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?
		Yes	No	N/A		
A - Site Access						
A1	Boundaries (clearly marked)	x			Licensed boundaries are identified by post and wire fences and metal marker posts along the south boundary adjacent to woodlands.	
A2	Entrance and Exits (location/closed)	x			The entrance is located exiting onto County Road 41. Lockable gate restricts inadvertent public access when pit is not in use.	
A3	Lease/Ownership/Extraction Agreement	Licensee owns and operates property				
B - Site Protection						
B4	Fencing	x			Fencing is in good condition; west boundary fence is overgrown with significant amount of vines but effectively restricts access to the pit.	
B5	Fencing (site plan variation or temporary relief granted)	x			Steel marker posts identify the south licensed boundary along the top of bank. West fence is offset 5m from actual licensed boundary.	
B6	Screening (trees/berms)	x			The pit is well screened by a combination of berming and tree screen along Cty Rd. 41 and the surrounding woodlands/vegetation.	
B7	Setbacks (15m / 30m or other)	x			In compliance with approved site plan.	
C - Operational Details						
C8	Operating Sequence	x			Excavation is proceeding as noted on site plan. Pit is nearing depletion of sand & gravel.	
C9	Stripping (overburden)	x			Soil has been stripped and stockpiled separately or used directly in the progressive backfilling of the south and east pit faces.	
C10	Overburden Seeded	x			Backfilled areas of the pit are well vegetated. Existing stockpiles are vegetated with self sustaining growth	
C11	Extraction Depth	x			Depth varies due to the presence of bedrock formation in various locations. Lowest floor elevation: 314+/-	
C12	Buildings/Scales (location)	x			No buildings are located within the pit area	
C13	Equipment (any specific conditions or restrictions)	x				
C14	Plant (location/any specific conditions or restrictions)	x			Portable processing equipment is used intermittently.	
C15	Scrap (location/removal)	x			Scrap is collected in a central area of the pit and removed on a regular basis.	
C16	Stockpiles (location)	x			Aggregate stockpiles are located on the pit floor below the surrounding grade and are well screened.	
C17	Topsoil (location/seeded)	x			Same as C10 above.	
C18	Excavation Faces	x			All pit faces comply with site plan and MOL requirements.	
C19	Ponds (location/depth)			x	Above water table extraction operation only.	
C20	Internal Roads (any specific conditions or restrictions)	x				
C21	Haul Routes (external/any specific conditions or restrictions)	x				
C22	Blast Monitoring Report (quarries only)			x		
C23	Dust Suppression	x			Dust suppressants/water is used when conditions are necessary. No adverse dust conditions were noted at the time of the inspection.	
C24	Hours of Operation (any specific conditions or restrictions)	x				
C25	Well Monitoring Reports			x	City of Guelph conducts independent monitoring.	
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)	x			Identification sign is posted off-site at the entrance/exit onto County Road 41.	
C27	Orderly Conditions	x			Pit is well managed and maintained in an orderly manner.	
C28	Blasting Hours (quarries only)			x		

Note: Any ("No") requires completion of Page 3

Observations (continued)

OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?
		Yes	No	N/A		
D – Rehabilitation						Y
D29	Disturbed Hectarage	X			Current year - # of hectares <u> NIL </u> Total # of hectares <u> 3.3+/- </u>	
D30	Progressive rehabilitation	X			Current year - # of hectares <u> NIL </u> Total # of hectares <u> 1.8+/- </u>	
D31	Sloping of Faces	X			East and north pit faces are being backfilled and sloped progressively.	
D32	Grades/Contours/Elevations	X			Grading, contouring and pit floor elevations are established during the extraction operations. (see General Comments)	
D33	Importation of Material (inert)	X			Material has been imported for enhancement of rehabilitation and sloping of backfilled pit faces – Note 14, Operational Plan.	
D34	Vegetation	X			North slopes are well vegetated with self sustaining growth.	
D35	Final Rehabilitation	X			Material has been stockpiled on west side of pit to use for grading of pit floor in preparation of final rehabilitation	

E - Prescribed Conditions (For Licences issued after June 27, 1997)

E36 Other Monitoring Reports			X		
E37 Requirements of C of A's			X		
E38 Noise Mitigation			X		
E39 Fuel Storage Tanks			X		
E40 Spills Plan			X		
E41 Permit to Take Water			X		
E42 Dust Suppression Measures Req'd. (Haul routes, equip, etc.)			X		

F - Other Conditions (As indicated on either Site Plan or Licence)

F43 Tonnage Condition (100,000 tonnes)	X			It is not anticipated to exceed the annual tonnage limit this year.	
F44					
F45					

General Comments:

The licensee continuing to progressive rehabilitate along the southerly and easterly limits of extraction by backfilling and establishing slopes that are more than the required 3:1. This will make the site better suited for the proposed agricultural after use for the site. Portions of the pit floor that extends to bedrock continue to be backfilled and levelled in order to prepare grades that will be suitable for the final agricultural rehabilitation.

Licence ID#: 15338

Note: Any ("No") requires completion of Page 3

THIS SECTION MUST BE COMPLETED WHEN REMEDIAL ACTION IS REQUIRED			
OPERATING STANDARDS from Pg. 1 (e.g. B4 – Fencing)	Remedial Action Required	Deadline Date	MNR Direction (for MNR use only)
<i>EXAMPLE B4 - Fencing</i>	<i>200 ft of West boundary to be fenced</i>	<i>ex. June 15/15</i>	

MNR Direction
(for MNR use only)

ex. June 15/15

SEE NOTES BELOW REGARDING REMEDIAL ACTION DEADLINE DATES


[illegible]

☐ Additional Detailed Information Attached

- ***You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.***
- ***In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.***

Date Submitted to MNR: Y / M / D	15/09/22	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to: (by September 30th)	County/Regional Municipality	Local Municipality	Ministry of Natural Resources
	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES

TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	15/08/10	Review Conducted by: (Please Print) Bob Gibson	Signature (if different than licensee): 
Name of Company and Address: Robert Gibson Consulting Services Inc., 15 Idlewood Drive, Kitchener, ON, N2A 1H9			
Position with Company: President			

Signature of Licensee or Authorized Official:  Dave McKenzie, McKenzie Brothers (Guelph) Limited

FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>				Licence ID #: 15338

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
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- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

Licence ID# 15338



Dufferin Aggregates
2300 Steeles Ave W, 4th Floor
Concord, ON L4K 5X6
Canada

6.3(a)

September 11, 2015

Seana Richardson
Aggregates Technical Specialist
Ministry of Natural Resources
Guelph District
1 Stone Road West
Guelph, Ontario
N1G 4Y2

CLERK'S DEPARTMENT	
TO	Stan.
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Council Agenda	Dufferin Hwy connects!
File	

Attention: Ms. Richardson

**Re: Monthly Monitoring Report
Mill Creek Pit, License #5738
Township of Puslinch, Wellington County**

Please find enclosed the required monitoring data for the month of August 2015. As indicated, there were no exceedences to report in this month.

If you have any questions, please do not hesitate to call.

Sincerely,

Ron Van Ooteghem
Site Manager

C.c.

Karen Landry (Township of Puslinch)
Sonja Strynatka (GRCA)
Kevin Mitchell (Dufferin Aggregates)
University of Guelph

Monthly Reporting
Mill Creek Aggregates Pit
August 2015

Date	DP21 (mASL)	Threshold Value (mASL)	Exceedance
7-Aug-15	305.77	305.49	NO
20-Aug-15	305.79	305.49	NO
25-Aug-15	305.83	305.49	NO

Date	BH13 (mASL)	DP21 (mASL)	Head Difference (m)	Threshold Value (m)	Exceedance
7-Aug-15	306.21	305.77	0.44	0.10	NO
20-Aug-15	306.26	305.79	0.47	0.10	NO
25-Aug-15	306.28	305.83	0.45	0.10	NO

Date	DP17 (mASL)	Threshold Value (mASL)	Exceedance
7-Aug-15	305.23	305.17	NO
20-Aug-15	305.25	305.17	NO
25-Aug-15	305.26	305.17	NO

Date	BH92-12 (mASL)	DP17 (mASL)	Head Difference (m)	Threshold Value (m)	Exceedance
7-Aug-15	305.38	305.23	0.15	0.06	NO
20-Aug-15	305.39	305.25	0.14	0.06	NO
25-Aug-15	305.44	305.26	0.18	0.06	NO

Date	DP3 (mASL)	Threshold Value (mASL)	Exceedance
7-Aug-15	304.69	304.54	NO
20-Aug-15	304.74	304.54	NO
25-Aug-15	304.77	304.54	NO

Date	DP6 (mASL)	DP3 (mASL)	Head Difference (m)	Threshold Value (m)	Exceedance
7-Aug-15	305.59	304.69	0.90	0.58	NO
20-Aug-15	305.63	304.74	0.89	0.58	NO
25-Aug-15	305.64	304.77	0.87	0.58	NO

Date	DP2 (mASL)	Threshold Value (mASL)	Exceedance
7-Aug-15	304.21	303.50	NO
20-Aug-15	304.20	303.50	NO
25-Aug-15	304.21	303.50	NO

Date	BH92-27 (mASL)	DP2 (mASL)	Head Difference (m)	Threshold Value (m)	Exceedance
7-Aug-15	304.97	304.21	0.76	0.32	NO
20-Aug-15	304.93	304.20	0.73	0.32	NO
25-Aug-15	304.87	304.21	0.66	0.32	NO

Date	DP1 (mASL)	Threshold Value (mASL)	Exceedance
7-Aug-15	304.31	303.91	NO
20-Aug-15	304.31	303.91	NO
25-Aug-15	304.29	303.91	NO

Date	BH92-29 (mASL)	DP1 (mASL)	Head Difference (m)	Threshold Value (m)	Exceedance
7-Aug-15	305.34	304.31	1.03	0.23	NO
20-Aug-15	305.23	304.31	0.92	0.23	NO
25-Aug-15	305.18	304.29	0.89	0.23	NO

Date	DP5C (mASL)	Threshold Value (mASL)	Exceedance
7-Aug-15	303.05	302.79	NO
20-Aug-15	303.07	302.79	NO
25-Aug-15	303.07	302.79	NO

Date	OW5-84 (mASL)	DP5C (mASL)	Head Difference (m)	Threshold Value (m)	Exceedance
7-Aug-15	303.49	303.05	0.44	0.25	NO
20-Aug-15	303.52	303.07	0.45	0.25	NO
25-Aug-15	303.58	303.07	0.51	0.25	NO

Notes:
No exceedances to report

Monthly Reporting
Mill Creek Aggregates Pit
August 2015

						Max. Allowable as per PTTW- Main Pond						
Total Monthly Precipitation (mm):			Waterloo-Wellington Airport (August Actual)			(Imperial Gallons)					(Litres)	
Total Monthly Normal Precipitation (mm):			Waterloo-Wellington Airport (30-year Normal)			2,500			per minute		11,365	
						1,800,000			per day		8,183,000	
Date	Below Water Table Extraction (wet tonnes) Phase 2	Below Water Table Extraction (wet tonnes) Phase 4	Water Pumped from Main Pond (gals)	Water Pumped from Active Silt Pond (gals)	Main Pond Level (mASL)	Exceedance Y/N (BELOW 305.5 mASL)	Phase 2 Pond Level (mASL)	Exceedance Y/N (BELOW 305.0 mASL)	Phase 3 Pond Level (mASL)	Exceedance Y/N (BELOW 303.85 mASL)	Phase 4 Pond Level (mASL)	Exceedance Y/N (BELOW 304.5 mASL)
1-Aug-15	0		0	0	--	--	--	--	--	--	--	--
2-Aug-15	0		0	0	--	--	--	--	--	--	--	--
3-Aug-15	0		0	0	--	--	--	--	--	--	--	--
4-Aug-15	0	7200	1,655,269	1,303,538	306.64	NO	306.23	NO	305.49	NO	305.71	NO
5-Aug-15	0	6300	1,552,983	2,281,081	306.64	NO	306.22	NO	305.48	NO	305.69	NO
6-Aug-15	0	6900	1,564,861	2,189,354	306.54	NO	306.21	NO	305.47	NO	305.66	NO
7-Aug-15	0	4075	1,665,827	2,451,117	306.65	NO	306.21	NO	305.46	NO	305.64	NO
8-Aug-15	0		0	0	--	--	--	--	--	--	--	--
9-Aug-15	0		0	0	--	--	--	--	--	--	--	--
10-Aug-15	0	7500	1,654,389	1,460,376	306.59	NO	306.19	NO	305.43	NO	305.69	NO
11-Aug-15	0	7500	1,647,570	3,281,501	306.66	NO	306.20	NO	305.45	NO	305.65	NO
12-Aug-15	0	4950	1,655,928	3,275,342	306.64	NO	306.20	NO	305.44	NO	305.59	NO
13-Aug-15	0	6250	1,660,548	3,345,732	306.69	NO	306.19	NO	305.43	NO	305.53	NO
14-Aug-15	0	1788	1,663,627	1,870,179	306.67	NO	306.19	NO	305.43	NO	305.54	NO
15-Aug-15	0		0	0	--	--	--	--	--	--	--	--
16-Aug-15	0		0	0	--	--	--	--	--	--	--	--
17-Aug-15	0	3900	1,525,487	1,522,847	306.73	NO	306.26	NO	305.49	NO	305.76	NO
18-Aug-15	0	7175	1,630,852	3,227,609	306.76	NO	306.26	NO	305.48	NO	305.70	NO
19-Aug-15	0	4263	1,594,117	3,283,261	306.78	NO	306.25	NO	305.48	NO	305.63	NO
20-Aug-15	0	6600	1,635,251	3,202,752	306.75	NO	306.25	NO	305.48	NO	305.60	NO
21-Aug-15	0	1788	1,621,173	3,225,629	306.82	NO	306.26	NO	305.47	NO	305.56	NO
22-Aug-15	0		0	0	--	--	--	--	--	--	--	--
23-Aug-15	0		0	0	--	--	--	--	--	--	--	--
24-Aug-15	0		1,667,587	1,817,386	306.76	NO	306.23	NO	305.47	NO	305.61	NO
25-Aug-15	0		1,613,474	1,549,903	306.73	NO	306.22	NO	305.42	NO	305.67	NO
26-Aug-15	0	1950	1,659,448	2,146,460	306.73	NO	306.22	NO	305.43	NO	305.65	NO
27-Aug-15	0	3900	1,664,287	2,084,649	306.72	NO	306.22	NO	305.43	NO	305.63	NO
28-Aug-15	0	1500	1,665,387	2,175,936	306.71	NO	306.21	NO	305.43	NO	305.60	NO
29-Aug-15	0		0	0	--	--	--	--	--	--	--	--
30-Aug-15	0		0	0	--	--	--	--	--	--	--	--
31-Aug-15	0		1,650,429	1,972,684	306.67	NO	306.20	NO	305.41	NO	305.68	NO
Total	0	83538	32,648,496	47,667,336								
Avg./ day	0.0	4913.97	1,053,177.28	1,537,656.00	306.70	NO	306.22	NO	305.46	NO	305.64	NO

Note: No exceedances to report



CRH Canada Group Inc.
2300 Steeles Ave W, 4th floor
Concord, Ontario
L4K 5X6 Canada

T. 905-761-7100
F. 905-761-7200

www.crhcanada.com

6.3(b)

Ministry of Natural Resources and Forestry
GUELPH DISTRICT
Ontario Government Bldg
1 Stone Rd West
Guelph, ON
N1G4Y2

September 25, 2015

Attention: Ms. Seana Richardson

Subject: Dufferin Aggregates 2015 Compliance Assessment Reports – Mill Creek Pit

Dear Ms, Richardson,

Please find enclosed the Dufferin Aggregates 2015 Compliance Assessment Report for Mill Creek Pit, Licence ID No. 5738.

Please do not hesitate to contact our office should you have any questions.

Yours truly,

Maria Topalovic
Environmental Specialist

cc: Clerk - County of Wellington
Philip Wong - University of Guelph
CAO, Clerk-Treasurer - Township of Puslinch

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SEP 28 2015

Township of Puslinch

Licensees Compliance Assessment Report - Aggregate Resources Act

Background Information						Year: 2015
Licensee: University of Guelph			Licence ID #:5738 (Mill Creek Pit)		MNR District/Area Office: Guelph	
Lot: 21 – 24 24	Conc.: 2 1	Geographic Twp.: Puslinch Township			Municipality: County of Wellington	
Observations						
OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	
		Yes	No	N/A		
A - Site Access						Y
A1	Boundaries (clearly marked)	X			Licensed boundaries are marked with wire fencing and posts	
A2	Entrance and Exits (location/closed)	X			Access to site through phase 1 and phase 2 is restricted by locked gates	
A3	Lease/Ownership/Extraction Agreement	X			Site is owned by University of Guelph. Dufferin Aggregates, a division of CRH Canada Group Inc. operates the site as per an extraction agreement.	
B - Site Protection						
B4	Fencing	X			Fences are inspected regularly and repaired as required	
B5	Fencing (site plan variation or temporary relief granted)	X			West boundary is exempt from fencing and is demarcated by erected signs	
B6	Screening (trees/berms)	X			Site is well screened by berms and tree cover	
B7	Setbacks (15m / 30m or other)	X				
C - Operational Details						
C8	Operating Sequence	X			Current operations are in Phase 4 as per schematic sequence outlined in operational plan	
C9	Stripping (overburden)	X			No stripping required in 2015	
C10	Overburden Seeded	X			Overburden seeding will be completed once silt pond 3 has been fully shaped	
C11	Extraction Depth	X			Underwater extraction is 8-10m below the ground elevation.	Lowest floor elevation: ± 290 masl
C12	Buildings/Scales (location)	X			Buildings are located as per site plan	
C13	Equipment (any specific conditions or restrictions)	X			Equipment operating are as per operational plan (Note 30)	
C14	Plant (location/any specific conditions or restrictions)	X			Processing plant is located as per operational plan (Note 5)	
C15	Scrap (location/removal)	X			Scrap stored in designated area as per site plan and removed regularly (Note 22)	
C16	Stockpiles (location)	X			Stock piles are located in area illustrated on site plans	
C17	Topsoil (location/seeded)	X			Topsoil piles are vegetated	
C18	Excavation Faces	X				
C19	Ponds (location/depth)	X			Excavation is occurring below water and pond levels are monitored as required	
C20	Internal Roads (any specific conditions or restrictions)	X			Internal roads are well maintained and controlled with traffic signs	
C21	Haul Routes (external/any specific conditions or restrictions)	X			Followed as per licence conditions and dust control measures implemented as required	
C22	Blast Monitoring Report (quarries only)			X		
C23	Dust Suppression	X			Internal roads and entrances treated for dust with water and liquid calcium chloride (Note 10)	
C24	Hours of Operation (any specific conditions or restrictions)	X			Operations: 7 am to 7 pm Mon – Fri, 7 am – noon Sat. Shipping: 6 am to 7 pm Mon – Fri, 7 am – noon Sat.	
C25	Well Monitoring Reports	X			Submitted monthly and annually as required to MNRF, MOECC, GRCA, & Township.	
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)	X			Identification signs are posted at phase 1 and phase 2 entrances	
C27	Orderly Conditions	X			Site is operating in an orderly condition and is well maintained	
C28	Blasting Hours (quarries only)			X		

Note: Any ("No") requires completion of Page 3

[illegible]

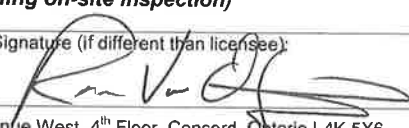
Form #591 (Rev. 07/09)

[illegible]

- Page 3

Date Submitted to MNR: Y / M / D	15109125	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to: (by September 30th)	County/Regional Municipality <input type="checkbox"/> YES	Local Municipality <input type="checkbox"/> YES	Ministry of Natural Resources <input type="checkbox"/> YES
--	--	--	---

TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015/08/04	Review Conducted by: Ron Van Ooteghem (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Dufferin Aggregates, a division of CRH Canada Group Inc., 2300 Steeles Avenue West, 4 th Floor, Concord, Ontario L4K 5X6			
Position with Company: Site Manager			

Signature of Licensee or Authorized Official: 
--

FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>				Licence ID #:

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)



CRH Canada Group Inc.
2300 Steeles Ave W, 4th floor
Concord, Ontario
L4K 5X6 Canada

T. 905-761-7100
F. 905-761-7200

www.crhcanada.com

6.3(c)

Ministry of Natural Resources and Forestry
GUELPH DISTRICT
Ontario Government Bldg
1 Stone Rd West
Guelph, ON
N1G4Y2

September 25, 2015

Attention: Ms. Seana Richardson

Subject: Dufferin Aggregates 2015 Compliance Assessment Reports - Aberfoyle Pits

Dear Ms. Richardson,

Please find enclosed the 2015 Compliance Assessment Reports for the following Dufferin Aggregates licensed properties in the Township of Puslinch, County of Wellington:

1. Aberfoyle Pit#1 Licence #5483
2. Aberfoyle Pit #2 Licence #5609

Please do not hesitate to contact our office should you have any questions.

Yours truly,

Maria Topalovic
Environmental Specialist

cc: Clerk - County of Wellington
CAO, Clerk - Township of Puslinch

CLERK'S DEPARTMENT	
TO	
Copy	
Please Handle	
For Your Information	
Council Agenda	✓
File	

RECEIVED

SEP 28 2015

Township of Puslinch

Licensees Compliance Assessment Report - Aggregate Resources Act

Background Information						Year: 2015	
Licensee: Dufferin Aggregates, a division of CRH Canada Group Inc.				Licence ID #: 5483 (Aberfoyle Pit #1)		MNR District/Area Office: Guelph	
Lot : 23 and 24	Conc.: 7	Geographic Twp.: Puslinch Township			Municipality: County of Wellington		
Observations							
OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS		Remedial Action?
		Yes	No	N/A			
A - Site Access							Y
A1	Boundaries (clearly marked)	X			Licensed boundaries are marked with wire fencing and posts. The south and west boundary between Dufferin Aggregates and CBM is marked with stakes due to override for fencing along this boundary. No extraction activity at this site in 2015.		
A2	Entrance and Exits (location/closed)	X			East entrance is gated and locked		
A3	Lease/Ownership/Extraction Agreement	X			Dufferin Aggregates, a division of CRH Canada Group Inc.		
B - Site Protection							
B4	Fencing	X			Fences are inspected regularly and repaired as required		
B5	Fencing (site plan variation or temporary relief granted)	X			Relief on fencing of S/W and W boundary adjacent to CBM Pit		
B6	Screening (trees/berms)	X					
B7	Setbacks (15m / 30m or other)	X					
C - Operational Details							
C8	Operating Sequence	X			No extraction occurred in 2015		
C9	Stripping (overburden)	X			No stripping activity in 2015		
C10	Overburden Seeded	X					
C11	Extraction Depth	X			Lowest floor elevation is below water.	Lowest floor elevation: \pm 303 masl	
C12	Buildings/Scales (location)	X					
C13	Equipment (any specific conditions or restrictions)	X					
C14	Plant (location/any specific conditions or restrictions)	X			Material can be imported from other licensed sites for processing. However, there was no processing at this site in 2015.		
C15	Scrap (location/removal)	X			Scrap removed regularly		
C16	Stockpiles (location)	X			Site is not operating. Some unprocessed raw feed materials are present on site for future use as dictated by sales demands.		
C17	Topsoil (location/seeded)	X					
C18	Excavation Faces	X			No excavation faces		
C19	Ponds (location/depth)	X					
C20	Internal Roads (any specific conditions or restrictions)	X					
C21	Haul Routes (external/any specific conditions or restrictions)	X					
C22	Blast Monitoring Report (quarries only)			X			
C23	Dust Suppression	X			Due to no activity, no dust suppressant was required in 2015		
C24	Hours of Operation (any specific conditions or restrictions)	X			Site did not operate in 2015		
C25	Well Monitoring Reports			X			
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)	X			Identification sign posted at east entrance		
C27	Orderly Conditions	X					
C28	Blasting Hours (quarries only)			X			

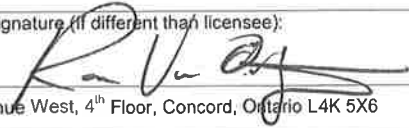
Note: Any ("No") requires completion of **Page 3**

[illegible]

- Page 3

Date Submitted to MNR: Y / M / D	15 / 09 / 25	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input checked="" type="checkbox"/> YES or <input type="checkbox"/> NO Operating as a plant site		

Copies of Report Sent to:	County/Regional Municipality	Local Municipality	Ministry of Natural Resources
(by September 30th)	<input type="checkbox"/> YES	<input type="checkbox"/> YES	<input type="checkbox"/> YES

TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015/08/10	Review Conducted by: Ron Van Ooteghem (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Dufferin Aggregates, a division of CRH Canada Group Inc., 2300 Steeles Avenue West, 4 th Floor, Concord, Ontario L4K 5X6			
Position with Company: Site Manager			

Signature of Licensee or Authorized Official: 
--

FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>				Licence ID #:

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

Licensees Compliance Assessment Report - Aggregate Resources Act

Background Information						Year: 2015		
Licensee: Dufferin Aggregates, a division of CRH Group Canada Inc.				Licence ID #: 5609 (Aberfoyle Pit #2)		MNR District/Area Office: Guelph		
Lot: Pt. 22 and 23		Conc.: 9		Geographic Twp.: Puslinch Township		Municipality: County of Wellington		
Observations								
OPERATING STANDARDS			IN COMPLIANCE?			COMMENTS		Remedial Action?
			Yes	No	N/A			
A - Site Access								Y
A1	Boundaries (clearly marked)		X			Licensed boundaries are marked with wire fencing and posts. North boundary between Dufferin and CBM is currently marked with stakes due to approval to take setback. No extraction activity at this site in 2015.		
A2	Entrance and Exits (location/closed)		X			West entrance is gated and locked		
A3	Lease/Ownership/Extraction Agreement		X			Owned by Dufferin Aggregates, a division of CRH Canada Group Inc.		
B - Site Protection								
B4	Fencing		X			Fence are inspected regularly and repaired as required		
B5	Fencing (site plan variation or temporary relief granted)		X			Refer to site plans for details on relief of fencing		
B6	Screening (trees/berms)		X			Site is screened by trees and berms		
B7	Setbacks (15m / 30m or other)		X			Setbacks along North boundary between Dufferin and CBM has been approved for removal		
C - Operational Details								
C8	Operating Sequence		X			No extraction occurred in 2015		
C9	Stripping (overburden)		X			No stripping activity in 2015		
C10	Overburden Seeded		X					
C11	Extraction Depth		X			Lowest floor elevation is below water.	Lowest floor elevation: ±312 m asl	
C12	Buildings/Scales (location)		X			No buildings/scales on site		
C13	Equipment (any specific conditions or restrictions)		X			No equipment on site		
C14	Plant (location/any specific conditions or restrictions)		X			No plant on site		
C15	Scrap (location/removal)		X			No scrap on site		
C16	Stockpiles (location)		X			No stockpiles on site		
C17	Topsoil (location/seeded)		X					
C18	Excavation Faces		X					
C19	Ponds (location/depth)		X			Ponds created by below water extraction as illustrated on site plans		
C20	Internal Roads (any specific conditions or restrictions)		X					
C21	Haul Roules (external/any specific conditions or restrictions)		X			No shipping in 2015		
C22	Blast Monitoring Report (quarries only)				X			
C23	Dust Suppression		X			Due to no operations, no dust suppressant was applied in 2015		
C24	Hours of Operation (any specific conditions or restrictions)		X			Site did not operate in 2015. (No restrictions as per the ARA. Township of Puslinch bylaw being adhered to – 8 am to 6 pm Monday to Friday)		
C25	Well Monitoring Reports		X			Submitted as required		
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)		X			Identification sign posted at West entrance		
C27	Orderly Conditions		X					
C28	Blasting Hours (quarries only)				X			

Note: Any ("No") requires completion of Page 3

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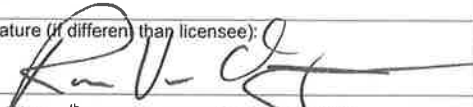
Form #591 (Rev. 09/07)

[illegible]

- Form #591 (Rev. 09/07)

Date Submitted to MNR: Y / M / D	15 09 25	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input checked="" type="checkbox"/> YES or <input type="checkbox"/> NO		

Copies of Report Sent to:	County/Regional Municipality	Local Municipality	Ministry of Natural Resources
(by September 30th)	<input type="checkbox"/> YES	<input type="checkbox"/> YES	<input type="checkbox"/> YES

TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015/08/06	Review Conducted by: Ron VanOoteghem (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Dufferin Aggregates, a division of CRH Canada Group Inc., 2300 Steeles Avenue West, 4 th Floor, Concord, Ontario L4K 5X6			
Position with Company: Site Manager			

Signature of Licensee or Authorized Official: 
--

FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>				Licence ID #:

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

**Ministry of Natural
Resources and Forestry**

Office of the Director
Southern Region
Regional Operations Division
300 Water Street
Peterborough, ON K9J 3C7
Tel: 705-755-3235
Fax: 705-755-3233

**Ministère des ressources
naturelles et des forêts**

Bureau du directeur
Région du Sud
Division des opérations régionales
300, rue Water
Peterborough (Ontario) K9J 3C7
Tél: 705-755-3235
Télé: 705-755-3233



Ontario

6.3(d)

September 10, 2015

Mr. John Bayliss, Environment Manager
CRH Canada Group Inc.
2300 Steeles Avenue West, 4th Floor
Concord, Ontario
L4K 5X6

Dear Mr. Bayliss:

RE: Licence Amendment under the Aggregate Resources Act
Licence Number 5483

Further to your amendment request of August 14, 2015, please be advised that this Ministry grants approval to proceed with the following minor licence amendment:

Change in Licensee name

Dufferin Aggregates, a division of CRH Canada Group Inc.
2300 Steeles Avenue West, 4th Floor
Concord, Ontario
L4K 5X6

Please find attached the amended licence for the licence number listed above. The Ministry will update and forward a copy of the revised licence to the appropriate municipalities and The Ontario Aggregate Resources Corporation for their records. Please replace your existing licence with the amended version.

Should you have any questions concerning this matter, please feel free to contact Seana Richardson, Aggregate Technical Specialist at 519-826-4927.

Yours truly,

Jane Ireland
Regional Director

Cc: Clerk, Township of Puslinch
Clerk, County of Wellington
The Ontario Aggregate Resources Corporation

RECEIVED

SEP 28 2015

Township of Puslinch

CLERK'S DEPARTMENT	
TO	
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Please Handle	
For Your Information	
Council Agenda	✓
File	



LICENCE
Aggregate Resources Act
PERMIS
Loi sur les ressources en agrégats

Licence No.
No du permis 5483

Amended Licence

Pursuant to the Aggregate Resources Act and Regulations thereunder, and subject to the limitations thereof and to the conditions of the licence and the requirements of the site plan,

Conformément à la Loi de 1997 sur les ressources en agrégats et à ses règlements, et sujet aux restrictions qu'ils comportent, aux conditions d'octroi du permis et aux exigences du plan du site,

this Class licence is issued to:
nous délivrons ce permis de classe: A à:

DUFFERIN AGGREGATES, A DIVISION OF CRH CANADA GROUP INC.

2300 Steeles Ave W.
4th Floor, Suite 400
Concord, ON
CANADA
L4K 5X6

to operate a Pit on a 33.6 hectare site located in:
pour exploiter un/une sur le terrain de hectares situé à l'endroit suivant:

SW1/2 23,24	7		PUSLINCH	PUSLINCH TP	WELLINGTON CO
Lot	Concession	Section	Geographic Township	Local Municipality	County / Regional Municipality / District

The licence is subject to the following conditions:
Ce permis est assujéti aux conditions suivantes: As shown on attached Schedule A

Effective the 10 day of September 2015
En vigueur le jour de


Minister of Natural Resources and Forestry
Ministre des Richesses Naturelles et des Forêts



LICENCE
Aggregate Resources Act
PERMIS
Loi sur les ressources en agrégats

Licence No. _____
No du permis 5483

Amended Licence

SCHEDULE A

It is a condition of this licence that no more than 500,000 tonnes of material shall be removed from this site in any one calendar year.

**Ministry of Natural
Resources and Forestry**

Office of the Director
Southern Region
Regional Operations Division
300 Water Street
Peterborough, ON K9J 3C7
Tel: 705-755-3235
Fax: 705-755-3233

**Ministère des ressources
naturelles et des forêts**

Bureau du directeur
Région du Sud
Division des opérations régionales
300, rue Water
Peterborough (Ontario) K9J 3C7
Tél: 705-755-3235
Télé: 705-755-3233



September 10, 2015

Mr. John Bayliss, Environment Manager
CRH Canada Group Inc.
2300 Steeles Avenue West, 4th Floor
Concord, Ontario
L4K 5X6

Dear Mr. Bayliss:

RE: Licence Amendment under the Aggregate Resources Act
Licence Number 5609

Further to your amendment request of August 14, 2015, please be advised that this Ministry grants approval to proceed with the following minor licence amendment:

Change in Licensee name

Dufferin Aggregates, a Division of CRH Canada Group Inc.
2300 Steeles Avenue West, 4th Floor
Concord, Ontario
L4K 5X6

Please find attached the amended licence for the licence number listed above. The Ministry will update and forward a copy of the revised licence to the appropriate municipalities and The Ontario Aggregate Resources Corporation for their records. Please replace your existing licence with the amended version.

Should you have any questions concerning this matter, please feel free to contact Seana Richardson, Aggregate Technical Specialist at 519-826-4927.

Yours truly,

Jane Ireland
Regional Director

cc: Clerk, Township of Puslinch
Clerk, County of Wellington
The Ontario Aggregate Resources Corporation

CLERK'S DEPARTMENT	
TO	
Copy	
Please Handle	
For Your Information	
Council Agenda	✓
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SEP 28 2015

Township of Puslinch



LICENCE
Aggregate Resources Act
PERMIS
Loi sur les ressources en agrégats

Licence No.
No du permis 5609

Amended Licence

Pursuant to the Aggregate Resources Act and Regulations thereunder, and subject to the limitations thereof and to the conditions of the licence and the requirements of the site plan,

Conformément à la Loi de 1997 sur les ressources en agrégats et à ses règlements, et sujet aux restrictions qu'ils comportent, aux conditions d'octroi du permis et aux exigences du plan du site,

this Class licence is issued to:
nous délivrons ce permis de classe: A à:

DUFFERIN AGGREGATES, A DIVISION OF CRH CANADA GROUP INC.

2300 Steeles Ave W.
4th Floor, Suite 400
Concord, ON
CANADA
L4K 5X6

to operate a Pit on a hectare site located in:
pour exploiter un/une sur le terrain de 78.1 hectares situé à l'endroit suivant:

SW1/2 22,23	9		PUSLINCH	PUSLINCH TP	WELLINGTON CO
Lot	Concession	Section	Geographic Township	Local Municipality	County / Regional Municipality / District

The licence is subject to the following conditions:
Ce permis est assujéti aux conditions suivantes: As shown on attached Schedule A

Effective the day of
En vigueur le jour de 10 September 2015

Minister of Natural Resources and Forestry
Ministre des Richesses Naturelles et des Forêts

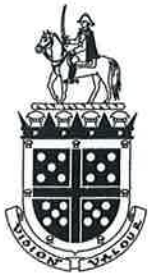


LICENCE
Aggregate Resources Act
PERMIS
Loi sur les ressources en agrégats

Licence No. _____
No du permis 5609
Amended Licence

SCHEDULE A

It is a condition of this licence that no more than 1,000,000 tonnes of material shall be removed from this site in any one calendar year.



PLANNING AND DEVELOPMENT DEPARTMENT
GARY A. COUSINS, M.C.I.P., DIRECTOR
T 519.837.2600
T 1.800.663.0750
F 519.823.1694

COUNTY OF WELLINGTON

ADMINISTRATION CENTRE
74 WOOLWICH STREET
GUELPH ON N1H 3T9

September 28, 2015

ACKNOWLEDGEMENT OF APPLICATION

6.3(f)
RECEIVED

OCT 02 2015

Township of Puslinch

Maria Topalovic,
Dufferin Aggregates
a division of CRH Canada Group Inc.
2300 Steeles Avenue West
Concord, ON L4K 5X6

Dear Ms. Topalovic:

Re: Application for Official Plan Amendment, County File OP-2015-04
Dufferin Aggregates – Mill Creek Pit

Land Owner: University of Guelph

Location: Part of Lot 24, Concession 1 – Puslinch Township
Part Lots 21, 22, 23 and 24, Concession 2 – Puslinch Township

The County of Wellington Planning Department acknowledges receipt of application for Official Plan Amendment dated September 18, 2015. **File Number OP-2015-04** has been assigned to the above referenced application.

Requirements of Official Plan Amendment Application are:

- 1) Applicant/Agent erect a Notice of Official Plan Amendment and Zoning By-law Amendment sign on the subject property (see attached).
- 2) Complete names and mailing addresses with postal codes within 120m of the subject lands. (List submitted with application was not confirmed by Township) Reviewed by, dated and signed by staff of local municipality as most current information.
- 3) Planning Justification Report requires a cover letter with signature of report by planner from GSP group.
- 4) A Dust Management Plan.
- 5) Replacement of Pages 1 and 2 of application form – full information to be filled in on questions 2 and 10.

After the notice sign has been posted and we have received a photo to confirm that the sign has been established, we will continue to review and ensure that the application is complete.

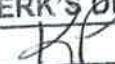
Once the Planning Department accepts the application as complete, we will then circulate the application to the prescribed agencies for their review and comments.

The County of Wellington's primary review planner for this file is Sarah Wilhelm. If you require further assistance or information, please contact her at (519) 837-2600 x2130.

Yours truly,


Gary A. Cousins, MCIP, RPP
Planning Director

cc—Township of Puslinch, CAO/Clerk

CLERK'S DEPARTMENT	
TO	
Copy	
Please Handle	
For Your Information	
Council Agenda	<input checked="" type="checkbox"/>
File	

Notice Sign Specifications and Confirmation

FOR OFFICE USE ONLY

Approved by: _____

Date: _____

File #: _____

For all County of Wellington applications for Official Plan Amendment, Plan of Subdivision and Plan of Condominium, the applicant is required to install notice signs in accordance with the following requirements:

1. The sign shall read as follows:

<p style="text-align: center;">NOTICE</p> <p style="text-align: center;">AN APPLICATION HAS BEEN SUBMITTED TO AMEND THE COUNTY OF WELLINGTON OFFICIAL PLAN</p> <p style="text-align: center;">TO PERMIT EXPANSION OF A MINERAL AGGREGATE OPERATION</p> <p style="text-align: center;">AND AN APPLICATION HAS BEEN SUBMITTED TO AMEND THE TOWNSHIP OF PUSLINCH ZONING BY-LAW</p> <p style="text-align: center;">TO REZONE TO PERMIT EXTRACTION</p> <p style="text-align: center;">FOR FURTHER INFORMATION ON OFFICIAL PLAN AMENDMENT PLEASE CALL THE COUNTY OF WELLINGTON 519.837.2600 X 2160 (FILE: OP-2015-04)</p> <p style="text-align: center;">FOR FURTHER INFORMATION ON ZONING PLEASE CALL THE TOWNSHIP OF PUSLINCH 519.763.1226 (FILE: D14/UNI)</p>

2. The application will not be circulated until proof has been submitted by the applicant to the Planning and Development Department that the sign has been properly installed (i.e. photograph) and this form has been signed and returned by the applicant.
3. Sign specifications:
- | | |
|-------------|---|
| Size | • 1.2 m wide by 1.2 m high, 0.6 metres minimum ground clearance to bottom of sign panel |
| Materials | • 20 mm exterior grade plywood panel, vertical posts to be 10 cm by 10 cm installed a minimum of 1.2 m below grade; 5 cm by 5 cm horizontal stringers to be located behind the top, bottom and centre of the sign panel. |
| Paint | • Sign panels and all structural members shall be painted on all sides and edges with two coats of exterior type matte finish white alkyd paint over a suitable primer. Lettering shall be painted in black on a white background. |
| Lettering | • The sign shall be professionally lettered or silk screened using upper case Helvetica Medium typeface or similar sans serif, size 30mm, 50 mm and 100 mm. The lettering must not be capable of being removed. |
| Location | • Notice sign(s) shall be located approximately 1.5 m from the property line along each street frontage of the property and midway between opposing property boundaries, and/or as directed by the Planning and Development Department. |
| Maintenance | • The applicant agrees that the sign will be maintained both in structure and paint work to the satisfaction of the County. |

To the County of Wellington Planning and Development Department:

The undersigned hereby agrees to construct and install the proposed sign(s) in accordance with the specifications contained herein and to maintain the sign(s) both in structure and paint work to the satisfaction of the County. The undersigned further agrees to remove the sign(s) within seven (7) days of approval, denial or closing of the application(s) by County Council or the Ontario Municipal Board, or the withdrawal of the planning application(s).

Signature _____

☐ Owner

☐ Owner's Agent

Print Name _____

Date: _____

RECEIVED

OCT 01 2015

6.4(a)

Licensees Compliance Assessment Report - Aggregate Resources Act

Township of Puslinch

Background Information						Year: 2015	
Licensee: St. Marys Cement Inc. (Canada)				Licence ID #: 5497 (McNally pit)		MNR District/Area Office: Guelph	
Lot: Part 25 and 26		Conc.: 2		Geographic Twp.: Puslinch		Municipality: Township of Puslinch	
Observations							
OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?	
		Yes	No	N/A			
A - Site Access						Y	
A1 Boundaries (clearly marked)		X			Boundaries are demarcated with fences and signs, except for boundaries shared with the adjacent CBM pits to the northeast and east (see B5).		
A2 Entrance and Exits (location/closed)		X			Gates at the entrance/exit along the south boundary (Concession 2 Road) are locked or can be closed and locked.		
A3 Lease/Ownership/Extraction Agreement: Lands are owned by licensee.							
B - Site Protection							
B4 Fencing			X		All boundaries are presently fenced, except those noted in A1 above (see sketch). Minor fencing repairs required along the south boundary. See general comments.	Y	
B5 Fencing (site plan variation or temporary relief granted)		X			Fencing relief granted for the eastern part of the north boundary and the northern part of the east boundary (refer to site plans for Aberfoyle pit no. 5520).		
B6 Screening (trees/berms)		X			Existing berms with trees screens along boundaries, existing vegetation and topography screen the pit from the adjacent land uses (see notes #7 and #8).		
B7 Setbacks (15m / 30m or other)		X			The setbacks are maintained as shown on the site plans. See general comments.		
C - Operational Details							
C8 Operating Sequence		X			Extraction above and below the water table has proceeded into Areas 1 and 4 as shown on the site plans. The majority of Area 1 remains for the plant site and stockpiling area.		
C9 Stripping (overburden)		X			Stripped topsoil and overburden has been stored in berms and stockpiles on site and used for rehabilitation of slopes.		
C10 Overburden Seeded		X			Established stockpiles are vegetated.		
C11 Extraction Depth		X			Maximum depth allowed – 295 m asl	Lowest floor elevation +/- 295 m	
C12 Buildings/Scales (location)		X			Existing house/office and adjacent scale house are shown on the site plan. Set of scales installed in the northeast part of the site as shown on approved site plans.		
C13 Equipment (any specific conditions or restrictions)		X			There are loaders and various trucks operating on site (see page 2 on site plans, note #9 on site plans). Rock trucks are hauling aggregate from Lanci pit into site for processing.		
C14 Plant (location/any specific conditions or restrictions)		X			Processing and wash plant currently operating in south eastern part of the site (see page 2, note #9 and phasing diagrams).		
C15 Scrap (location/removal)		X			Scrap is kept to a minimum (see page 2, note#13). Scrap removal is on an ongoing basis.		
C16 Stockpiles (location)		X			Product stockpiles currently located on the pit floor generally greater than 30 metres from the boundaries (see site plan overrides on page 1 of site plans).		
C17 Topsoil (location/seeded)		X			Topsoil is stored in the vegetated berms and stockpiles on site.		
C18 Excavation Faces		X			Future extraction limited to mainly below the water table (see page 2, note #9 on site plans). Pit faces in the site varied from 2-6 metres in height.		
C19 Ponds (location/depth)		X			There are ponds as the result of extraction below the water table (see notes on page 2 and cross-sections). The small pond was used as a settling pond.		
C20 Internal Roads (any specific conditions or restrictions)		X			As shown on the site plans. Internal roads to be developed as required.		
C21 Haul Routes (external/any specific conditions or restrictions)		X			No conditions on licence or site plan. Access is north through the adjacent pit to the Concession 7 Road.		
C22 Blast Monitoring Report (quarries only)				X	Licensed pit. No blasting to occur on site.		
C23 Dust Suppression		X			Main haul road is paved. MOE approved dust suppressant (water) is applied on internal haul road, as required (see page 2, note #15 on site plans).		
C24 Hours of Operation (any specific conditions or restrictions)		X			No restrictions on the licence or site plan.		
C25 Well Monitoring Reports		X			No conditions on original licence or site plans. Groundwater monitoring program added to amended site plans of 2004.		
C26 Identification Sign (as per Sect. 5.22 of Provincial Standards)		X			Required signs have been installed by the entrance/exit of the pit (A2 – Concession 2 Road) and on the east boundary of the adjacent pit. Signs are maintained.		
C27 Orderly Conditions		X			Buildings located on site are maintained in good repair.		
C28 Blasting Hours (quarries only)				X	Licensed pit. No blasting on site.		

Note: Any ("No") requires completion of Page 3

Observations (continued)						
OPERATING STANDARDS	IN COMPLIANCE?			COMMENTS	Remedial Action?	
	Yes	No	N/A			
D – Rehabilitation					Y	
D29 Disturbed Hectareage	X			Current year - # of hectares 0 Total # of hectares +/- 42.5		
D30 Progressive rehabilitation	X			Current year - # of hectares 0 Total # of hectares +/- 10.22		
D31 Sloping of Faces	X			Rehabilitation work has been done along the shorelines of the larger pond. Approximately 610 metres of slopes along the west and north boundaries were rehabilitated.		
D32 Grades/Contours/Elevations	X			As shown on the site plan.		
D33 Importation of Material (inert)	X			Off-site materials have not been brought into the site for rehabilitation purposes (see note #9). However, materials can be imported for recycling and blending purposes (see note #9).		
D34 Vegetation	X			The rehabilitated areas are vegetated. A variety of trees and shrubs were planted on the northern peninsula in 2003 which was re-graded to lessen the steep slopes and seeded.		
D35 Final Rehabilitation	X			Extraction has not been completed. Progressive rehabilitation has occurred on site.		
E - Prescribed Conditions (For Licences issued after June 27, 1997)						
E36 Other Monitoring Reports			X	Submitted as required (eg. groundwater monitoring). Site plan was amended in 2004 and 2011 to include details of the groundwater monitoring program for this site.		
E37 Requirements of C of A's			X	Licensee has appropriate approvals or has applied for the required approvals.		
E38 Noise Mitigation			X			
E39 Fuel Storage Tanks			X	Fuel is currently stored on the adjacent site (see page 2, note #12).		
E40 Spills Plan			X	Corporate policy in place as part of EMS.		
E41 Permit to Take Water			X	Extraction below the water table and a wash plant are permitted on site (see page 2, note #9). Approval obtained from MOE for PTTW no. 01-P-2230.		
E42 Dust Suppression Measures Req'd. (Haul routes, equip, etc.)			X	MOE approved dust suppressant to be applied to the internal roads, as required.		
F - Other Conditions (As indicated on either Site Plan or Licence)						
F43 Tonnage Condition	X			Class "A" licence – no tonnage limit		
F44						
F45						
General Comments:						
Site plan amendment was approved in 2004 to include additional groundwater monitoring notes on operational plan.						
Relief (site plan override) granted for stockpiling and locating processing plant within 30 m of licensed boundaries and gated entrance/exit on the adjacent site.						
A1 - Marker post to be re-installed at the northeast corner, now that grading and seeding work has been completed in the area.						
B4 – Site plan amendment for not fencing common boundary shared with McNally East pit and Dufferin licence to the west is pending MNR approval.						
B7 & C12 – Amendment approved by MNR to eliminate setback along common boundary with McNally East licence and to show scales and variances from common boundary shared with McNally East pit.						
D30 – A small area 24 m x 12 m was sloped and seeded at the northeast corner of the site as part of the McNally East shoreline rehabilitation completed in 2012/13.						
Licence ID#: 5497						

Note: Any ("No") requires completion of Page 3

THIS SECTION MUST BE COMPLETED WHEN REMEDIAL ACTION IS REQUIRED

OPERATING STANDARDS from Pg. 1 (e.g. B4 – Fencing)	Remedial Action Required	Deadline Date	MNR Direction (for MNR use only)
<i>EXAMPLE B4 - Fencing</i>	<i>200 ft of West boundary to be fenced</i>	<i>June 15 / 99</i>	

R4 - Fencing	Fencing repairs will be completed for sections along the south	December 23, 2015	
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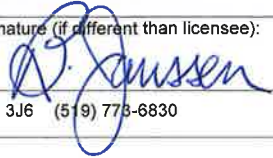
 Additional Detailed Information Attached

You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.

In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.

Date Submitted to MNR: Y / M / D	2015 / 09 / 25	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to: (by September 30th)	County/Regional Municipality <input checked="" type="checkbox"/> YES	Local Municipality <input checked="" type="checkbox"/> YES	Ministry of Natural Resources <input checked="" type="checkbox"/> YES
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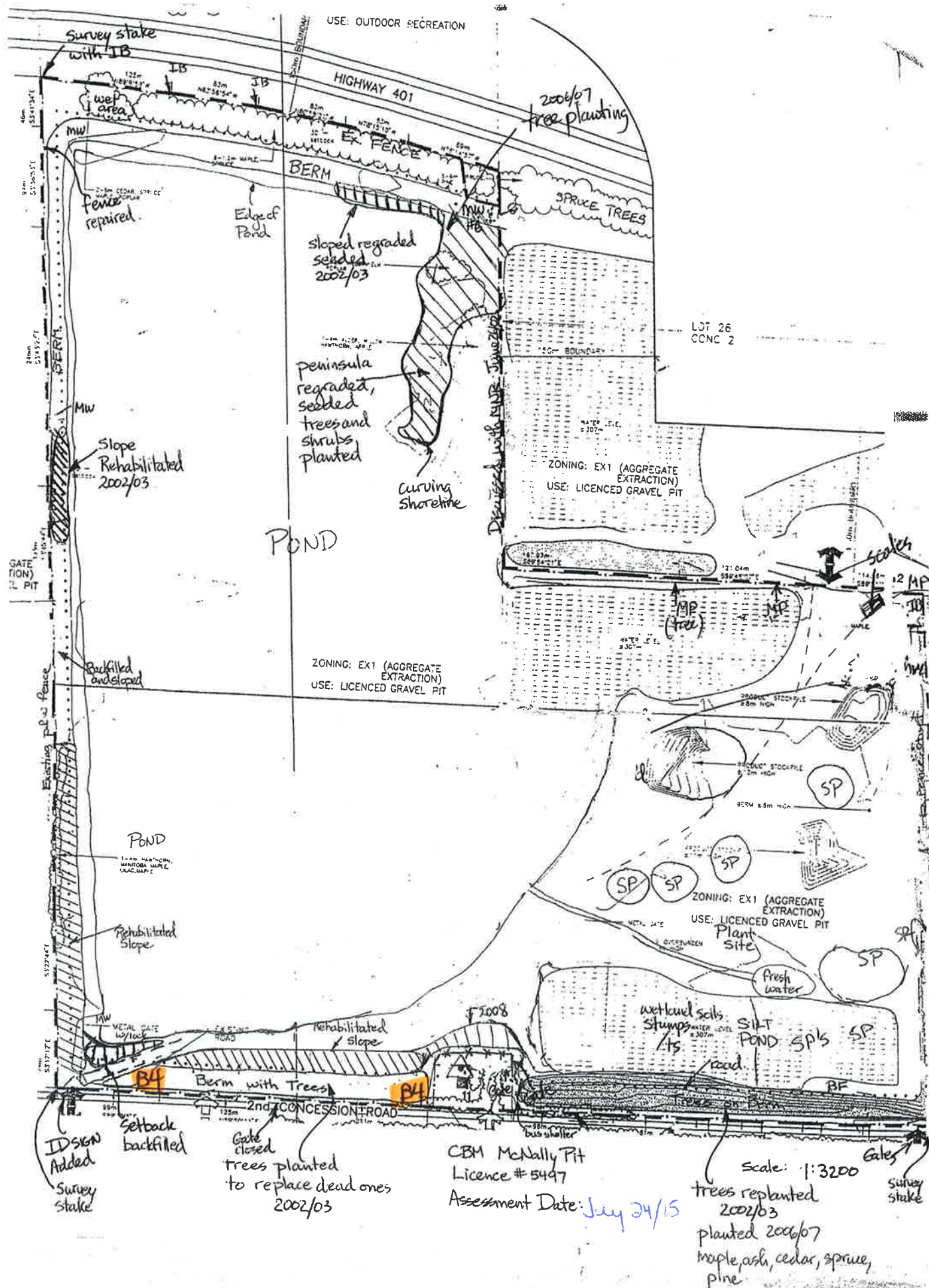
TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015 / 07 / 24	Review Conducted by: S. Brown (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Harrington McAvan Ltd. 55 Ainslie St. North, 2 nd Floor, Cambridge, Ontario. N1R 3J6 (519) 773-6830			
Position with Company: Consultant hired by licensee to complete compliance assessment.			

Signature of Licensee or Authorized Official: 

FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>		Licence ID #: 5497		

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)



6.4(b)

RECEIVED

OCT 01 2015

Year: 2015

Township of Puslinch

Licensees Compliance Assessment Report - Aggregate Resources Act

Background Information

Licensee: St. Marys Cement Inc. (Canada)		Licence ID #: 5531 (Edgington 1 pit)	MNR District Office: Guelph
Lot: Part 25	Conc.: 7	Geographic Twp.: Puslinch	Municipality: Township of Puslinch

Observations

OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?
		Yes	No	N/A		
A - Site Access						Y
A1	Boundaries (clearly marked)	X			All boundaries are demarcated with a 1.2 m high fence, signs or painted marker posts (see B5). See general comments.	
A2	Entrance and Exits (location/closed)	X			Gates are not required. Access is through the adjacent Aberfoyle pit also operated by CBM.	
A3 Lease/Ownership/Extraction Agreement: Lands are owned by licensee.						
B - Site Protection						
B4	Fencing	X			Fence is maintained along the south licensed boundary adjacent to McLean Road. Minor repairs completed in 2015.	
B5	Fencing (site plan variation or temporary relief granted)	X			Fencing relief granted for the east, west and north boundaries (see site plan overrides).	
B6	Screening (trees/berms)	X			Existing berm along the south boundary adjacent to McLean Road (see sketch).	
B7	Setbacks (15m / 30m or other)	X			The rehabilitated side slope completed along the south boundary is within the 30 m setback area. See general comments.	
C - Operational Details						
C8	Operating Sequence	X			Extraction was part of Area 1 shown in the phasing diagrams on the site plans.	
C9	Stripping (overburden)	X			Stripped topsoil and overburden has been stored in berms and/or stockpiles or used for rehabilitation of slopes.	
C10	Overburden Seeded	X			Established stockpiles are vegetated.	
C11	Extraction Depth	X			Maximum depth allowed – 312.5 m asl	Lowest floor elevation +/- 313 m
C12	Buildings/Scales (location)	X			There are no buildings in the licensed area as shown on the site plan.	
C13	Equipment (any specific conditions or restrictions)	X			There is no equipment operating on site (see page 2, note #9 on site plans).	
C14	Plant (location/any specific conditions or restrictions)	X			No plant currently located on the site (see page 2, note #9 on site plans).	
C15	Scrap (location/removal)	X			Minimal scrap currently on site. Scrap to be located in the designated area in the main Aberfoyle pit as shown on the site plan (see page 2, note #16).	
C16	Stockpiles (location)	X			Product stockpiles located on the pit floor greater than 30 m from the boundaries.	
C17	Topsoil (location/seeded)	X			Topsoil is stored in the vegetated berm on site (see page 2, note #7 on site plans).	
C18	Excavation Faces	X			Pit faces in the site have been graded and/or sloped (see page 2, note #7 on site plans).	
C19	Ponds (location/depth)			X	There are no dug ponds on the site (see sketch).	
C20	Internal Roads (any specific conditions or restrictions)	X			As shown on the site plans, with some modification. Internal roads to be developed as required.	
C21	Haul Routes (external/any specific conditions or restrictions)	X			No conditions on licence or site plan. Currently as shown on the site plan.	
C22	Blast Monitoring Report (quarries only)			X	Licensed pit. No blasting to occur on site.	
C23	Dust Suppression	X			No conditions on the site plan. MOE approved dust suppressant (calcium chloride or water) applied on internal haul road, as required.	
C24	Hours of Operation (any specific conditions or restrictions)	X			No restrictions on licence or site plans.	
C25	Well Monitoring Reports			X	No requirements on the licence or site plan.	
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)	X			Required signs have been installed by the entrance/exits of pit (A2 – McLean Road and Conc. 7) and are maintained.	
C27	Orderly Conditions	X			Site is tidy.	
C28	Blasting Hours (quarries only)			X	Licensed pit. No blasting on site.	

Note: Any ("No") requires completion of Page 3

[illegible]

Note: Any ("No") requires completion of **Page 3**

THIS SECTION MUST BE COMPLETED WHEN REMEDIAL ACTION IS REQUIRED

OPERATING STANDARDS from Pg. 1 (e.g. B4 – Fencing)	Remedial Action Required	Deadline Date	MNR Direction (for MNR use only)
<i>EXAMPLE B4 - Fencing</i>	<i>200 ft of West boundary to be fenced</i>	<i>June 15 / 99</i>	

SEE NOTES BELOW REGARDING REMEDIAL ACTION DEADLINE DATES

[illegible]

☒ Sketch Included? (see note below) **Licence ID #:** 5531 ☐ Additional Detailed Information Attached

☒ Sketch Included? (see note below) **Licence ID #:** 5531 ☐ Additional Detailed Information Attached

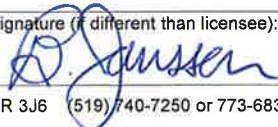
☒ Sketch Included? (see note below) **Licence ID #:** 5531 ☐ Additional Detailed Information Attached

You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.

In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.

Date Submitted to MNR: Y / M / D	2015 / 09 / 25	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to:	County/Regional Municipality	Local Municipality	Ministry of Natural Resources
(by September 30th)	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES

TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015 / 07 / 24	Review Conducted by: S. Brown (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Harrington McAvan Ltd 55 Ainslie St. North, 2 nd Floor, Cambridge, Ontario, N1R 3J6 (519) 740-7250 or 773-6830			
Position with Company: Consultant hired by licensee to complete compliance assessment.			

Signature of Licensee or Authorized Official:	
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FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>		Licence ID #: 5531		

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

CBM Edgington 1
Licence # 5531

Assessment Date: July 24/15

Scale: 1:3000

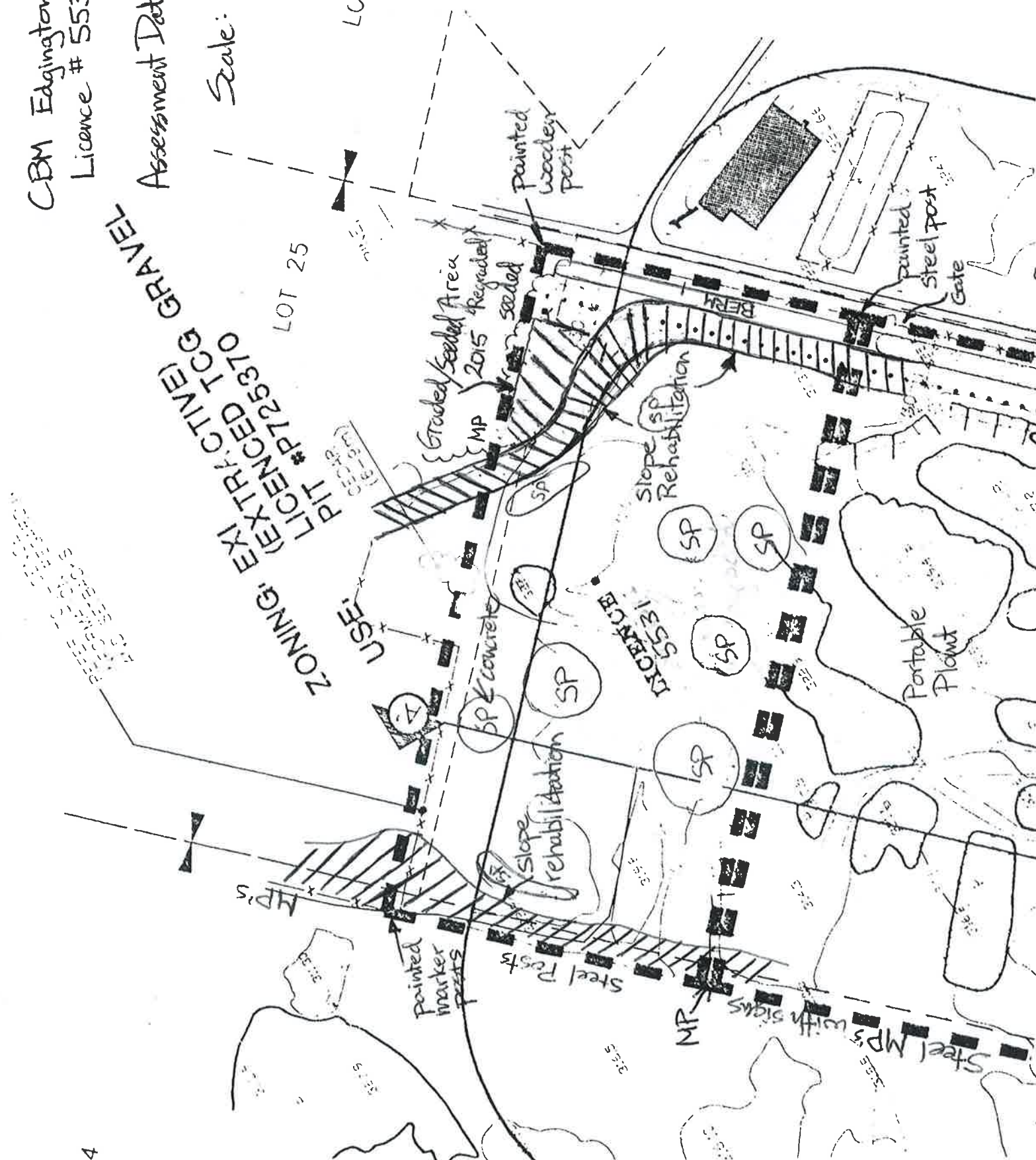
ZONING, EX (EXTRACTIVE) GRAVEL
LICENCED TCG
PIT # P725370

LOT 25

LOT 26

ZONING, IN
USE:

ZONING, IN
USE:



6.460.

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OCT 01 2015

Licensees Compliance Assessment Report - Aggregate Resources Act

Background Information						Year: 2015
Licensee: St. Marys Cement Inc. (Canada)			Licence ID #: 5563 (Coburn pit)		MNR District/Area Office: Iosco	
Lot: Part 23	Conc.: 7	Geographic Twp.: Puslinch			Municipality: Township of Puslinch	
Observations						
OPERATING STANDARDS	IN COMPLIANCE?			COMMENTS	Remedial Action?	
	Yes	No	N/A			
A - Site Access						Y
A1 Boundaries (clearly marked)	X			Boundaries are demarcated with fences, signs and/or painted marker posts (see B5).		
A2 Entrance and Exits (location/closed)	X			Access is through the adjacent Aberfoyle pit operated by CBM.		
A3 Lease/Ownership/Extraction Agreement: Lands are owned by licensee.						
B - Site Protection						
B4 Fencing		X		The west licensed boundary is fenced, adjacent to the Concession 7 Road and the east boundary is fenced. Repairs required along perimeter in 2015. See comments.	Y	
B5 Fencing (site plan variation or temporary relief granted)	X			Fencing relief granted for the north and south boundaries shared with the adjacent pits (see site plan overrides).		
B6 Screening (trees/berms)	X			Existing trees and side slopes of silt ponds screen the pit from the adjacent lands (see sketch).		
B7 Setbacks (15m / 30m or other)	X			The setbacks are maintained as shown on the site plans.		
C - Operational Details						
C8 Operating Sequence	X			Extraction is part of Area 3 shown on the site plans.		
C9 Stripping (overburden)	X			Stripped topsoil and overburden has been stored in berms and stockpiles or used for rehabilitation of slopes.		
C10 Overburden Seeded	X			Established stockpiles are vegetated.		
C11 Extraction Depth	X			Maximum depth allowed – 295 m asl	Lowest floor elevation +/- 310 m	
C12 Buildings/Scales (location)	X			There are no buildings in the licensed area as shown on the site plan.		
C13 Equipment (any specific conditions or restrictions)	X			No equipment presently on site (see page 2 of site plans, note #9).		
C14 Plant (location/any specific conditions or restrictions)	X			No plant currently located on the site (see page 2 of site plans, note #9).		
C15 Scrap (location/removal)	X			Scrap was removed from site and moved to the designated area in the main Aberfoyle pit (see page 2, note #16). Burn pile located along south boundary. See comments.		
C16 Stockpiles (location)	X			Product stockpiles were removed or levelled when the north pit area was rehabilitated (see page 2, note #11).		
C17 Topsoil (location/seeded)	X			Topsoil is stored in the vegetated stockpiles on site (see page 2 of site plans, note #7).		
C18 Excavation Faces	X			Pit faces have been rehabilitated (see page 2 of site plans, note #9).		
C19 Ponds (location/depth)			X	There are no dug ponds on the site (see sketch). The south western part of the pit was used for silt ponds as noted on site plans.		
C20 Internal Roads (any specific conditions or restrictions)	X			As shown on the site plans, with some slight modification. Internal roads to be developed as required.		
C21 Haul Routes (external/any specific conditions or restrictions)	X			No conditions on licence or site plan. Currently as shown on the site plan.		
C22 Blast Monitoring Report (quarries only)			X	Licensed pit. No blasting to occur on site.		
C23 Dust Suppression	X			No conditions on the site plan. MOE approved dust suppressant (calcium chloride or water) to be applied on internal haul road, as required.		
C24 Hours of Operation (any specific conditions or restrictions)	X			No restrictions on licence or site plans.		
C25 Well Monitoring Reports			X	No requirements on the licence or site plan.		
C26 Identification Sign (as per Sect. 5.22 of Provincial Standards)	X			Required signs have been installed by the entrance/exits of the main Aberfoyle pit (A2 – McLean Road and Conc. 7) and are maintained.		
C27 Orderly Conditions	X			Site is generally orderly.		
C28 Blasting Hours (quarries only)			X	Licensed pit. No blasting on site.		

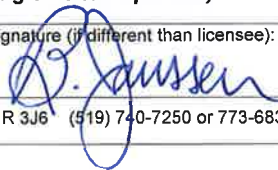
Note: Any ("No") requires completion of Page 3

Observations (continued)					
OPERATING STANDARDS	IN COMPLIANCE?			COMMENTS	Remedial Action?
	Yes	No	N/A		
D – Rehabilitation					Y
D29 Disturbed Hectareage	X			Current year - # of hectares 0 Total # of hectares +/- 2.0	
D30 Progressive rehabilitation	X			Current year - # of hectares +/- 0.3 Total # of hectares +/- 4.9	
D31 Sloping of Faces	X			Pit faces in the south-central part of the site have been sloped, as shown on the site plans. About 150 m of the northern pit faces were backfilled, sloped and seeded in 2003. The remaining 225 m were sloped 2006/07. Disturbed area along south boundary has been graded and seeded (2012/13).	
D32 Grades/Contours/Elevations	X			As shown on the site plan.	
D33 Importation of Material (inert)	X			Off-site materials were brought into the northern part of the site for rehabilitation purposes in 2008 (see page 2, note #17).	
D34 Vegetation	X			The rehabilitated side slopes and pit floor are well vegetated. A variety of trees were planted within the rehabilitated areas and the west setback area. Area of west silt pond is vegetated. See general comments.	
D35 Final Rehabilitation	X			Extraction has not been completed. Progressive rehabilitation has occurred on site.	
E - Prescribed Conditions (For Licences issued after June 27, 1997)					
E36 Other Monitoring Reports			X	None required at this time.	
E37 Requirements of C of A's			X	None required at this time.	
E38 Noise Mitigation			X	There is a large setback for the environmental protection area between the pit and the houses on the properties at the northwest corner of the site.	
E39 Fuel Storage Tanks			X	No fuel currently stored on site (see page 2, note #15).	
E40 Spills Plan			X	Corporate policy in place as part of EMS.	
E41 Permit to Take Water			X	Extraction to remain above the water table. See approval for the adjacent pit regarding pumping of the water to the silt ponds.	
E42 Dust Suppression Measures Req'd. (Haul routes, equip, etc.)			X	MOE approved dust suppressant to be applied to the internal roads, as required.	
F - Other Conditions (As indicated on either Site Plan or Licence)					
F43 Tonnage Condition	X			Class "A" licence – 454,000 tonnes annually	
F44					
F45					
General Comments:					
Site plan amendment approved in October 1997 and July 1999 to revise various items and notes. Site plan amendment request approved by MNR in 2011 incorporating minor housekeeping items for east boundary (see B4) and former silt ponds.					
Relief (site plan override) granted for south and north boundaries (see site plan).					
B4 – A chain link fence was previously constructed by the adjacent property owner along the east boundary of the site (offset by +/- 4 m) and is noted on approved site plan.					
C15 – Scrap management and removal from the site was ongoing in 2015, as required.					
D31 – Additional sloping work completed in the north eastern part of the pit in 2013/14. This area was seeded and is now vegetated in 2015 (+/- 0.04 ha).					
D34 – A variety of trees (spruce, pine, cedar and maple) have been planted on the rehabilitated slopes in the northern part of the pit. Shrubs have also been planted on the western most silt pond (see C19 above).					
Licence ID#: 5563					

Note: Any ("No") requires completion of Page 3

Date Submitted to MNR: Y / M / D	2015 / 09 / 29	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to:	County/Regional Municipality	Local Municipality	Ministry of Natural Resources
(by September 30th)	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES

TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015 / 07 / 17	Review Conducted by: S. Brown (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Harrington McAvan Ltd, 55 Ainslie St. North, 2 nd Floor, Cambridge, Ontario, N1R 3J6 (519) 740-7250 or 773-6830			
Position with Company: Consultant hired by licensee to complete compliance assessment.			

Signature of Licensee or Authorized Official:


FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>		Licence ID #: 5563		

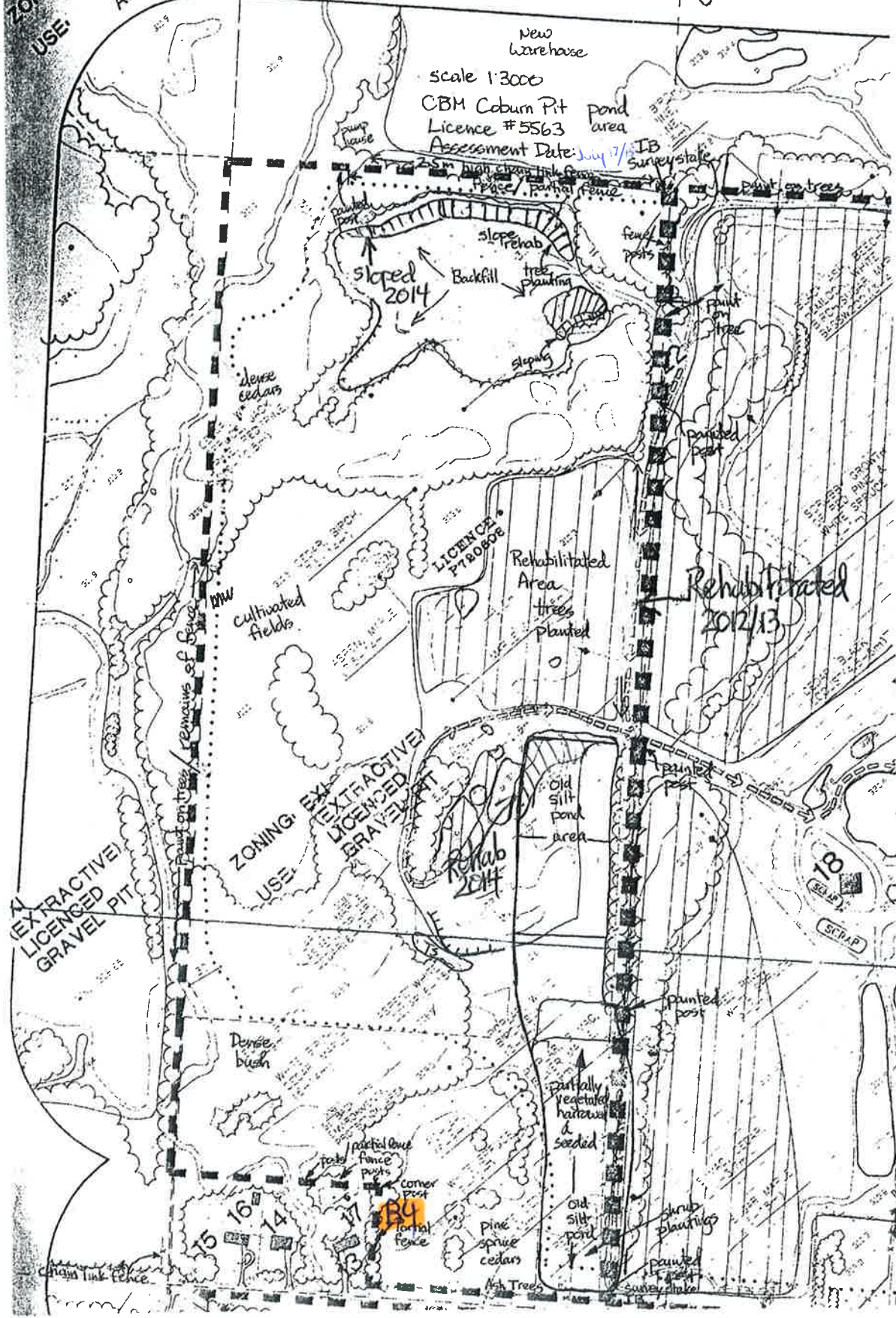
- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

ZONING: H (HAZ. NATUR. AREA)
USE:

ZONING: GH.
USE:

scale 1:3000
CBM Coburn Pit pond area
Licence # 5563
Assessment Date: July 17/13 IB survey stake



6.4(d)
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OCT 01 2015

Township of Puslinch

Licensees Compliance Assessment Report - Aggregate Resources Act

Background Information

Licensee: St. Marys Cement Inc. (Canada)	License ID #: 5520 (Aberfoyle pit)	MNR District/Area Office: Guelph
Lot: Part 24 and 25	Conc.: 7	Geographic Twp.: Puslinch
		Municipality: Township of Puslinch

Observations

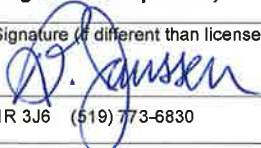
OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?
		Yes	No	N/A		
A - Site Access						Y
A1	Boundaries (clearly marked)	X			All boundaries are demarcated with fences, signs and/or marker posts (see B5). Steel posts with signs installed along boundaries shared with adjacent Dufferin pit.	
A2	Entrance and Exits (location/closed)	X			Gates along the licensed boundaries are either closed or can be closed and locked.	
A3 Lease/Ownership/Extraction Agreement: Lands are owned by licensee.						
B - Site Protection						
B4	Fencing		X		The road boundaries are presently fenced. Minor repairs completed for the licensed perimeter in 2014. See site plan overrides for common boundaries.	Y
B5	Fencing (site plan variation or temporary relief granted)	X			Fencing relief granted for various boundaries, adjacent to the existing licensed pits (see site plan overrides).	
B6	Screening (trees/berms)	X			Existing berms and trees screens along the road boundaries of the pit (see sketch) visually screen the pit from the adjacent land uses.	
B7	Setbacks (15m / 30m or other)	X			The setbacks are maintained as shown on the site plans. See site plan overrides for common boundaries.	
C - Operational Details						
C8	Operating Sequence	X			The majority of the above water aggregate resources have been extracted. Below water extraction concentrated in the south western part of the main site, north of 401.	
C9	Stripping (overburden)	X			Stripped topsoil and overburden has been stored in berms and stockpiles on site and used for rehabilitation of the side slopes.	
C10	Overburden Seeded	X			Established berms and stockpiles are vegetated.	
C11	Extraction Depth	X			Maximum depth allowed – 295 m asl	Lowest floor elevation +/- 295 m
C12	Buildings/Scales (location)	X			The existing buildings in the licensed area are as shown on the site plan. Also refer to C14. Scales and office have been moved and are shown on amended plans.	
C13	Equipment (any specific conditions or restrictions)	X			There are loaders and various trucks operating on site (see page 2, note #9 on site plans).	
C14	Plant (location/any specific conditions or restrictions)	X			The fixed processing plant previously located on the pit floor was dismantled and replaced by a portable plant in the east end (see page 2, note #9). See general comments.	
C15	Scrap (location/removal)	X			Scrap is generally located in the designated areas shown on the site plans (see page 2, note #9 on plans). Scrap is removed on an ongoing basis in 2015. See comments.	
C16	Stockpiles (location)	X			Product stockpiles currently located on the pit floor greater than 30 metres from the boundaries, except as noted in the site plan overrides.	
C17	Topsoil (location/seeded)	X			Topsoil is stored in the vegetated berms on site.	
C18	Excavation Faces	X			Extraction has occurred below the water table. Extraction below the water table is permitted up to a maximum depth of 12 m (see page 2, note #10 on site plans).	
C19	Ponds (location/depth)	X			There are excavated ponds located in various parts of the pit floor (see sketch). The former silt pond is located on the west side of concession 7 Road.	
C20	Internal Roads (any specific conditions or restrictions)	X			As shown on the site plans, with slight modifications. Internal roads to be developed as required.	
C21	Haul Routes (external/any specific conditions or restrictions)	X			No conditions on licence or site plan. Access is from McLean Road and Concession 7 Road.	
C22	Blast Monitoring Report (quarries only)			X	Licensed pit. No blasting to occur on site.	
C23	Dust Suppression	X			Parts of the main haul road are paved. MOE approved dust suppressant (water) is applied on internal haul roads, as required.	
C24	Hours of Operation (any specific conditions or restrictions)	X			No restrictions on the licence or site plan.	
C25	Well Monitoring Reports			X	No conditions on licence or site plans.	
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)	X			Required signs have been installed by the entrance/exits of the pit (A2 – Concession 7 and McLean Roads). Signs are maintained.	
C27	Orderly Conditions	X			Buildings located on site are maintained in good repair. Storage and stockpiling areas are orderly.	
C28	Blasting Hours (quarries only)			X	Licensed pit. No blasting on site.	

Note: Any ("No") requires completion of Page 3

Observations (continued)						
OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?
		Yes	No	N/A		
D – Rehabilitation						Y
D29	Disturbed Hectareage	X			Current year - # of hectares 0	Total # of hectares +/- 17.6
D30	Progressive rehabilitation	X			Current year - # of hectares 0	Total # of hectares +/- 67.5
D31	Sloping of Faces	X			Pit faces surrounding many of the pond shorelines have been rehabilitated and have a variety of trees and shrubs growing on them. About 240 m of the north face has been sloped and seeded (2012).	
D32	Grades/Contours/Elevations	X			As shown on the site plan. Final grading work ongoing for parcel on the west side of Concession 7 and north of the 401.	
D33	Importation of Material (inert)	X			Off-site materials can be brought into the site for rehabilitation purposes (see page 2, note #17).	
D34	Vegetation	X			The slopes are well vegetated eg. adjacent to the Schneider's billboard. A variety of tree species such as maple, pine, ash, cedar and spruce were planted and/or are naturally regenerating on the slopes. See comments.	
D35	Final Rehabilitation	X			Extraction has not been completed. Progressive rehabilitation has occurred on the majority of the site. The northern part of the pond, south of the 401, is considered as final rehabilitation (5.4 ha).	
E - Prescribed Conditions (For Licences issued after June 27, 1997)						
E36	Other Monitoring Reports			X	None required at this time.	
E37	Requirements of C of A's			X	Licensee has appropriate approvals or has applied for the required approvals.	
E38	Noise Mitigation			X	Berms have been constructed in setback areas adjacent to the roads. The portable plant and equipment is operating on the pit floor for noise attenuation.	
E39	Fuel Storage Tanks			X	Fuel is currently stored adjacent to building #18 (see page 2, note #15) and building #12 in approved above ground fuel tanks. Below ground tanks were previously removed.	
E40	Spills Plan			X	Corporate policy in place as part of EMS.	
E41	Permit to Take Water			X	Extraction below the water table and a wash plant are permitted on site (see page 2, notes #9 and #10). Approval obtained from MOE for PTTW no. 01-P-2231 (amended in 2007)	
E42	Dust Suppression Measures Req'd. (Haul routes, equip, etc.)			X	MOE approved dust suppressant to be applied to the internal roads, as required.	
F - Other Conditions (As indicated on either Site Plan or Licence)						
F43	Tonnage Condition	X			Class "A" licence – no tonnage limit	
F44						
F45						
<p>General Comments: Site plan amendments approved in 1997 and 1999 to revise various items and notes. Site plan amendment approved in 2011 to address common boundary with McNally East licence and minor housekeeping items. Minor amendment approved in 2012 re hydro line/poles.</p> <p>Relief (site plan override) granted for various items (see page 1 of site plan).</p> <p>C14 – Permanent processing plant was disassembled to allow for below water extraction in the southwest part of the site. A portable processing plant in operational at the east end of the site. The site is used as a processing and stockpiling operation.</p> <p>C15 – There is the ongoing management and removal of scrap from the site in 2014/15.</p> <p>C23 – About 35 metres of the haul road at the 7th Concession Road entrance/exit, south of the 401, is paved.</p> <p>D34 – The southeast shoreline of the pond on the south side of 401 has been stabilized. Slope to the west of the Schneider's sign was rehabilitated (+/- 1.5 ha) and northern slope (+/- 0.4 ha) adjacent to Coburn pit was done in 2012/13. Section of west shoreline has been rehabilitated (2014).</p> <p>D35 – A variety of aquatic habitats have been developed in the ponds and shoreline areas (ie. shallow and deep water areas) as noted on the rehabilitation plan of the site plans. Progressive rehabilitation has occurred in the majority of the three separate parcels that make up the licence.</p>						
Licence ID#: 5520						

Date Submitted to MNR: Y / M / D	2014 / 09 / 29	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to:	County/Regional Municipality	Local Municipality	Ministry of Natural Resources
(by September 30th)	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES

TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015/ 07 / 17 & 24	Review Conducted by: S. Brown (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Harrington McAvan Ltd 55 Ainslie St. North, 2 nd Floor, Cambridge, Ontario. N1R 3J6 (519) 773-6830			
Position with Company: Consultant hired by licensee to complete compliance assessment.			

Signature of Licensee or Authorized Official:


FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required?		Licence ID #: 5520		
YES <input type="checkbox"/> NO <input type="checkbox"/>				

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

ZONING: EX1
USE: (EXTRACTIVE)
LICENCED GRAVEL PIT

Aberfoyle Pit (Main area)
Licence no
Assessment Date: July 17/24/15
Scale: 1:3700

Portable
Plant site
and Stockpile
Area

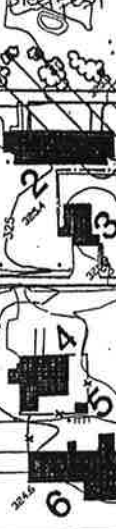
slope
rehab

SILT POND
(Full)
Vegetated

NEW SECTION OF FENCE

ROAD

MCLEAN



Fence 5734
repaired

SLOPE
CEMENT
5730

WITH CEDAR
AND BASSWOOD (1m)

5731

5732

5733

5734

5735

5736

5737

5738

5739

ZONING: EX1
USE: (EXTRACTIVE)
LICENCED GRAVEL PIT
(RED FIVE)

pond

WATERSHED GROWTH OF
MANITIBA MAPLE, WHITE
PINE, SUMAC, WHITE SPRUCE
(3-5m)

2014
Graded
Sealed

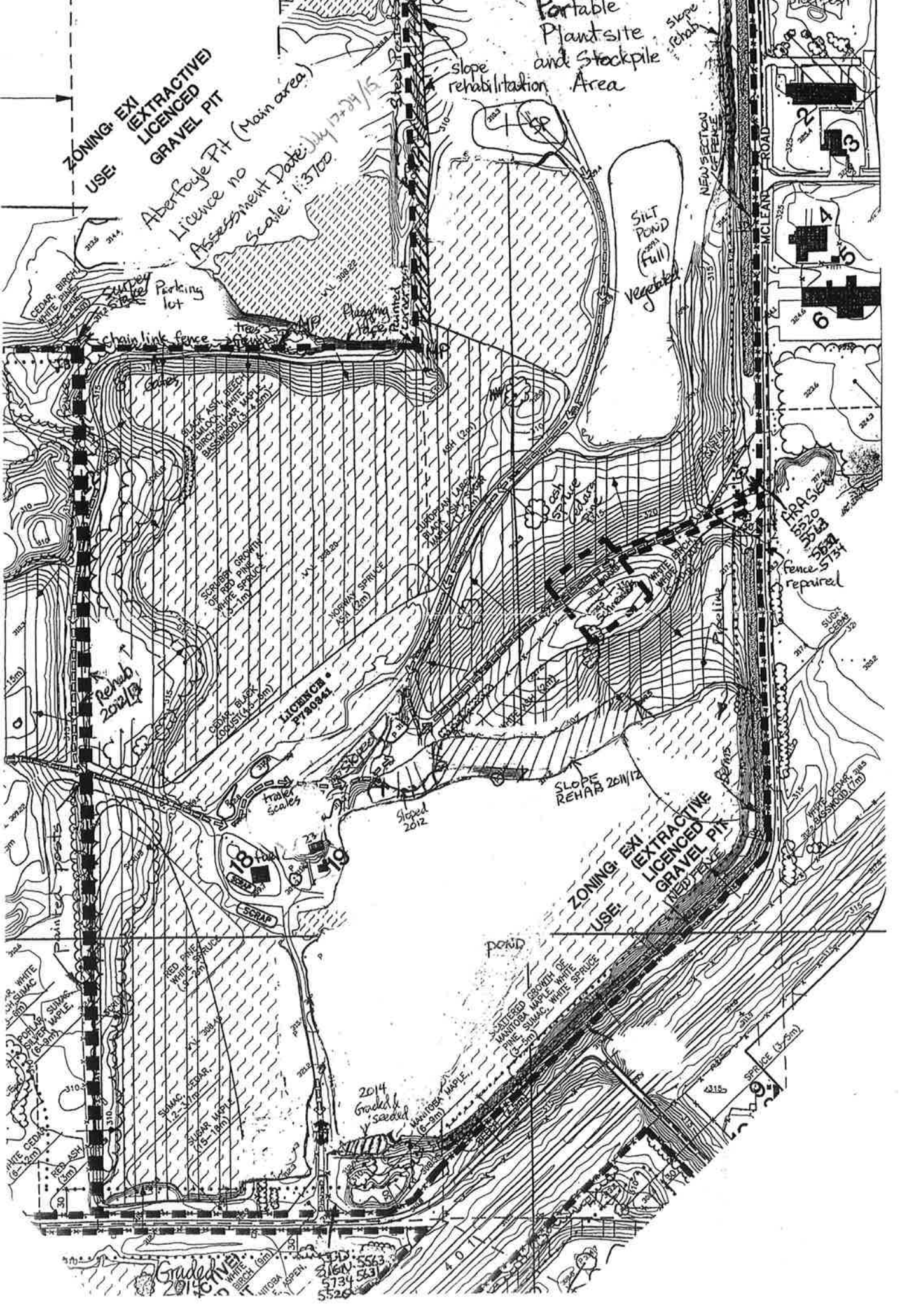
MANITIBA MAPLE
(6-9m)

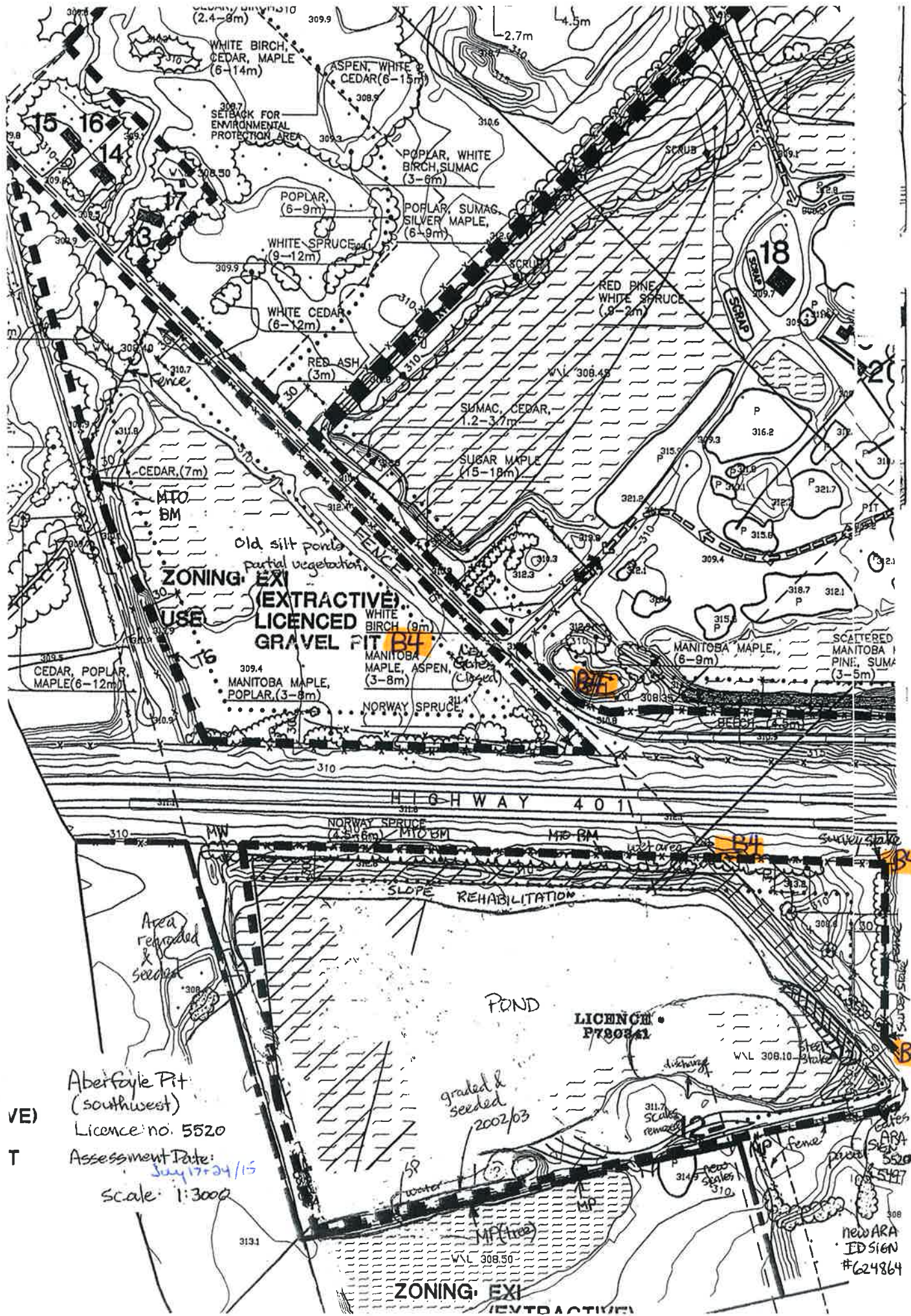
2016V 5563
5734 553
5520

Graded
2014

WHITE
BIRCH (5m)

MANITIBA
ASPEN





6.4(e).

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Township of Puslinch Year: 2015

Licensees Compliance Assessment Report - Aggregate Resources Act

Background Information

Licensee: St. Marys Cement Inc. (Canada)		Licence ID #: 5734 (Edgington 2 pit)	MNR District/Area Office: Guelph
Lot: Part 25	Conc.: 7	Geographic Twp.: Puslinch	Municipality: Township of Puslinch

Observations

OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?
		Yes	No	N/A		
A - Site Access						Y
A1	Boundaries (clearly marked)	X		Boundaries are demarcated with fences, signs and/or painted marker posts (see B5).		
A2	Entrance and Exits (location/closed)	X		Gates along the property boundaries are either closed or can be closed. Access is through the adjacent Aberfoyle pit operated by CBM.		
A3	Lease/Ownership/Extraction Agreement: Lands are owned by licensee.					
B - Site Protection						
B4	Fencing		X	Fence is maintained on south and east property lines. Sections of the east fence, adjacent to Brock Road require repairs.		Y
B5	Fencing (site plan variation or temporary relief granted)	X		Fencing relief inferred for the west boundary because of common boundary with adjacent pit (see note on site plans for adjacent Aberfoyle pit).		
B6	Screening (trees/berms)	X		Existing vegetation and topography screen the pit from the adjacent lands (see sketch).		
B7	Setbacks (15m / 30m or other)	X		The setbacks are maintained as shown on the site plans.		
C - Operational Details						
C8	Operating Sequence	X		Extraction has proceeded in a single phase, as shown on the site plans.		
C9	Stripping (overburden)	X		Stripped topsoil and overburden has been used for rehabilitation of slopes.		
C10	Overburden Seeded	X		Established stockpiles are vegetated.		
C11	Extraction Depth	X		Maximum depth allowed – 313.5 m asl	Lowest floor elevation +/- 313.5 m	
C12	Buildings/Scales (location)	X		There are no buildings in the licensed area as shown on the site plan. Temporary storage of trailers on-site.		
C13	Equipment (any specific conditions or restrictions)	X		There are trucks and a loader using the site (see page 2 of site plans, operational notes).		
C14	Plant (location/any specific conditions or restrictions)	X		No plant currently located on the site. Refer to site plan (see page 2 of site plans, operational plan).		
C15	Scrap (location/removal)	X		No scrap currently stored on site (see page 2 of site plans, operational notes). Scrap removal ongoing, as required.		
C16	Stockpiles (location)	X		Located on pit floor, generally greater than 30 m from licensed boundaries.		
C17	Topsoil (location/seeded)	X		Topsoil was stored in the vegetated berms and stockpiles on site.		
C18	Excavation Faces	X		Pit faces in the northern part of the site were approximately 3 metres in height (see page 2, operational notes) and have now been sloped.		
C19	Ponds (location/depth)			X	There are no dug ponds on the site (see sketch). There is a natural pond/wetland in the south-central part of the site.	
C20	Internal Roads (any specific conditions or restrictions)	X		As shown on the site plans, with some modification. Internal roads to be developed as required.		
C21	Haul Routes (external/any specific conditions or restrictions)	X		Currently as shown on the site plan.		
C22	Blast Monitoring Report (quarries only)			X	Licensed pit. No blasting to occur on site.	
C23	Dust Suppression	X		No conditions on the site plan. MOE approved dust suppressant (calcium chloride or water) to be applied on internal haul road, as required.		
C24	Hours of Operation (any specific conditions or restrictions)	X		No restrictions on licence or site plans.		
C25	Well Monitoring Reports			X	No requirements on the licence or site plan.	
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)	X		Required signs have been installed by the entrance/exits of the main Aberfoyle pit (A2 – McLean Road and Conc. 7) and are maintained.		
C27	Orderly Conditions	X		Site is tidy.		
C28	Blasting Hours (quarries only)			X	Licensed pit. No blasting on site.	

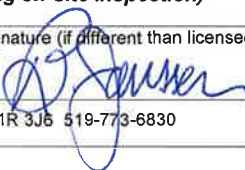
Note: Any ("No") requires completion of Page 3

[illegible]

Form #591 (Rev. 04/03)

Date Submitted to MNR: Y / M / D	2015/09/25	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to: (by September 30th)	County/Regional Municipality <input checked="" type="checkbox"/> YES	Local Municipality <input checked="" type="checkbox"/> YES	Ministry of Natural Resources <input checked="" type="checkbox"/> YES
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TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015/ 07/ 24	Review Conducted by: S. Brown (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Harrington McAvan Ltd 55 Ainslie Street North 2 nd Floor, Cambridge, Ontario N1R 3J6 519-773-6830			
Position with Company: Consultant hired by St Marys to complete compliance assessment.			

Signature of Licensee or Authorized Official: 

FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>		Licence ID #: 5734		

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

CBM Edgington 2 Pt
Licence no. 5734
Assessment Date: July 24/15
Scale 1:2000

AGRICULTURAL
RICULTURE

COUNTY RD. 46

Stump Fence

Gate NW

paint
on post
& tree
"C"

trees
painted

painted HP

Ex Fence

painted
corner
post

Grading
BF/grading

Graded/
Seeded
2/15

Ex Fence

Gate closed

Steel posts & Signs

Slope Rehabilitation

Sloped

SP's

SP Area

Slope Rehabilitation

wooded

cleared
wooden post
painted

IMMEDIATE COVERDALE

ICE OF HYDRO EOLE

6.4(f)

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McMillan

Licensees Compliance Assessment Report - Aggregate Resources Act					
Background Information					Year: 2015
Licensee: St. Marys Cement Inc. (Canada)		Licence ID #: 5737 (McMillan pit)		MNR District/Area Office: Clusilla	
Lot: Part 22	Conc.: 1	Geographic Twp.: Puslinch		Municipality: Township of Puslinch	
Observations					
OPERATING STANDARDS	IN COMPLIANCE?			COMMENTS	Remedial Action?
	Yes	No	N/A		
A - Site Access					Y
A1 Boundaries (clearly marked)	X			Old boundaries are demarcated with fences, signs and/or painted marker posts (see B5). New south boundary demarcated at corners.	
A2 Entrance and Exits (location/closed)	X			Gates at the main entrance/exit along the north boundary are locked or can be closed and locked.	
A3 Lease/Ownership/Extraction Agreement: Lands are owned by licensee.					
B - Site Protection					
B4 Fencing	X			North boundary is fenced. Repairs completed in 2015 for section cut again along north boundary.	
B5 Fencing (site plan variation or temporary relief granted)	X			Fencing relief granted for the west and east boundaries (see note #8 in Phase A notes).	
B6 Screening (trees/berms)	X			Existing trees screen the pit from the adjacent land uses as shown on the site plans.	
B7 Setbacks (15m / 30m or other)	X			The setbacks are maintained as shown on the site plans.	
C - Operational Details					
C8 Operating Sequence	X			Extraction has been completed, except setbacks adjacent to pond.	
C9 Stripping (overburden)	X			Stripped topsoil and overburden stored in berms and stockpiles on the site (see condition #5 on Schedule A), were used for rehabilitation of slopes.	
C10 Overburden Seeded	X			Stockpiles used for rehabilitation of site (see page 2, note #9 on site plans).	
C11 Extraction Depth	X			Maximum depth allowed – 293 m asl	Lowest floor elevation +/- 293 m
C12 Buildings/Scales (location)	X			There are no buildings in the licensed area as shown on the site plan.	
C13 Equipment (any specific conditions or restrictions)	X			There is no pit equipment operating on site (see page 2, note #1 under operations).	
C14 Plant (location/any specific conditions or restrictions)	X			No plant currently located on the site (see page 2, note #2 under operations).	
C15 Scrap (location/removal)	X			Minimal scrap on-site.	
C16 Stockpiles (location)	X			There are no remaining stockpiles on site (see page 2, note #3 under operations).	
C17 Topsoil (location/seeded)	X			Surplus topsoil was stored in the vegetated berms and stockpiles on site and used for rehabilitation (see page 2, note #9).	
C18 Excavation Faces	X			All pit faces have been rehabilitated.	
C19 Ponds (location/depth)	X			There is a dug pond on the site (see sketch).	
C20 Internal Roads (any specific conditions or restrictions)	X			As shown on the site plans, with some modification as extraction is completed.	
C21 Haul Routes (external/any specific conditions or restrictions)	X			Materials were hauled east on Concession 2 Road to main Aberfoyle pit (see conditions #34 and #35 on Schedule A attached to licence).	
C22 Blast Monitoring Report (quarries only)			X	Licensed pit. No blasting to occur on site.	
C23 Dust Suppression	X			MOE approved dust suppressant (water) is applied on internal haul road, as required (see conditions #27-#29 on Schedule A attached to licence).	
C24 Hours of Operation (any specific conditions or restrictions)	X			See conditions #6 and #7 on Schedule A attached to the licence and page 2, note #11 under operations on site plans.	
C25 Well Monitoring Reports	X			See conditions #16-#26 on Schedule A attached to licence for groundwater monitoring program and page 2, note #10 under operations on site plans.	
C26 Identification Sign (as per Sect. 5.22 of Provincial Standards)	X			Required sign has been installed by the entrance/exit of the pit (A2 – Concession 2 Road) and is maintained.	
C27 Orderly Conditions	X			Site is orderly.	
C28 Blasting Hours (quarries only)			X	Licensed pit. No blasting on site.	

Note: Any ("No") requires completion of Page 3

[illegible]

Form #591 (Rev. 04/03)

THIS SECTION MUST BE COMPLETED WHEN REMEDIAL ACTION IS REQUIRED

OPERATING STANDARDS from Pg. 1 (e.g. B4 – Fencing)	Remedial Action Required	Deadline Date	MNR Direction (for MNR use only)
EXAMPLE B4 - Fencing	200 ft of West boundary to be fenced	June 15 / 99	

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[illegible]

☒ Sketch Included? (see note below) Licence ID #: 5737 ☐ Additional Detailed Information Attached

☒ Sketch Included? (see note below) Licence ID #: 5737 ☐ Additional Detailed Information Attached

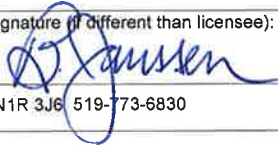
☒ Sketch Included? (see note below) Licence ID #: 5737 ☐ Additional Detailed Information Attached

You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.

In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.

Date Submitted to MNR: Y / M / D	2015 /09/ 25	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input type="checkbox"/> NO		

Copies of Report Sent to:	County/Regional Municipality	Local Municipality	Ministry of Natural Resources
(by September 30th)	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES

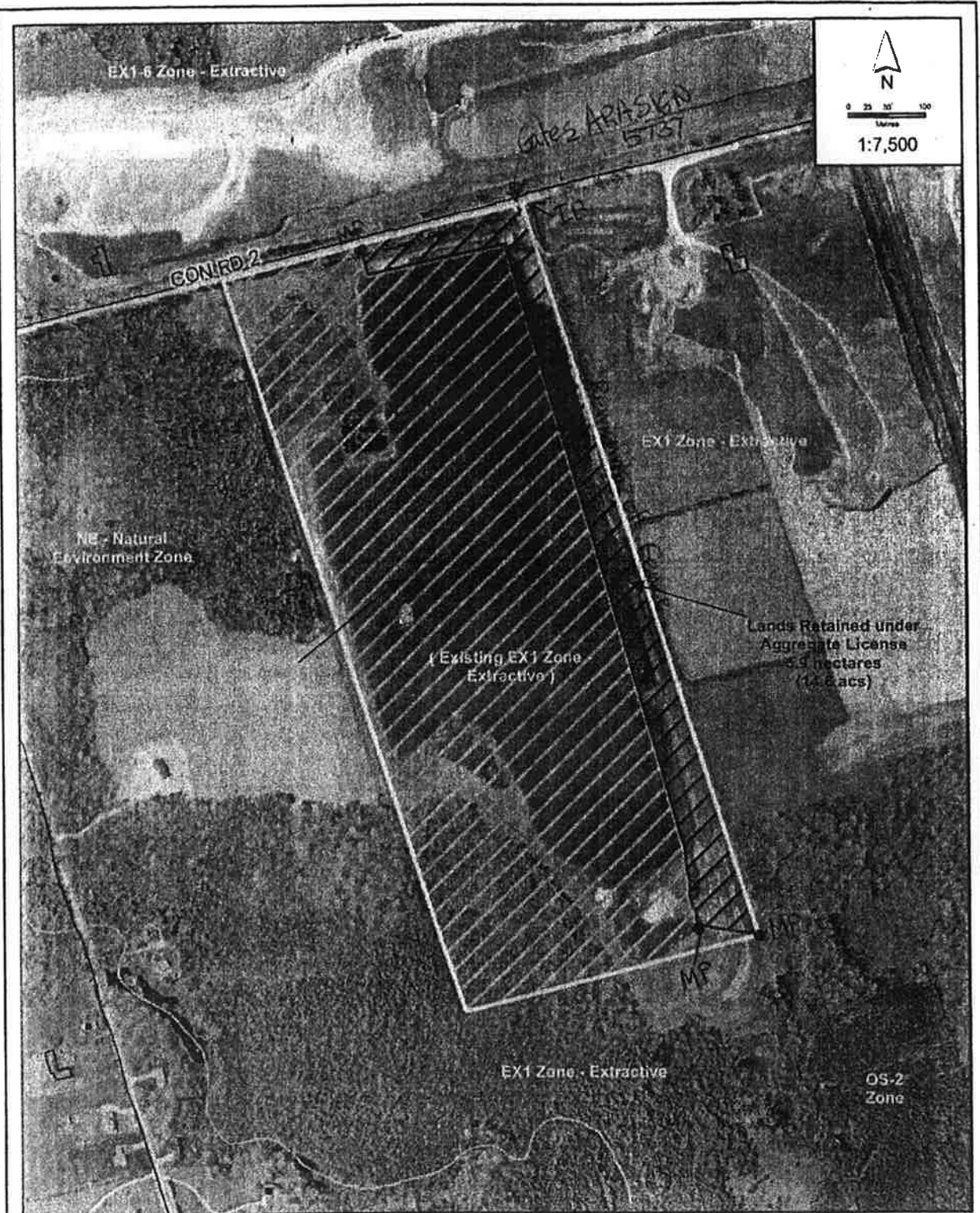
TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015 / 06 / 16	Review Conducted by: B. Janssen (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Harrington McAvan Ltd 55 Ainslie Street North, 2 nd Floor, Cambridge, Ontario N1R 3J6 519-773-6830			
Position with Company: Consultant hired by St Marys to complete compliance assessment.			

Signature of Licensee or Authorized Official:	
---	---

FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>		Licence ID #: 5737		

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
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- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)



Source: Grand River Conservation Authority, 2006

CBM/ORNGE - Area of Temporary Lease Agreement

Legend

Drainage

Roads

Con 1, Lot 22



Area Remaining under CBM Aggregate License



License Area to be Surrendered to ORNGE-JuMpSmart Program

McMillan Pt 5737

Project Number: 049968

Date: September, 2007



Date: June 16/15

6.4(g)

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Township of Puslinch

Licensees Compliance Assessment Report - Aggregate Resources Act

Background Information

Year: 2015

Licensee: St. Marys Cement Inc. (Canada)

Licence ID #: 48576 (Tikal)

MNR District/Area Office: Guelph

Lot: Part 21

Conc.: 9

Geographic Twp.: Puslinch

Municipality: Township of Puslinch

Observations

OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?
		Yes	No	N/A		
A - Site Access						Y
A1	Boundaries (clearly marked)	X			All boundaries are either fenced or demarcated with painted marker posts and the remains of a fence (see B5). See general comments.	
A2	Entrance and Exits (location/closed)	X			Gates are either closed or can be closed and locked. Main gates are located at entrance/exit along Victoria Street, as shown on site plans.	
A3 Lease/Ownership/Extraction Agreement: Extraction agreement between St. Marys Cement Inc. (Canada) and owner.						
B - Site Protection						
B4	Fencing		X		Fencing along the road boundaries, residential property, a portion of the east boundary and west of the wetland (see sketch). See general comments.	Y
B5	Fencing (site plan variation or temporary relief granted)	X			Fencing relief granted for the south boundary adjacent to Dufferin's pit and the wetland boundary in the east (see site plan overrides noted on page 1 of the site plans).	
B6	Screening (trees/berms)	X			Berms have been constructed along the portions of the west, south, north and east boundaries (see operational note #4). See site sketch.	
B7	Setbacks (15m / 30m or other)	X			The setback areas along the south and east boundaries were previously staked. The below water extraction limits in Phase 4 have been surveyed.	
C - Operational Details						
C8	Operating Sequence	X			Extraction and rehabilitation has been completed, as shown on site plans.	
C9	Stripping (overburden)	X			Stripped topsoil and overburden had been stored in berms. Trees along shared common boundary with Dufferin pit were cleared as per standards. See general comments.	
C10	Overburden Seeded	X			Berms have been used for final rehabilitation of the site.	
C11	Extraction Depth	X			Maximum depth allowed – +/- 314 m asl	Lowest floor elevation +/- 317 m
C12	Buildings/Scales (location)	X			There are no buildings within the licensed property.	
C13	Equipment (any specific conditions or restrictions)	X			There is no equipment currently operating on site (see page 2, note #7a on site plans).	
C14	Plant (location/any specific conditions or restrictions)	X			No plant on the site (see page 2, note #7a on site plans). Processing of materials was not permitted on site.	
C15	Scrap (location/removal)	X			Scrap has been removed or disposed of on an ongoing basis (see page 2, note #6).	
C16	Stockpiles (location)	X			There are no stockpiles on-site.	
C17	Topsoil (location/seeded)	X			Topsoil/overburden stored in the vegetated berms has been used for final rehabilitation of the pit.	
C18	Excavation Faces	X			Faces have been sloped, except along shared boundary with the Dufferin pit to the south.	
C19	Ponds (location/depth)	X			Extraction below the water table is permitted (see page 2, note #8) and has proceeded into Phases 3 and 4, as per plans and MNR approval.	
C20	Internal Roads (any specific conditions or restrictions)	X			As shown on the site plan. Internal roads to be developed as required.	
C21	Haul Routes (external/any specific conditions or restrictions)	X			Access is west to Victoria Street as shown on site plans. Entrance/exit was paved for a distance of about 72 m.	
C22	Blast Monitoring Report (quarries only)			X	Licensed pit. No blasting to occur on site.	
C23	Dust Suppression	X			MOE approved dust suppressant (water) applied on internal haul road, as required (see note #12 on site plans).	
C24	Hours of Operation (any specific conditions or restrictions)	X			7:00 to 19:00 (see page 2, note #4.5 under Technical Recommendations).	
C25	Well Monitoring Reports	X			Refer to groundwater monitoring program found under Technical Recommendations on page 2 of the site plans. See general comments.	
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)	X			Required sign installed by the main gates at entrance/exit of pit (A2 – Victoria Street) and is maintained.	
C27	Orderly Conditions	X			Site is orderly. Rehabilitation completed in 2014/15.	
C28	Blasting Hours (quarries only)			X	Licensed pit. No blasting on site.	

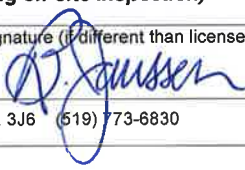
Note: Any ("No") requires completion of Page 3

Observations (continued)						
OPERATING STANDARDS	IN COMPLIANCE?			COMMENTS	Remedial Action?	
	Yes	No	N/A			
D – Rehabilitation					Y	
D29 Disturbed Hectareage	X			Current year - # of hectares 0 Total # of hectares +/- 0		
D30 Progressive rehabilitation	X			Current year - # of hectares +/- 18.5 Total # of hectares +/- 19.9		
D31 Sloping of Faces	X			Approximately 125 m of faces were backfilled, sloped and seeded in the eastern part of the site in 2006/07. About 300 m of the south setback area has been graded and vegetated.		
D32 Grades/Contours/Elevations	X			Grades established above and below water table.		
D33 Importation of Material (inert)	X			Importation of fill has not occurred on site (see ops and rehab notes on plan).		
D34 Vegetation	X			Areas of slope rehabilitation have been seeded. Sections of the south shoreline are greening up with vegetation eg. cattails.		
D35 Final Rehabilitation	X			Final rehabilitation of site has been completed. A variety of trees have been planted around the pond and setback areas including tamarack, cedar, spruce, pine, poplar, etc.		
E - Prescribed Conditions (For Licences issued after June 27, 1997)						
E36 Other Monitoring Reports	X			Refer to technical recommendations on page 2 of site plans for hydrogeological and biological reporting that is required. Biological report dated August 2013.		
E37 Requirements of C of A's	X			None required at this time.		
E38 Noise Mitigation	X			Acoustic berm construction completed within southwest, west, north and east setbacks of the site (see operational note #4 and Noise note #4 in Technical Recommendations).		
E39 Fuel Storage Tanks	X			No fuel is currently stored on site (see note #10 regarding storage in above ground containers).		
E40 Spills Plan	X			See note #10 on the site plan for contingency plan implementation.		
E41 Permit to Take Water	X			No pumping of water or dewatering occurring on the site (see page 2, note #16 on site plans).		
E42 Dust Suppression Measures Req'd. (Haul routes, equip, etc.)	X			Water applied on internal road, as required (see page 2, note #18 on site plans). Entrance/exit at Victoria Street has been paved.		
F - Other Conditions (As indicated on either Site Plan or Licence)						
F43 Tonnage Condition	X			Class "A" licence – 750,000 tonnes annually (see page 2, note #15 on site plans).		
F44						
F45						
General Comments:						
Relief (site plan override) granted for not fencing specified boundaries and for varying slopes below the water table.						
Minor site plan amendment approved by MNR in May 2007 to address monitoring and threshold levels. Amendment request submitted to MNR to reduce setback to 0 m for above water excavation along the south boundary shared with Dufferin's pit.						
A1 – The licensed boundaries are demarcated with fencing, marker posts, signs or remains of a fence (south).						
B4 – Repairs completed in 2014 for sections damaged by others.						
C9 - Hedgerow of trees along the south boundary was cleared the minimum 5 m distance from active faces as part of the boundary agreement for the setback removal.						
C25 – A series of monitoring wells were installed on the periphery of the site (see note #5 in the technical recommendations under groundwater monitoring) and monitoring has been ongoing for a number of years.						
D31 – Sloping of faces and shorelines occurred in areas where extraction has reached the excavation setback and/or extraction limit. Additional grading completed along the eastern part of the south shoreline in 2011/12.						
D35 – Final rehabilitation of the site commenced in the summer of 2014 and has now been completed, including a small wetland at the northeast corner of the pond.						
Licence ID#: 48576						

Note: Any ("No") requires completion of Page 3

Date Submitted to MNR: Y / M / D	2015 / 09 / 25	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to: (by September 30th)	County/Regional Municipality <input checked="" type="checkbox"/> YES	Local Municipality <input checked="" type="checkbox"/> YES	Ministry of Natural Resources <input checked="" type="checkbox"/> YES
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TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015 / 07 / 03	Review Conducted by: B. Janssen (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Harrington McAvan Ltd 55 Ainslie St. North, 2 nd Floor, Cambridge, Ontario. N1R 3J6 (519) 773-6830			
Position with Company: Consultant hired by licensee to complete compliance assessment.			

Signature of Licensee or Authorized Official: 
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FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>		Licence ID #: 48576		

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

6-4(h)
RECEIVED

OCT 01 2015

Licensees Compliance Assessment Report - Aggregate Resources Act

Township of Puslinch

Background Information

Year: 2015

Licensee: St. Marys Cement Inc. (Canada)		Licence ID #: 624864 (McNally East)	MNR District/Area Office: Guelph
Lot: Part 27	Conc.: 2	Geographic Twp.: Puslinch	Municipality: Township of Puslinch

Observations

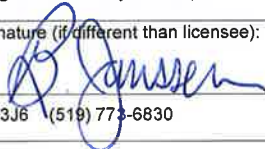
OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?
		Yes	No	N/A		
A - Site Access						Y
A1	Boundaries (clearly marked)	X			All boundaries are either fenced and/or demarcated ie. with the remains of a fence (see B5). See general comments.	
A2	Entrance and Exits (location/closed)	X			Gates are closed and locked and are located at entrance/exits along Concession 2A and Concession 7. Main entrance/exit of adjacent pit for access to this site.	
A3	Lease/Ownership/Extraction Agreement: Owned by St. Marys Cement Inc. (Canada).					
B - Site Protection						
B4	Fencing	X			Fencing maintained along the east and south boundaries as shown on phase A on page 2 of the site plans. Repairs completed in 2015 for section on east boundary.	
B5	Fencing (site plan variation or temporary relief granted)	X			Fencing relief granted for the west and north boundaries adjacent to other licences and south of Concession 2A (see site plan overrides noted on page 2 of the site plans).	
B6	Screening (trees/berms)	X			Berm remains along Concession 2A road boundary of site. The other perimeter berms have been used for rehabilitation of side slopes. See general comments.	
B7	Setbacks (15m / 30m or other)	X			Setbacks maintained as shown on the site plans. Relief granted for the common boundary shared with the adjacent pits to the west and north (site plan override).	
C - Operational Details						
C8	Operating Sequence	X			Above and below water extraction has been completed. See general comments.	
C9	Stripping (overburden)	X			Stripped topsoil and overburden stored in perimeter berm on site and to be used for progressive rehabilitation of the site.	
C10	Overburden Seeded	X			Established berm is well vegetated.	
C11	Extraction Depth	X			Maximum depth allowed – +/- 292 m asl	Lowest floor elevation +/- 292 m
C12	Buildings/Scales (location)	X			There are no buildings within the licensed property as shown on the site plans.	
C13	Equipment (any specific conditions or restrictions)	X			There is no equipment operating on site (see page 2, note #11 and technical recommendations).	
C14	Plant (location/any specific conditions or restrictions)	X			No plant on the site (see page 2, note #11 on site plans).	
C15	Scrap (location/removal)	X			Scrap is removed or disposed of on an ongoing basis (see page 2, note#20). Trees and stumps can be used for rehabilitation of shorelines (see site plans).	
C16	Stockpiles (location)	X			No aggregate stockpiles remain on the site.	
C17	Topsoil (location/seeded)	X			Topsoil/overburden stored in the berms on site.	
C18	Excavation Faces	X			Pit faces ranged between 2-6 m in height on site (see page 2, note #11 on site plans).	
C19	Ponds (location/depth)	X			Excavation of pond completed in Area 2. Extraction permitted below the water table (see page 2, note #11 on site plans).	
C20	Internal Roads (any specific conditions or restrictions)	X			Generally as shown on the site plan.	
C21	Haul Routes (external/any specific conditions or restrictions)	X			Access is west through adjacent pit as shown on site plans. All truck traffic used the Concession 7 entrance/exit to the north of the pit.	
C22	Blast Monitoring Report (quarries only)			X	Licensed pit. No blasting to occur on site.	
C23	Dust Suppression	X			Dust suppressant (water) was applied on internal haul road (see note #12). Haul road into pit at entrance/exit has been paved (see note #12 on site plans).	
C24	Hours of Operation (any specific conditions or restrictions)	X			6:00 am to 7:00 pm, Monday to Friday (see page 2, note #22). Any extension to these hours requires approval from the Township.	
C25	Well Monitoring Reports	X			Refer to groundwater monitoring program found under Technical Recommendations on page 3 of the site plans. See general comments.	
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)	X			Required sign has been installed at the main gates at adjacent entrance/exit of pit (Concession 7) and is maintained.	
C27	Orderly Conditions	X			Site is orderly.	
C28	Blasting Hours (quarries only)			X	Licensed pit. No blasting on site.	

Note: Any ("No") requires completion of Page 3

[illegible]

Date Submitted to MNR: Y / M / D	2015 / 09 / 25	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to: (by September 30th)	County/Regional Municipality <input checked="" type="checkbox"/> YES	Local Municipality <input checked="" type="checkbox"/> YES	Ministry of Natural Resources <input checked="" type="checkbox"/> YES
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TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015 / 07 / 24	Review Conducted by: S. Brown (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Harrington McAvan Ltd 55 Ainslie St. North, 2 nd Floor, Cambridge, Ontario. N1R 3J6 (519) 773-6830			
Position with Company: Consultant hired by licensee to complete compliance assessment.			

Signature of Licensee or Authorized Official:	 Lands Manager
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FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>		Licence ID #: 624864		

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

IB - 2m past end of fence

ASH UP TO 6m

ARASIGN
#624864

STEEL GATES

MAPLES UP TO 15m

REMAINS OF FENCE

N44°52'30"E
14.73

ZONING:
CBM McNally East Pte.
Licence # 624864
Pt Lot 27, Conc 2,
Pustinch
Assessment Date:

July 31/15

FD. SIB (OU)
NO. 22 WEST

CONCESSION 1 (PAVED)

MEAD

MAF
15-

POND

Sloped & seeded
2012/13

Berm

SCATTERED MIXED CEDAR,
WHITE BIRCH, ASH,
TAMARACK, WHITE PINE,
PINE, MAPLE, CHERRY, EL

STEEL GATES

CONCESSION 2 (PAVED)

CONCESSION 2

NO FENCE

RECEIVED

6.40i)

OCT 01 2015

Township of Puslinch

Licensees Compliance Assessment Report - Aggregate Resources Act

Background Information						Year: 2015	
Licensee: St. Marys Cement Inc. (Canada)			Licence ID #: 625284 (Neubauer pit)		MNR District/Area Office: Guelph		
Lot: Part 27	Conc.: 1	Geographic Twp.: Puslinch			Municipality: Township of Puslinch		
Observations							
OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?	
		Yes	No	N/A			
A - Site Access						Y	
A1	Boundaries (clearly marked)		X		Boundaries are either fenced, demarcated with painted marker posts and/or the remains of a fence (see B5). A.N.S.I. boundary has been surveyed and staked in the field.	Y	
A2	Entrance and Exits (location/closed)	X			Gates are either closed or can be closed and locked. Gates are located at entrance/exit of pit licence 17600 along Concession 2, as shown on site plans.		
A3 Lease/Ownership/Extraction Agreement: Owned by St. Marys Cement Inc. (Canada).							
B - Site Protection							
B4	Fencing		X		The west boundary is currently fenced and parts of the north boundary are fenced. Minor repairs completed along the west boundary in 2014.	Y	
B5	Fencing (site plan variation or temporary relief granted)	X			Fencing relief granted for the west boundaries adjacent to CBM licence 17600 (see site plan overrides noted on page 2 of the site plans).		
B6	Screening (trees/berms)	X			Extraction has not commenced on site.		
B7	Setbacks (15m / 30m or other)	X			Extraction has not commenced on site. Relief granted for the common boundary shared with the adjacent pit to the west (site plan override).		
C - Operational Details							
C8	Operating Sequence	X			Extraction has not commenced on site.		
C9	Stripping (overburden)	X			Stripped topsoil and overburden will be stored in perimeter berms on site and to be used for progressive rehabilitation of the site.		
C10	Overburden Seeded	X			Extraction has not commenced on site.		
C11	Extraction Depth	X			Maximum depth allowed – +/- 289 m asl Lowest floor elevation +/- NA m		
C12	Buildings/Scales (location)	X			The buildings within the licensed property are as shown on the site plans. Barn has fallen over and licensee is planning to remove it (2013).		
C13	Equipment (any specific conditions or restrictions)	X			There is no equipment operating on site (see page 2 of site plans, note #7).		
C14	Plant (location/any specific conditions or restrictions)	X			No plant on the site (see page 2 of site plans, note #7).		
C15	Scrap (location/removal)	X			Scrap will be removed or disposed of on an ongoing basis, as required(see page 2 of site plans, note#24).		
C16	Stockpiles (location)	X			No aggregate stockpiles on site.		
C17	Topsoil (location/seeded)	X			Topsoil/overburden stored in the berms on site.		
C18	Excavation Faces	X			There are no pit faces on site (see page 2, note #7).		
C19	Ponds (location/depth)		X		There are no dug ponds on the site. Extraction permitted below the water table (see page 2, note #7).		
C20	Internal Roads (any specific conditions or restrictions)	X			Generally as shown on the site plan. As per operational note #13, sign advising drivers that roads are also used by school buses, has been installed at pit entrance of 17600.		
C21	Haul Routes (external/any specific conditions or restrictions)	X			Access is west through adjacent pit as shown on site plans. All truck traffic will be using Concession 2 entrance/exit.		
C22	Blast Monitoring Report (quarries only)		X		Licensed pit. No blasting to occur on site.		
C23	Dust Suppression	X			Haul road into pit at entrance/exit has been paved (see note #12).		
C24	Hours of Operation (any specific conditions or restrictions)	X			6:00 am to 7:00 pm, Monday to Friday (see page 2, note #19). Any extension to these hours requires approval from the Township.		
C25	Well Monitoring Reports	X			Refer to groundwater monitoring program found under Technical Recommendations on page 3 of the site plans. See general comments.		
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)	X			Required sign has been installed at the main entrance/exit of the adjacent pit no 17600 (Concession 2) and is maintained.		
C27	Orderly Conditions	X			Site is orderly.		
C28	Blasting Hours (quarries only)		X		Licensed pit. No blasting on site.		

Note: Any ("No") requires completion of Page 3

[illegible]

Form #591 (Rev. 04/03)

THIS SECTION MUST BE COMPLETED WHEN REMEDIAL ACTION IS REQUIRED

OPERATING STANDARDS from Pg. 1 (e.g. B4 – Fencing)	Remedial Action Required	Deadline Date	MNR Direction (for MNR use only)
<i>EXAMPLE B4 - Fencing</i>	<i>200 ft of West boundary to be fenced</i>	<i>June 15 / 99</i>	

[illegible][illegible]

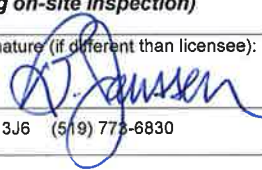
☒ Sketch Included? (see note below) **Licence ID #:** 625284 ☐ Additional Detailed Information Attached

You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.

In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.

Date Submitted to MNR: Y / M / D	2015 / 09 / 25	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input checked="" type="checkbox"/> YES or <input type="checkbox"/> NO		

Copies of Report Sent to: (by September 30th)	County/Regional Municipality <input checked="" type="checkbox"/> YES	Local Municipality <input checked="" type="checkbox"/> YES	Ministry of Natural Resources <input checked="" type="checkbox"/> YES
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TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015 / 06 / 16	Review Conducted by: B. Janssen (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Harrington McAvan Ltd. 55 Ainslie St. North, 2 nd Floor, Cambridge, Ontario, N1R 3J6 (519) 775-6830			
Position with Company: Consultant hired by licensee to complete compliance assessment.			

Signature of Licensee or Authorized Official:	
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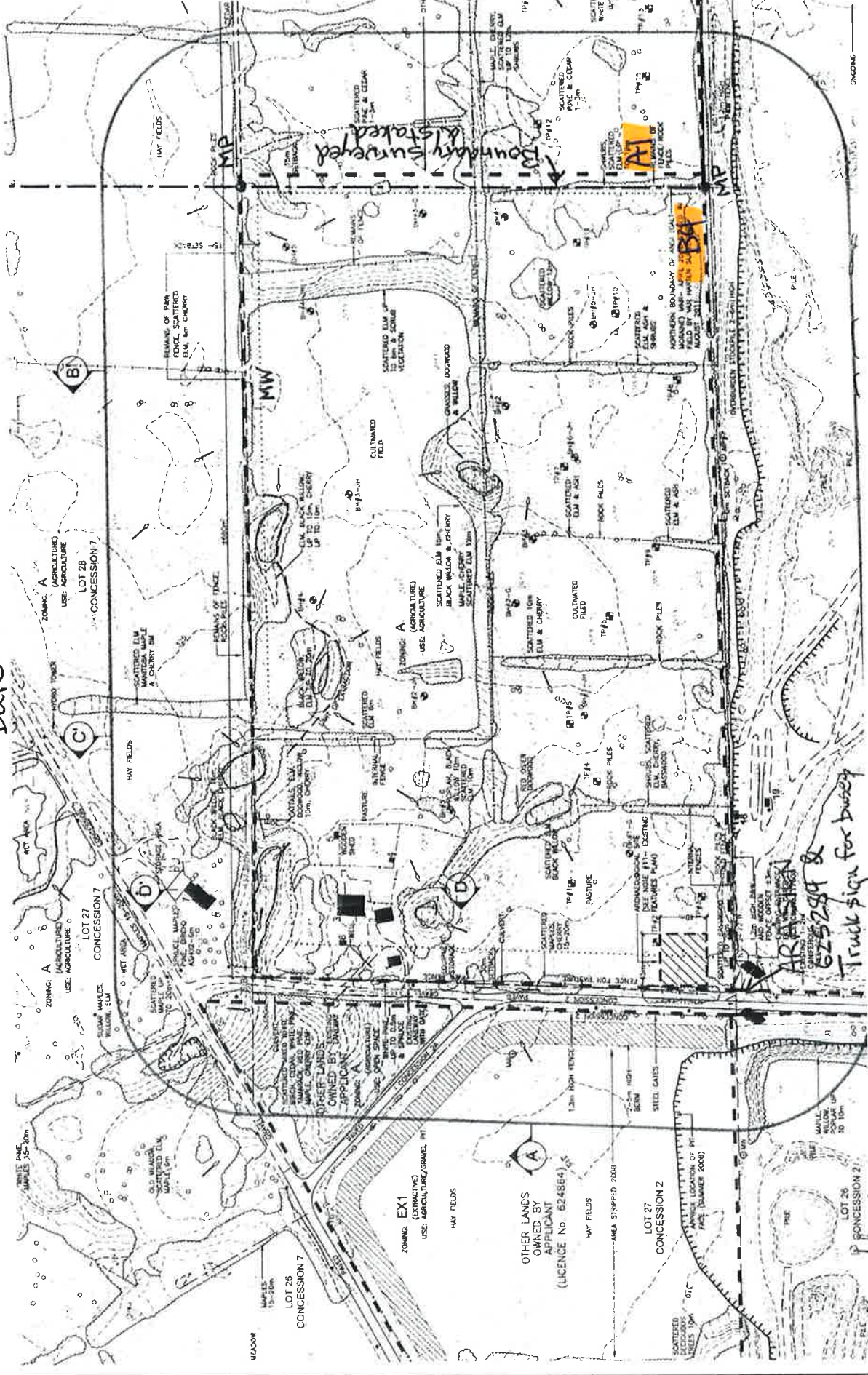
FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>		Licence ID #: 625284		

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

CBM Neubauer P.t
Licence no. 625284

Date: June 16/15



ARASHIAN
625284 &
Truck sign for busby

6.4(j)

RECEIVED

Licensees Compliance Assessment Report - Aggregate Resources Act

OCT 01 2015

Township of Puslinch Year 2015

Background Information

Licensee: St. Marys Cement Inc. (Canada)		Licence ID #: 129817 (Mast-Snyder)	MNR District/Area Office: Guelph
Lot: Part 14 and 15	Conc.: 4	Geographic Twp.: Puslinch	Municipality: Township of Puslinch

Observations

OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?
		Yes	No	N/A		
A - Site Access						Y
A1	Boundaries (clearly marked)	X			Majority of boundaries are either fenced or demarcated with painted marker posts and the remains of a fence (see B5). See general comments.	
A2	Entrance and Exits (location/closed)	X			Gates to be installed at main entrance/exit along Downey Road, as shown on site plans.	
A3 Lease/Ownership/Extraction Agreement: Owned by St. Marys Cement Inc. (Canada) and part of site is leased.						
B - Site Protection						
B4	Fencing		X		Fencing being upgraded as shown on phase A on page 2 of the site plans prior to extraction activities on site. Maintenance required along south boundary.	Y
B5	Fencing (site plan variation or temporary relief granted)	X			Fencing relief granted for the part of north and northeast boundaries (see site plan overrides noted on page 2 of the site plans).	
B6	Screening (trees/berms)	X			Recently licensed site. See page 2, note #9 and planting plan on page 6 of site plans for details.	
B7	Setbacks (15m / 30m or other)	X			Extraction setbacks maintained. Extraction has not commenced on site.	
C - Operational Details						
C8	Operating Sequence	X			Extraction has not commenced on site.	
C9	Stripping (overburden)	X			Stripped topsoil and overburden will be stored in berms and stockpiles on site and to be used for progressive rehabilitation of the site.	
C10	Overburden Seeded	X			Extraction has not commenced on site.	
C11	Extraction Depth	X			Maximum depth allowed – +/- 319 m asl	Lowest floor elevation +/- NA
C12	Buildings/Scales (location)	X			The buildings within the licensed property are shown on the site plans.	
C13	Equipment (any specific conditions or restrictions)	X			There is no equipment currently operating on site (see page 2 of site plans, note #11).	
C14	Plant (location/any specific conditions or restrictions)	X			No plant currently on the site (see page 2 of site plans, note #11).	
C15	Scrap (location/removal)	X			Scrap to be removed or disposed of on an ongoing basis once operations commence on site (see page 2 of site plans, note #17).	
C16	Stockpiles (location)	X			No aggregate stockpiles on site (see page 2 of site plans, note #11).	
C17	Topsoil (location/seeded)	X			Topsoil/overburden to be stored in vegetated berms and stockpiles on site (see page 2 of site plans, notes #8 and #9).	
C18	Excavation Faces	X			Extraction has not commenced on site (see page 2 of site plans, note #11).	
C19	Ponds (location/depth)			X	There are no new dug ponds on the site. Extraction permitted below the water table (see page 2 on site plans, note #11).	
C20	Internal Roads (any specific conditions or restrictions)	X			To be constructed as shown on plans (see page 2 of site plans, note #12).	
C21	Haul Routes (external/any specific conditions or restrictions)	X			Access will be east as shown on site plans. All truck traffic to use entrance/exit onto Downey Road.	
C22	Blast Monitoring Report (quarries only)			X	Licensed pit. No blasting to occur on site.	
C23	Dust Suppression	X			Dust suppressant (water) to be applied on internal haul road (see note #12). Haul road into pit at entrance/exit to be paved (see note #12 on site plans).	
C24	Hours of Operation (any specific conditions or restrictions)	X			6:00 am to 7:00 pm, Monday to Saturday (see page 2, note #18 on site plans). Any extension to these hours requires approval from the Township.	
C25	Well Monitoring Reports	X			Refer to groundwater monitoring program under Technical Recommendations on page 3 and operational notes on page 2 of the site plans.	
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)	X			Required sign installed south of the proposed entrance/exit of pit (Downey Road) and is maintained.	
C27	Orderly Conditions	X			Site is orderly.	
C28	Blasting Hours (quarries only)			X	Licensed pit. No blasting on site.	

Note: Any ("No") requires completion of Page 3

[illegible]

THIS SECTION MUST BE COMPLETED WHEN REMEDIAL ACTION IS REQUIRED

OPERATING STANDARDS from Pg. 1 (e.g. B4 – Fencing)	Remedial Action Required	Deadline Date	MNR Direction (for MNR use only)
EXAMPLE B4 - Fencing	200 ft of West boundary to be fenced	June 15 / 99	

SEE NOTES BELOW REGARDING REMEDIAL ACTION DEADLINE DATES

[illegible]

 Sketch Included? (see note below)

Licence ID #: 129817

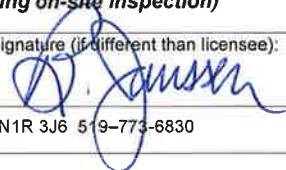
 Additional Detailed Information Attached

You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.

In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.

Date Submitted to MNR: Y / M / D	2015 / 09 / 25	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input checked="" type="checkbox"/> YES or <input type="checkbox"/> NO		

Copies of Report Sent to:	County/Regional Municipality	Local Municipality	Ministry of Natural Resources
(by September 30th)	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES

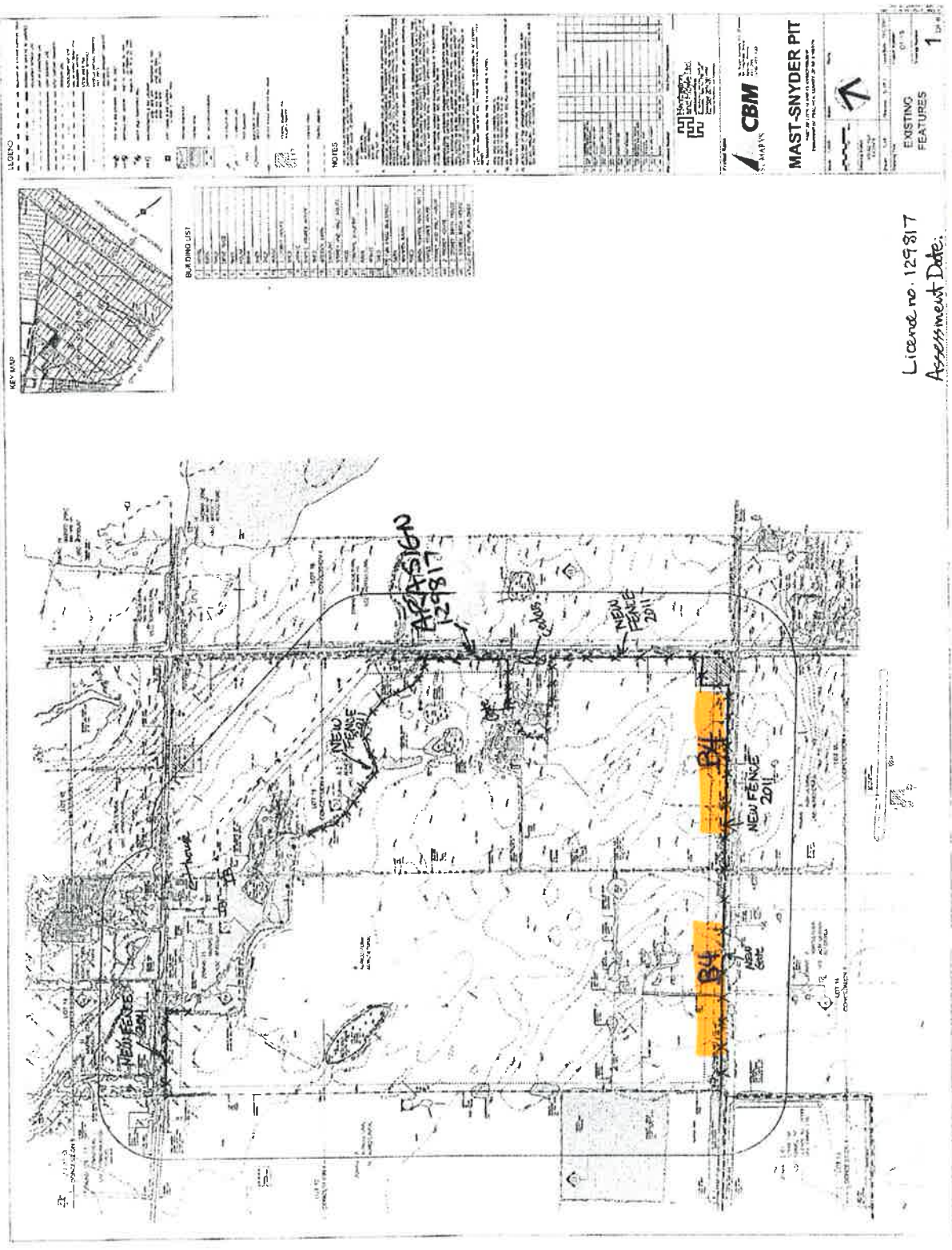
TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015/07/03	Review Conducted by: B. Janssen (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Harrington McAvan Ltd 55 Ainslie Street North, 2 nd Floor, Cambridge, Ontario N1R 3J6 519-773-6830			
Position with Company: Consultant hired by St Marys to complete compliance assessment.			

Signature of Licensee or Authorized Official:	
---	---

FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>		Licence ID #: 129817		

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)



Licence no. 129817
Assessment Date:

July 3/15

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OCT 01 2015

Roszell Pit

Township of Puslinch

Licensees Compliance Assessment Report - Aggregate Resources Act

Background Information

Year: 2015

Licensee: St. Marys Cement Inc. (Canada) Licence ID #: 625189 MNR District/Area Office: Guelph District
 Pt. Lots: 1 & 2 Conc.: 3 & 4 Geographic Twp.: Puslinch Municipality: Township of Puslinch

Observations

OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?
		Yes	No	N/A		
A - Site Access						
A1	Boundaries (clearly marked)	x			Boundaries have been fenced. Marker posts installed in 2014/15 to demarcate unfenced parts of the licensed boundary. See comments.	
A2	Entrance and Exits (location/closed)	x			Entrance/ exit is gated to restrict access by the public to the site.	
A3	Lease/Ownership/Extraction Agreement	Licensee owns property – licence transferred from Preston S & G to St. Marys				
B - Site Protection						
B4	Fencing	x			Boundary fencing has been constructed to enclose the entire active pit area. Minor repairs completed in 2014.	
B5	Fencing (site plan variation or temporary relief granted)	x			Request for a site plan variance to amend the location of portions of the licensed boundary has been submitted to MNR. Approval pending.	
B6	Screening (trees/berms)	x			Pit is to be screened by combination of berms and tree screens. Tree screens to be established immediately after berm construction-Note 23.	
B7	Setbacks (15m / 30m or other)	x			Setbacks maintained as per site plans. East 30 m setback staked where stripping is occurring.	
C - Operational Details						
C8	Operating Sequence	x			Above and below water extraction has occurred in Area A. Site plan amendment approved in 2014 to concurrent extraction on-site.	
C9	Stripping (overburden)	x			Stripped soil piled around northern test pond was used for perimeter berm construction. See general comments.	
C10	Overburden Seeded	x			Established berms have been seeded and are vegetated. Berms under construction in the southern part of the site.	
C11	Extraction Depth	x			Test ponds dug to extend into water table. See General Comments	Lowest floor elevation: 296+/-
C12	Buildings/Scales (location)	x			Buildings are located as noted on site plan. No aggregate related buildings presently on site.	
C13	Equipment (any specific conditions or restrictions)	x			There is a loader and trucks operating on-site. Dozer and scraper being used in stripping operation.	
C14	Plant (location/any specific conditions or restrictions)	x			Portable processing equipment proposed to be used on site. No processing plant currently on-site.	
C15	Scrap (location/removal)		x		Minimal amount of scrap noted. Non-pit scrap remaining in southwest part of site will be removed now that boundaries are determined.	Y
C16	Stockpiles (location)	x			Majority of materials loaded directly from face into trucks for haulage off-site.	
C17	Topsoil (location/seeded)	x			Completed berms are vegetated.	
C18	Excavation Faces	x			Pit faces vary from 3 to 5 m in height and are within MOL regulations.	
C19	Ponds (location/depth)	x			Test ponds on site with piezometers installed for monitoring purposes. Below water extraction commenced in 2014.	
C20	Internal Roads (any specific conditions or restrictions)	x			A 150m section of internal road extending from Roszell Rd is covered with recycled asphalt. Site plan amendment approved by MNR (2014).	
C21	Haul Routes (external/any specific conditions or restrictions)	x			Gated private haul road as described in Note 9 constructed and used to transport aggregate to County Road 32.	
C22	Blast Monitoring Report (quarries only)			x	Licensed pit. No blasting to occur.	
C23	Dust Suppression	x			Water or approved dust suppressants to be used when required – Note 15 of Operational Plan.	
C24	Hours of Operation (any specific conditions or restrictions)	x			Loading and shipping – 6:00-19:00, Mondays to Fridays. Extraction and processing to occur 7:00-19:00, Mondays-Fridays	
C25	Well Monitoring Reports	x			Water monitoring report completed is dated March 2013. See General Comments re: ecological & aquatic monitoring	
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)	x			Identification sign is located at main entrance/exit.	
C27	Orderly Conditions	x			Site is orderly.	
C28	Blasting Hours (quarries only)			x	Licensed pit. No blasting as part of operation.	

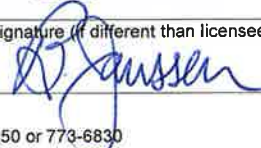
Note: Any ("No") requires completion of Page 3


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- ***You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.***
- ***In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.***

Date Submitted to MNR: Y / M / D	2015/09/29	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to:	County/Regional Municipality	Local Municipality	Ministry of Natural Resources
(by September 30th)	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES

TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015/07/03	Review Conducted by: B. Janssen (Please Print)	Signature (if different than licensee): 
Name of Company and Address: 55 Ainslie Street North 2 nd Floor Cambridge, Ontario N1R 3J6 (519) 740-7250 or 773-6830			
Position with Company: Consultant hired by licensee to conduct compliance assessment.			

Signature of Licensee or Authorized Official:	
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FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>				Licence ID #: 625189

- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
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- In order to extend the 90-day remedial action deadline date, you must obtain the Aggregate Inspector's approval (in writing) prior to filing the report with the Inspector or local MNR office.
- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

Licence ID# 625189

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OCT 01 2015

Township of Puslinch Year: 2015

Licenses Compliance Assessment Report - Aggregate Resources Act

Background Information

Licensee: St. Marys Cement Inc. (Canada)		Licence ID #: 624952 (Land)	MNR District/Area Office: Guelph
Lot: Part 27	Conc.: 2	Geographic Twp.: Puslinch	Municipality: Township of Puslinch

Observations

OPERATING STANDARDS	IN COMPLIANCE?			COMMENTS	Remedial Action?
	Yes	No	N/A		
A - Site Access					Y
A1 Boundaries (clearly marked)	X			All boundaries are either fenced or demarcated with painted marker posts (see B5).	
A2 Entrance and Exits (location/closed)	X			Gates are either closed or can be closed and locked. Gates are located at entrance/exit along Concession 2, as shown on site plans. See general comments.	
A3 Lease/Ownership/Extraction Agreement: Owned by St. Marys Cement Inc. (Canada).					
B - Site Protection					
B4 Fencing	X			Fencing was completed in 2012 along the east, north and south boundaries as shown on phase A on page 2 of the site plans. Section damaged by fallen tree.	
B5 Fencing (site plan variation or temporary relief granted)	X			Fencing relief has not been granted along west boundary adjacent to the Dufferin licence (see site plan overrides noted on page 2 of the site plans).	
B6 Screening (trees/berms)	X			Berms have been constructed adjacent to Concession 2 and are under construction along Sideroad 25 and south boundary. Coniferous trees planted along north setback, west end.	
B7 Setbacks (15m / 30m or other)	X			Northern section of 15 m west setback area has been stripped for haul road into pit as shown on the site plans. See general comments.	
C - Operational Details					
C8 Operating Sequence	X			Above and below water extraction has occurred in Area 1. Trees have been cleared and stripping proceeding south into Area 2	
C9 Stripping (overburden)	X			Stripped topsoil and overburden stored in perimeter berms on site and used for progressive rehabilitation of the northern pit face.	
C10 Overburden Seeded	X			Berms have been seeded. Established berms are well vegetated.	
C11 Extraction Depth	X			Maximum depth allowed - +/- 293.5 m asl	Lowest floor elevation +/- 294 m
C12 Buildings/Scales (location)	X			Various buildings remain within the licensed property as shown on the site plans. Refer to note #24 on operational plan regarding demolition of buildings.	
C13 Equipment (any specific conditions or restrictions)	X			There is a loader, trucks and dragline operating on site (see page 2 of site plans, note #11).	
C14 Plant (location/any specific conditions or restrictions)	X			No plant currently on the site (see page 2 of site plans, note #11).	
C15 Scrap (location/removal)		X		Scrap was removed or disposed of on an ongoing basis (see page 2, note #20). Trees and stumps can be used for rehabilitation of shorelines or mulched (see site plans).	Y
C16 Stockpiles (location)	X			Aggregate stockpiles located on pit floor, greater than 30 m from licensed boundaries.	
C17 Topsoil (location/seeded)	X			Topsoil/overburden stored in the berms on site.	
C18 Excavation Faces	X			The pit faces range from 4 to 8 m in height on site (see page 2, note #11).	
C19 Ponds (location/depth)	X			Extraction below the water table has commenced in the southern part of Area 1 as shown on plans (see page 2, note #11).	
C20 Internal Roads (any specific conditions or restrictions)	X			Generally as shown on the site plan. Sign posted at entrance/exit notifying drivers of busses using roadways as per operational note #25.	
C21 Haul Routes (external/any specific conditions or restrictions)	X			Access is north as shown on site plans. All truck traffic will be using Concession 7 entrance/exit.	
C22 Blast Monitoring Report (quarries only)			X	Licensed pit. No blasting to occur on site.	
C23 Dust Suppression	X			Dust suppressant (water) was applied on internal haul road (see operational note #12).	
C24 Hours of Operation (any specific conditions or restrictions)	X			6:00 am to 7:00 pm, Monday to Friday (see page 2, note #21). Any extension to these hours requires approval from the Township.	
C25 Well Monitoring Reports	X			Refer to groundwater monitoring program found under Technical Recommendations on page 3 of the site plans. See general comments.	
C26 Identification Sign (as per Sect. 5.22 of Provincial Standards)	X			Required sign has been installed at the main gates at entrance/exit of pit (Concession 2) and is maintained.	
C27 Orderly Conditions	X			Site is generally orderly.	
C28 Blasting Hours (quarries only)			X	Licensed pit. No blasting on site.	

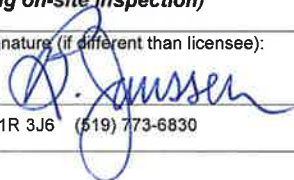
Note: Any ("No") requires completion of Page 3

Observations (continued)					
OPERATING STANDARDS	IN COMPLIANCE?			COMMENTS	Remedial Action?
	Yes	No	N/A		
D – Rehabilitation					Y
D29 Disturbed Hectarage	X			Current year - # of hectares +/- 5.0 Total # of hectares +/- 20.7	
D30 Progressive rehabilitation	X			Current year - # of hectares 0 Total # of hectares +/- 0	
D31 Sloping of Faces	X			Backfilling of the terminated north face (west) has started using on-site overburden in 2013 and 2015. Sloping work done along the west boundary, central section in 2015.	
D32 Grades/Contours/Elevations	X			As shown on the site plan with some minor variations on the pit floor.	
D33 Importation of Material (inert)	X			Importation of fill is permitted (see rehab note #13).	
D34 Vegetation	X			Recently licensed site.	
D35 Final Rehabilitation	X			Operations have commenced on licensed site.	
E - Prescribed Conditions (For Licences issued after June 27, 1997)					
E36 Other Monitoring Reports	X			See general comments regarding tree monitoring program.	
E37 Requirements of C of A's	X			None required at this time.	
E38 Noise Mitigation	X			Technical recommendations on page 3. Aercoustics Engineering completed acoustical audit of site as per operational note #21 (refer to letter of July 1/2015).	
E39 Fuel Storage Tanks	X			No fuel is currently stored on site (see notes #11 and #16 regarding storage in above ground containers).	
E40 Spills Plan	X			See note #16 on the site plan for contingency plan implementation.	
E41 Permit to Take Water	X			No pumping of water or dewatering occurring on the site (see page 2 of site plans, note #11).	
E42 Dust Suppression Measures Req'd. (Haul routes, equip, etc.)	X			Water used on internal roads, as required (see page 2 of site plans, note #12).	
F - Other Conditions (As indicated on either Site Plan or Licence)					
F43 Tonnage Condition	X			Class "A" licence – 1,000,000 tonnes annually (see page 2 of site plans, note #22).	
F44					
F45					
General Comments:					
Licence issued in April 2009.					
Tree monitoring program as required by the site plans started in 2010 (see operational note #26).					
A2 – Sign installed at main gates in 2012 advising truck drivers of school buses using Concession Road 2 as per ops note #25.					
B4 – Fencing repair completed along the east boundary (see 2014 Compliance Assessment report).					
B7 – MNR gave approval in June 2013 for a site plan amendment to eliminate the 15 m setback along the west boundary of the site.					
C15 – Scrap has been removed from locations noted in 2014 (see 2014 Compliance Assessment report).					
C25 – Additional groundwater monitoring well installed July 2012 on the property to the south of the licence.					
Licence ID#: 624952					

Note: Any ("No") requires completion of **Page 3**

Date Submitted to MNR: Y / M / D	2015 / 09 / 29	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to:	County/Regional Municipality	Local Municipality	Ministry of Natural Resources
(by September 30th)	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES

TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015 / 06 / 16	Review Conducted by: B. Janssen (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Harrington and Hoyle Ltd. 55 Ainslie St. North, 2 nd Floor, Cambridge, Ontario. N1R 3J6 (519) 773-6830			
Position with Company: Consultant hired by licensee to complete compliance assessment.			

Signature of Licensee or Authorized Official:	
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FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required? YES <input type="checkbox"/> NO <input type="checkbox"/>			Licence ID #: 624952	

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- You must provide a sketch if remedial action is required or progressive rehabilitation has been performed.
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- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

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OCT 01 2015

Township of Puslinch

Licensees Compliance Assessment Report - Aggregate Resources Act

Background Information

Licensee: St. Marys Cement Inc. (Canada)		Licence ID #: 17600	MNR District/Area Office: Guelph
Lot: Part 26	Conc.: 1	Geographic Twp.: Puslinch	Municipality: Township of Puslinch

Observations

OPERATING STANDARDS		IN COMPLIANCE?			COMMENTS	Remedial Action?
		Yes	No	N/A		
A - Site Access						Y
A1	Boundaries (clearly marked)	X			Boundaries are presently fenced with a 1.2 m high post and wire fence and posted with "No Trespassing" signs. See general comments.	
A2	Entrance and Exits (location/closed)	X			All gates can be closed and/or locked. Main gates are located at entrance/exit on north boundary at Concession 2 Road.	
A3 Lease/Ownership/Extraction Agreement: CBM/St. Marys Cement Inc. (Canada) own property.						
B - Site Protection						
B4	Fencing		X		Majority of fencing on the site perimeter is in good repair. See general comments and B5.	Y
B5	Fencing (site plan variation or temporary relief granted)	X			See site plan overrides for approval of having fencing slightly offset from licensed boundaries.	
B6	Screening (trees/berms)	X			Existing berms and tree screens along the west, south and north boundaries of the site. See general comments and noise controls on page 2 of site plans.	
B7	Setbacks (15m / 30m or other)	X			Setbacks are maintained. Amendment approved in 2010 for reducing setbacks along west and east boundaries. See D31 regarding the rehabilitation of terminated pit faces.	
C - Operational Details						
C8	Operating Sequence	X			Active extraction above and below water in southern half of the site, as shown on revised site plans).	
C9	Stripping (overburden)	X			Stripped topsoil and overburden has been stored in berms and stockpiles on site and used for progressive rehabilitation of side slopes.	
C10	Overburden Seeded	X			Established stockpiles and berms are vegetated.	
C11	Extraction Depth	X			Maximum depth allowed - +/- 299 m asl	Lowest floor elevation +/- 299m
C12	Buildings/Scales (location)	X			There are no buildings on-site.	
C13	Equipment (any specific conditions or restrictions)	X			There is no equipment currently operating on the site (see note #11 on site plans). Excavator, dozer and scraper on site.	
C14	Plant (location/any specific conditions or restrictions)	X			No portable plant presently on site.	
C15	Scrap (location/removal)		X		Scrap is to be collected in the storage area and removed from the site on an ongoing basis in 2014 (see note #20).	Y
C16	Stockpiles (location)	X			Stockpiles are located on the pit floor.	
C17	Topsoil (location/seeded)	X			Topsoil is stored in the vegetated berms and stockpiles on the site.	
C18	Excavation Faces	X			Active pit faces vary from approximately 4-9 metres in height (see note #11 on site plans).	
C19	Ponds (location/depth)	X			Extraction below the water table has resulted in a north pond and south pond(s) (refer to revised site plans of 2004 which were approved by MNR).	
C20	Internal Roads (any specific conditions or restrictions)	X			As shown on the site plan, with some slight modifications.	
C21	Haul Routes (external/any specific conditions or restrictions)	X			Access is north to Concession 2 Road. All truck traffic leaving the pit travel east on the Concession 2 Road, with the option to go north into the McNally pit.	
C22	Blast Monitoring Report (quarries only)		X		Licensed pit. No blasting to occur on site.	
C23	Dust Suppression	X			See operational note #21 regarding dust suppressants. Recycled asphalt has been applied on the haul road. Water truck was used to mitigate dust in the pit (see note #21).	
C24	Hours of Operation (any specific conditions or restrictions)	X			No restrictions on licence or site plans.	
C25	Well Monitoring Reports	X			As required in conditions 5 & 6 of Schedule A of the licence and site plans, groundwater monitoring results are submitted yearly.	
C26	Identification Sign (as per Sect. 5.22 of Provincial Standards)		X		Sign at the entrance/exit of the pit (A2 – at Concession 2) is on ground and poor repair.	Y
C27	Orderly Conditions	X			Site is kept in orderly condition.	
C28	Blasting Hours (quarries only)		X		Licensed pit. No blasting on site.	

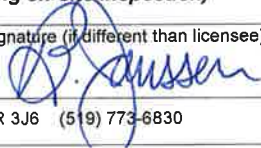
Note: Any ("No") requires completion of Page 3

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Form #591 (Rev. 04/03)

Date Submitted to MNR: Y / M / D	2015 / 09 / 29	Please ensure that the site plan you have is the most current, approved plan and is the same as the one MNR has on file.
Is the site held in reserve? <input type="checkbox"/> YES or <input checked="" type="checkbox"/> NO		

Copies of Report Sent to:	County/Regional Municipality	Local Municipality	Ministry of Natural Resources
(by September 30th)	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES	<input checked="" type="checkbox"/> YES

TO BE COMPLETED BY PERSON CONDUCTING REVIEW (including on-site inspection)			
Date Inspected: Y / M / D	2015 / 06 / 16	Review Conducted by: B. Janssen (Please Print)	Signature (if different than licensee): 
Name of Company and Address: Harrington McAvan Ltd 55 Ainslie St. North, 2 nd Floor, Cambridge, Ontario. N1R 3J6 (519) 773-6830			
Position with Company: Consultant hired by licensee to complete compliance assessment.			

Signature of Licensee or Authorized Official:	
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FOR MNR OFFICE USE ONLY				
Accepted by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Accepted: Y / M / D	/ /	MNR Signature:
Field Audit by MNR: (✓ one)	YES <input type="checkbox"/> NO <input type="checkbox"/>	Date Inspected: Y / M / D	/ /	MNR Signature:
Follow up Notice Required?		Licence ID #: 17600		
YES <input type="checkbox"/> NO <input type="checkbox"/>				

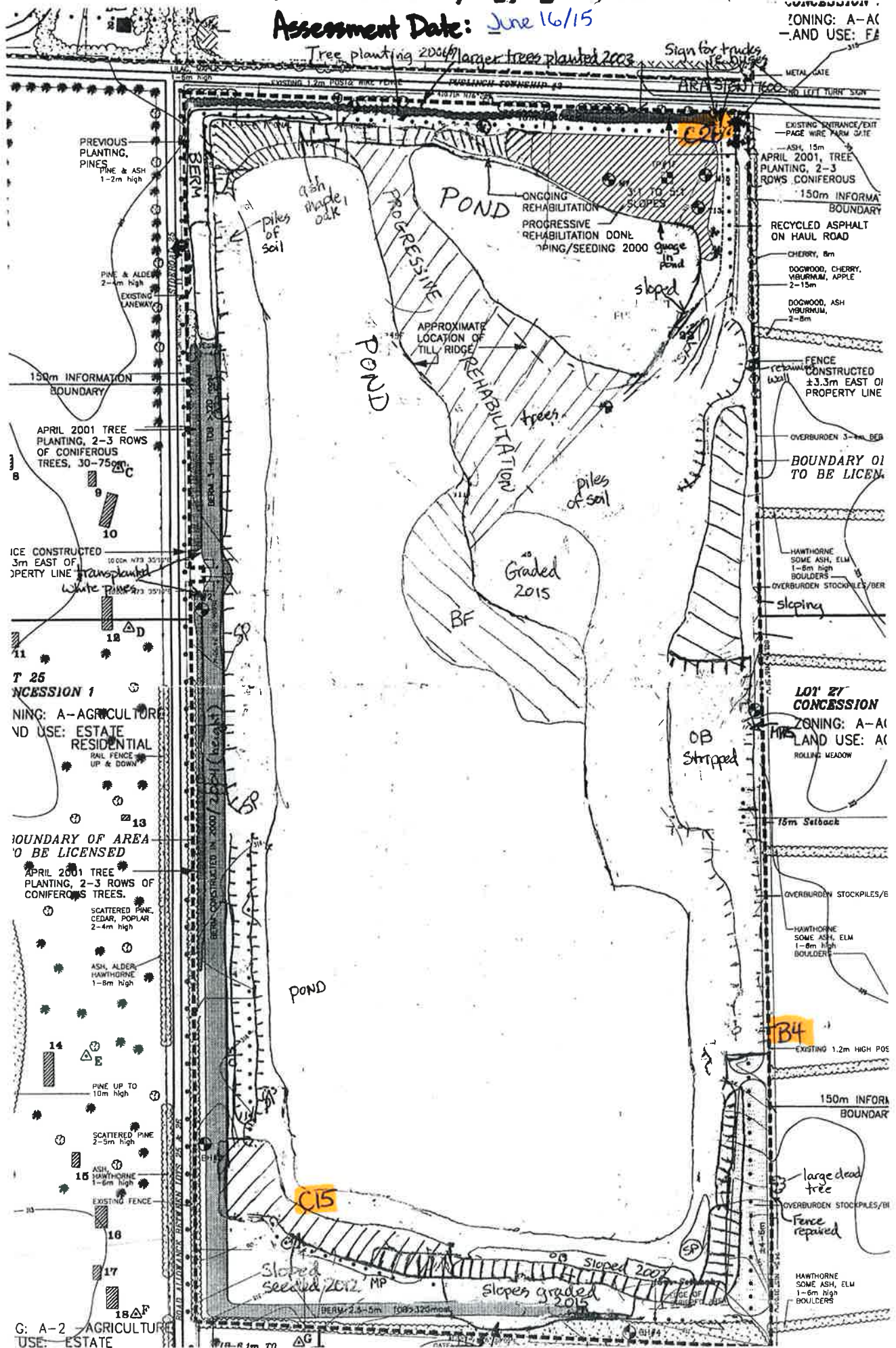
- Pursuant to Subsection 57(4) of the ARA, it is an offence to furnish false information.
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- Please submit this report to the local Aggregate Inspector who administers your site, or the local MNR office.

(NOTE: ALL INFORMATION IN RESPECT OF THIS REPORT IS AVAILABLE FOR PUBLIC REVIEW)

CBM (Puslinch Quality Aggregates) Licence 17600

Assessment Date: June 16/15

ZONING: A-AC
-AND USE: FA



From: Stan Denhoed [<mailto:sdenhoed@hardenv.com>]
Sent: October-01-15 4:38 PM
To: Karen Landry
Subject: Re: PTTW Meadows of Aberfoyle

6.5(a).

Karen

I reviewed water levels obtained for Meadows of Aberfoyle again and the only monitor approaching record lows is MP4. MP4 is a mini piezometer located within Aberfoyle Creek near Gilmour Road. There remains an upward gradient meaning that groundwater still discharges to the creek, however, the volume of discharge to the creek is diminishing over time. That said, the surface water measurements in Aberfoyle Creek at the same location do not suggest decreasing levels in the creek.

There is no other downward trend in water levels for on-site monitors either in the bedrock aquifer or the overburden. Thus it is difficult to find fault with the water taking at Meadows of Aberfoyle with respect to this low water level.

The Meadows of Aberfoyle consultant is aware of the issue and I expect him to respond if the water levels continue to fall.

Stan Denhoed, M.Sc. P.Eng.
Senior Hydrogeologist
Harden Environmental Services Ltd.
Phone (519) 826 0099
Cell (519) 994-6488
Toll Free 1-877-336-4633
Fax (519) 826-9099
Website: www.hardenv.com



PLANNING AND DEVELOPMENT DEPARTMENT
GARY A. COUSINS, M.C.I.P., DIRECTOR
T 519.837.2600
T 1.800.663.0750
F 519.823.1694

COUNTY OF WELLINGTON

ADMINISTRATION CENTRE
74 WOOLWICH STREET
GUELPH ON N1H 3T9

6.6(a)

October 6, 2015

Mike Givens, CAO, Wellington North
Bill White, CAO/Clerk, Town of Minto
Brad McRoberts, Acting CAO, Mapleton Township
Andy Goldie, CAO, Centre Wellington Township
Meghan Reid, Acting CAO, Guelph/Eramosa Township
Kathryn Ironmonger, CAO/Town Manager, Town of Erin
Karen Landry, CAO/Clerk, Puslinch Township

RE: ***Request for Comment***
Draft Official Plan Amendment to Update Community Improvement Policies

At its last meeting, Wellington County Council supported amending the County Official Plan to update community improvement policies and to authorize the County to be financially involved in supporting community improvement plan initiatives.

Please find attached a draft amendment to the County Official Plan to update the Community Improvement policies. We wanted to provide an opportunity for you to review and let us know if you have any comments before we hold a public meeting.

If you can provide any feedback you may have by the end of October, we would appreciate it.

Yours truly,

Gary Cousins, MCIP RPP
Director of Planning and Development

RECEIVED

OCT 09 2015

Township of Puslinch

CLERK'S DEPARTMENT	
TO	RP
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Please Handle	
For Your Information	✓
Council Agenda	Oct 21/15
File	

COUNTY OFFICIAL PLAN AMENDMENT COMMUNITY IMPROVEMENT POLICIES

Pre-circulation Draft for Local Comment

October 6, 2015

PART A - THE PREAMBLE

PURPOSE

The purpose of the amendment is to update the County Official Plan policies on Community Improvement.

LOCATION

The amendment applies to the entire County of Wellington.

BACKGROUND

Currently, the County Official Plan has policies on Community Improvement that:

- Set out objectives;
- Provide criteria to be considered in establishing community improvement areas;
- Have the effect of requiring amendments to the Official Plan for new, or major changes to, community improvement areas; and
- Identify ways to implement a community improvement plan.

BASIS

The current policies reflect the provisions of the *Planning Act* that were available in the 1990s. There have been a number of changes to the *Planning Act*, including provisions that enable the County to make grants or loans to local municipalities to assist in the implementation of Community Improvement Plans; and broadening the matters that may be considered in identifying community improvement project areas to include remediation of brownfields, improving the energy efficiency of buildings, and providing affordable housing. Accordingly, the Official Plan policies should be updated.

The County Official Plan also shows those Community Improvement Areas that were identified in the previous local Official Plans (shown in Appendix 'A'). There is no requirement in the *Planning Act* for community improvement project areas to be shown in the Official Plan, or for their boundaries to conform with the Official Plan. On this basis, the Community Improvement Area boundaries are to be removed through this amendment.

IMPLEMENTATION AND INTERPRETATION

The implementation and interpretation of this Amendment shall be in accordance with the relevant policies of the County of Wellington Official Plan.

PART B - THE AMENDMENT

All of this part of the document entitled **Part B - The Amendment**, consisting of the following text constitutes Amendment No._____ to the County of Wellington Official Plan.

DETAILS OF THE AMENDMENT

The Official Plan of the County of Wellington is hereby amended as follows:

1. THAT **Schedule 'A'** be amended by removing the Community Improvement Area boundaries.
2. THAT Section 4.12 be deleted in its entirety and replaced with the following:

"4.12 COMMUNITY IMPROVEMENT

4.12.1 Introduction

The Community Improvement provisions of the Planning Act provide for and co-ordinate comprehensive improvements in identified areas of a community. Community improvement policies are intended to provide a planning mechanism for improvements, access to cost sharing programs and encouragement for private investment.

Under the Planning Act, local councils may by by-law, designate "Community Improvement Project Areas" within which a local municipality may acquire land, prepare Community Improvement Plans and undertake various community improvement initiatives and works to implement those plans, including the provision of grants and loans to private landowners.

4.12.2 Objectives

Community Improvement Policies are intended to accomplish the following objectives:

- a) promote the long term stability and viability of identified Community Improvement Project Areas by reducing land use conflicts and upgrading municipal services;
- b) encourage coordinated municipal expenditures, planning and development activities within identified Community Improvement Project Areas;
- c) stimulate the maintenance and renewal of private property; and
- d) enhance the visual quality of the community
- e) foster local economic growth.

4.12.3 Identifying Areas

Councils shall consider the following criteria in the designation of Community Improvement Project Areas:

- a) a significant portion of the housing stock and other buildings are in need of maintenance, rehabilitation or redevelopment;
- b) municipal services including sanitary sewer, storm sewer, water supply systems, roads, sidewalks, curbs, gutters, street lighting or parking facilities are inadequate and in need of repair;

- c) the supply of public open space or recreation facilities is deficient;
- d) there are conflicting land uses in the area;
- e) within commercial areas, deterioration in the appearance of building facades, inadequate parking facilities or inadequate pedestrian access;
- f) a significant portion of the buildings are considered heritage resources;
- g) there is a need to remediate of brownfields, improve the energy efficiency of buildings, or provide affordable housing; or
- h) there are other environmental, social or community development reasons that have been identified by a Council.

On the basis of the criteria above, a local Council may, by by-law designate 'Community Improvement Project Areas', the boundaries of which may be the entire municipality or part of the municipality. These areas will be eligible for 'Community Improvement' as defined by the *Planning Act*.

4.12.4 Implementation

In order to accomplish the community improvement objectives set out in the Plan, a local Council may:

- a) Prepare, adopt and implement a Community Improvement Plan(s) within a designated Community Improvement Project Area(s), pursuant to the *Planning Act* and the community improvement policies set out in this Plan;
- b) Provide public funds such as grants, loans and other financial instruments;
- c) take advantage of federal, provincial or County funding programs which would benefit the community;
- d) prepare and adopt a property standards by-law;
- e) co-operate with groups and organizations whose objectives include community improvement;
- f) undertake other municipal actions, programs or investments for the purpose of achieving the community improvement objectives identified in Section 4.12.2.

4.12.5 County Participation

County Council may participate in a municipality's Community Improvement Plan, and may make grants and loans to the Council of a lower tier municipality for the purpose of carrying out a Community Improvement Plan that has come into effect, on such terms as to security and otherwise as County Council considers appropriate."

TOWNSHIP OF PUSLINCH: 12-10-15

HOW DO WE GET THE SPEED
LIMIT ON WATSON ROAD; SOUTH
OF 401 TO LESLIE ROAD
REDUCED TO 60 KLM?

WHEN WE MOVED HERE IN 1989
IT WAS A GRAVEL ROAD WITH
A YIELD SIGN AT THE CORNER
OF LESLIE AND PUSLINCH CONC.10
SPEED WAS NOT AN ISSUE.

NOW THERE ARE 8 LANEWAYS
IN THIS 1 KM. STRETCH WITH
TWO HILLS WHICH CREATE
REDUCED VISIBILITY

OCT 13 2015

TRAFFIC ON WATSON NORTH
OF 401 HAVE A FLAT
STRETCH WITH LONG RANGE
VISIBILITY, BUT WHEN THEY
COME OVER THE 401 THEY
CONTINUE TO GO 90-100 KLM.
IN AN 80 KLM. ZONE. I AM
WILLING TO CANVAS THIS ROAD
IF THAT IS WHAT IS REQUIRED.
WE NEED TO RE-DUCE THE
SPEED BEFORE ACCIDENTS
HAPPEN.

THANKS IN ADVANCE
Bill Dennis BILL DENNIS
WATSON RD.S.



Modern Thinking. Timeless Values.™

6783 Wellington Road 34, RR 22
Cambridge ON N3C 2V4
T: 519.658.6656
TF: 877.88.REIDS
F: 519.654.9746

September 24th, 2015

Honourable Members of Township Council

Township of Puslinch
7404 Wellington Rd 34, Guelph ON
N1H 6H9

I.G.# 1

Dear Honourable Members of Township Council,

Last month, with your approval and generosity, the Township of Puslinch donated 4 lines of marquee signage space at the Puslinch Community Centre in order to allow our team to promote a charitable event to the general public one-week prior to the event.

Thanks to your support, along with the donations and support of those in our community, our event was a tremendous success! On Saturday, September 19th, 2015, the Charity Home Décor Sale in support of the **Caring for Little Kidneys Campaign for MacKids** saw approximately 400 guests visit our head office at Reid's Heritage Homes to shop for quality home furnishings, taste delicious food and support a worthy cause. We are pleased to tell you the five-hour charity sale raised \$22, 843.85 for the campaign!

It is through community support and donations such as the use of the marquee sign that allow for all proceeds raised through an event to go directly to the cause – in this case, working toward a goal of \$650,000 to build a new Nephrology (kidneys and dialysis) Clinic at McMaster Children's Hospital, serving children who reside in our community.

The Charity Home Décor Sale marks the second of several events our team has planned for the upcoming calendar year. With construction for the new clinic due to begin in fall 2016, our team is now focusing on a big, exciting family event to occur this spring, with details yet to be released!

If you are interested in further information on the Caring for Little Kidneys Campaign, or why this cause is dear to our family's hearts, please visit our website at: www.hamiltonhealth.ca/caringforlittlekidneys or on Facebook at: [on.fb.me/1HVBg0](https://www.facebook.com/1HVBg0).

Thank you again very much for the Township's generosity and kindness!

Yours truly,

Tim and Charlotte Blevins

RECEIVED

SEP 30 2015

Township of Puslinch

CLERK'S DEPARTMENT	
TO	
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Please Handle	
For Your Information	
Council Agenda	<input checked="" type="checkbox"/>
File	

GRCA Current



2015 • Volume 20 Number 9

GRCA General Membership

Chair Jane Mitchell

Vice-Chair Vic Prendergast

Townships of Amaranth, East Garafraxa, Melancthon and Southgate and Town of Grand Valley
Guy Gardhouse

Townships of Mapleton and Wellington North Pat Salter

Township of Centre Wellington
Kelly Linton

Town of Erin, Townships of Guelph/Eramosa and Puslinch
Chris White

City of Guelph
Bob Bell, Mike Salisbury

Region of Waterloo
Les Armstrong, Sue Foxton,
Helen Jowett, Geoff Lorentz,
Jane Mitchell, Joe Nowak,
Wayne Roth, Sandy Shantz,
Warren Stauch

Municipality of North Perth and Township of Perth East
George Wicke

Halton Region Cindy Lunau

City of Hamilton George Stajanovic

Oxford County Bruce Banbury

County of Brant
Brian Coleman, Shirley Simons

City of Brantford
Dave Neumann, Vic Prendergast

Haldimand and Norfolk Counties
Bernie Corbett, Fred Morison



www.grandriver.ca

Wastewater optimization improves water quality

More wastewater plants within the Grand River watershed are finding ways to make the best of what they have in order to improve water quality.

The wastewater optimization program began in 2010 and has now been extended to all municipal wastewater treatment plants across the watershed. The program brings wastewater operators together for meetings, workshops and hands-on training.

Participants share their experience to make improvements not only at their wastewater plants, but also at other operators. The program taps the full potential of existing wastewater infrastructure and promotes excellence in infrastructure management.

Like the GRCA's Rural Water Quality Program, it is a voluntary program, which is open to all municipal operators.

Annual watershed-wide wastewater reports are providing data that is another key ingredient to making improvements. Reports for 2012 and 2013 are complete, and the one for 2014 is underway.

Warm dry September

September was both drier and warmer than normal.

Only one-quarter of the monthly rain fell at Shand Dam, which received the lowest rainfall during the month.

The average temperature for the month was five degrees above the long-term average of 14 degrees. The warm dry weather is likely due to El Niño, a warm water stream in the Pacific that could bring a warm, dry winter to the Grand River watershed and Ontario.

Water levels in the large reservoirs were within or slightly above normal at the end of September, but less water has been flowing into the reservoirs due to dry conditions.

On average, about 70 per cent of the river flowing through Kitchener is from the reservoirs, while reservoir water accounts for 40 per cent of

the flow at Brantford and 50 per cent of the flow below Guelph.

The Level 2 Low Water Response issued Sept. 2 continues to be in effect for water users in the Whitemans Creek sub-watershed in Brant and Oxford counties.

Herbicide used at Snyder's Flats

Portions of the Snyder's Flats Conservation Area near Bloomingdale were closed to the public Sept. 14 to 18 while herbicide was used to control a limited area of Phragmites, a very invasive plant.

Phragmites came to North America from Eurasia and it spreads quickly. It out-competes native species for water and nutrients and releases toxins from its roots into the soil that hinder the growth of surrounding plants. Phragmites reduces the habitat available to wetland wildlife birds, amphibians and reptiles.

A licensed applicator applied glyphosate, also known as Roundup, which was applied by hand to individual plants. This practice has been adopted by conservation organizations as a safe and effective way to remove invasive species.

Phragmites control plan developed for Taquanyah

The natural heritage department is developing a management plan for Phragmites at Taquanyah Conservation Area.

Nearly \$6,000 was provided for this plan by the province through the Species at Risk Stewardship Fund. The funding has allowed mapping of Phragmites to determine the location and development of a plan to bring it under control at this location. The mapping shows that 21 per cent of the 65-hectare property is covered with Phragmites.

While Phragmites is a problem throughout the province, it is a special concern at Taquanyah — one of only two locations in Ontario where an endangered plant, Virginia mallow, grows. Controlling the Phragmites is an essential step in

Grand River Conservation Authority

ensuring that the Virginia mallow will continue to thrive throughout the riparian habitat at Taquanyah.

Virginia mallow is a perennial that can grow up to three metres tall. It has clusters of white flowers that bloom in late summer.

Once the Phragmites plan is complete, the next step will be to find funding to implement the plan and bring the Phragmites under control.

New Nolan Melchin Outdoor Classroom

On Saturday, Oct. 3, the Nolan Melchin Memorial Outdoor Classroom at Laurel Creek Nature Centre in Waterloo will officially open.

The 11 a.m. ceremony will celebrate Nolan's life and will include an interactive animal show, bug hunt, frog slosh, dragonfly count, face painting and crafts at the new discovery tables.

Nolan Melchin passed away on March 28, 2013, following a courageous battle with an aggressive brain tumour. Since his passing, Nolan's family and friends have raised \$30,000 for this outdoor classroom.

Reduced river flows downstream of Shand Dam

The GRCA had to reduce flows downstream of Shand Dam to approximately three cubic metres per second (m³/s) for a few days toward the end of September.

The flow was reduced while Bissell Dam in Elora was being repaired, but flows were brought back up by Sept. 25. By this time, the repairs were completed and flows returned to normal for the tail end of the trout season.

Flows were also reduced in this section of river during the week after Labour Day in order to facilitate a fisheries enhancement project being completed by the Ministry of Natural Resources and Forestry upstream of West Montrose.

New chair for source protection

Wendy Wright-Cascaden has been appointed as the acting chair of the Lake Erie



Phragmites, also called European common reed, is a very tall invasive reed. The GRCA is taking steps to bring it under control at Taquanyah and Snyder's Flats. Once you know what it looks like, you will notice it in roadside ditches throughout the watershed.

Region Source Protection Committee.

She has replaced Craig Ashbaugh, who served as chair for eight years. Wright-Cascaden is a Waterloo resident who has been a Lake Erie Region Source Protection Committee member since 2007 and was been actively involved in the development of the plans.

She chaired the Municipal Working Group responsible for drafting the policies, some public consultation meetings and, more recently, the Implementation Working Group. She is a retired professional planner with over 35 years municipal experience.

Short-term trail closings in Drayton and Brantford

Rehabilitation of a 500-metre section of a channel on the Conestogo River in Drayton began the week of September 21 and will be completed by mid to late October.

During construction, the section of the trail that runs along the Conestogo River from Main Street to Mill Street is closed to the public. Barriers have been placed at both ends of the trail.

Repair to a 200-metre section of concrete slabs protecting the Brantford Dyke, just downstream of the Veterans Memorial Bridge, is set to begin the week of Oct. 5 and will be completed in late November. During construction, the section of the Trans Canada Trail that runs along the top of the dyke will be closed to the public and parking will be restricted at the entrance.

Order trees now

Landowners can order trees to be planted in the spring 2016 starting Oct. 2.

Trees to be planted by the GRCA must be ordered before Dec. 1, and those to be planted by landowners can be ordered before March 1, 2016.

To order trees and find out the details visit <https://www.grandriver.ca/TreeOrders>.

This issue of *GRCA Current* was published in October 2015.

It is a summary of the September 2015 business conducted by the Grand River Conservation Authority board and committees as well as other noteworthy happenings and topics of interest.

The Grand River Conservation Authority welcomes distribution, photocopying and forwarding of *GRCA Current*.

Next board meeting:

Oct. 23 at 9:30 a.m.,
GRCA Administration Centre.

Subscribe to GRCA Current:

GRCAcurrent-subscribe@grandriver.ca

View meeting reports:

www.grandriver.ca/MeetingReports

View coming events:

www.grandriver.ca/Calendar

Grand Actions newsletter:

www.grandriver.ca/GrandActions

Donna Tremblay

From: MTCS Correspondence (MTCS) <MtrMcCo@ontario.ca>
Sent: October-02-15 4:21 PM
To: Admin
Subject: Join our Culture Talks – your ideas will help shape Ontario's first culture strategy |
Participez à nos échanges sur la plateforme Parlons culture

October 2, 2015

Dear Municipal Partners,

The Ministry of Tourism, Culture and Sport is holding public consultations this fall to develop Ontario's first Culture Strategy. The strategy will set out a vision for culture in the province and guide government support to the sector in the years to come.

Culture shapes and profoundly enriches our lives and communities. Ontario's world-class arts and cultural institutions, museums, heritage sites, festivals, and events infuse our communities with vitality, and bring economic benefits and tourism dollars.

Culture is a major contributor to economic prosperity and job creation. In 2010, culture contributed about \$22 billion, or nearly four per cent, to Ontario's GDP, supporting about 280,000 jobs.

Through the consultations, we will identify what individuals and communities value about culture; and we will solicit ideas on how we can strengthen and grow the culture sector so that it continues to contribute to our social and economic wellbeing. Our key priorities include ensuring that Ontario's culture programs reflect the province's diverse populations and communities, inspiring more youth to participate, and maximizing the benefits of arts and culture to individuals and communities.

Ontario's municipalities are key partners in supporting arts and culture and your views are important to us. Public consultations will run until Monday, December 7, and include a series of town halls across the province, a digital platform, Culture Talks, and a discussion paper inviting written submissions. All the details are available on our website at: www.ontario.ca/culturetalks.

In addition to joining the conversation yourself, I invite you to share this information with your constituents.

Sincerely,

Michael Coteau
Minister

Le 02 octobre 2015

Mesdames, Messieurs,



Le ministère du Tourisme, de la Culture et du Sport tiendra des consultations publiques cet automne en vue d'élaborer la première stratégie ontarienne pour la culture. Cette stratégie établira une vision en matière de culture pour la province et orientera la manière dont le gouvernement appuiera ce secteur dans les prochaines années.

La culture façonne et enrichit profondément nos vies et nos communautés. Les institutions, musées, lieux patrimoniaux, festivals et événements artistiques et culturels de l'Ontario, de renommée internationale, insufflent de la vitalité à nos communautés, ont des retombées économiques positives et génèrent des revenus pour l'industrie du tourisme.

La culture contribue grandement à la prospérité économique et à la création d'emplois. En 2010, la culture a représenté, pour l'économie ontarienne, environ 22 milliards de dollars – près de 4 % du PIB – et environ 280 000 emplois.

Dans le cadre des consultations, nous établirons en quoi la culture est importante pour les Ontariens et les collectivités, et nous recueillerons des suggestions quant à la façon de renforcer et de faire croître le secteur de la culture afin qu'il continue à contribuer à notre bien-être social et économique. Nos principales priorités sont de veiller à ce que les programmes culturels de l'Ontario tiennent compte des populations et des collectivités diversifiées de la province, incitent plus de jeunes à participer à des activités culturelles et maximisent les effets positifs des activités artistiques et culturelles sur les individus et les collectivités.

Les municipalités de l'Ontario sont des partenaires clés pour ce qui est de soutenir le secteur des arts et de la culture, et leurs points de vue sont importants pour nous. Les consultations publiques se poursuivront jusqu'au lundi 7 décembre. Elles seront réalisées au moyen d'une série de séances de discussion ouverte à l'échelle de la province, de la plateforme numérique « Parlons culture » ainsi que d'un document de travail invitant les intéressés à soumettre des commentaires par écrit. Tous les détails se trouvent sur notre site Web à l'adresse suivante : www.ontario.ca/parlonsculture.

En plus de vous joindre à la conversation, je vous encourage à communiquer ces renseignements à vos commettants.

Sincères salutations,

Michael Coteau
Ministre



905.336.1158
Fax: 905.336.7014
2596 Britannia Road West
Burlington, Ontario L7P 0G3
conservationhalton.ca

Protecting the Natural
Environment from
Lake to Escarpment

September 24, 2015

Mayor Lever and Members of Council
Karen Landry, Clerk-Treasurer
Township of Puslinch
RR #3
Guelph ON N1H 6H9



Dear Mayor Lever and Members of Council:

Re: Conservation Halton 2016 Budget

Please be advised that the 2016 Budget for Conservation Halton will be presented by staff to the Conservation Halton Board of Directors on October 29, 2015 and considered for approval.

In accordance with the Conservation Authorities Act we are hereby providing you with 30 days notice with regard to our budget presentation at the full Board.

Please contact me if you have any questions or concerns regarding the Conservation Halton 2016 Budget.

Yours truly,


Ken Phillips
CAO/Secretary-Treasurer

cc Marnie Piggot, Director Financial and Administrative Services, Conservation Halton

CLERK'S DEPARTMENT	
TO	Paul/Mary
Copy	
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Council Agenda	✓
File	

RECEIVED

OCT 02 2015

Township of Puslinch

Member of Conservation Ontario

Donna Tremblay

From: Kelsey Lang [mailto:klang@get.on.ca]

Sent: October-02-15 9:33 AM

To: Mark Paoli; 'garyc@wellington.ca'; Jameson Pickard; Dan Sharina; Harry Niemi; Jackie Kay; Scott Galajda; Fred Natolochny; Jason Wagler; John Osborne; donnab@wellington.ca; Linda Dickson; MWittermund@guelphhydro.com; Union Gas (ONTUGLLandsINQ@uniongas.com); Morrisey, John (MTO); Raymond Beshro; adam.snow@gotransit.com; Bell Canada (rowcentre@bell.ca); Executivevp.lawanddevelopment@opg.com; Emily Bumbaco; aaazouz@csdccc.edu.on.ca; tmclennan@wellingtoncdsb.ca; fournierf@csviamonde.ca; Tony.Sabatini@guelph.ca; Richard Renaud; dina.lundy@erin.ca; clerks@guelph.ca; planning@guelph.ca; Susan Jones (suzannej@haltonhills.ca); shelly.partridge@halton.ca; angela.janzen@milton.ca; Karen Landry; Kelly Patzer; nthompson@woolwich.ca; clerks@cambridge.ca; planning@cambridge.ca; Brett Salmon

Subject: Notice of GET Open House for Comprehensive Zoning By-law Review

Hello,

The Township of Guelph/Eramosa is reviewing its Zoning By-law 57/1999. You have been included on this list because your agency/department is circulated on Township Planning applications. The draft Zoning By-law will be formally circulated for comment in the late fall, but in the interim please see the attached notice of open houses; more information can also be found at: <http://get.on.ca/zoningreview>

As professionals who work with our Zoning By-law, we welcome your comments.

Best,

Kelsey Lang

Planning Associate



Township of Guelph/Eramosa
8348 Wellington Rd 124, PO Box 700
Rockwood, ON, N0B 2K0
Email: klang@get.on.ca
Direct: 519-856-9596 ext. 138 Toll Free: 1-800-267-1465 Fax: 519-856-2240
Web: www.get.on.ca



**The Township is reviewing its Zoning By-law and wants to hear your thoughts!
Now is the best time to provide your ideas about the land use rules in our
community. Find out more at: <http://www.get.on.ca/zoningreview>**

From: Robyn Mulder [<mailto:robym@wellington.ca>]

Sent: October-06-15 3:21 PM

To: Belinda Wick; Dale Small; Crystal Ellis; 'Pat Rutter'; bob.cheetham@erin.ca; Kelly Patzer; Kim Wingrove

Cc: Jana Burns; Mandy Jones; Heather Vasey; Christina Mann

Subject: Live and Work Wellington Bus Tours

Hello Everyone,

Please find attached a poster for the Live and Work Wellington Bus Tours. There will be two tours this year, one with an Agricultural focus on October 29th and the other with a Healthcare focus on November 19th. If you could please distribute the poster to pertinent contacts within your municipality. We will be focussing our advertising efforts on the GTA as well as regionally and locally with the emphasis on attracting new talent into Wellington County and providing insight and job opportunities for new graduates. Of course all persons looking for work are welcome to participate!!

Below are a couple of sentences describing the Live and Work Wellington bus tours.

Live and Work Wellington County is a FREE bus tour of Wellington County companies that are currently hiring for new positions. Job seekers will have the opportunity to ask employers questions, hand in resume's and learn about working and living in Wellington County.

Companies have been asked if they would open their doors to job seekers and host a public tour and or allow the general public to view operations. We not only want to entice potential employees to come and work in Wellington County, but also to live here and experience the rich and diverse communities we call home.

This is an immensely important initiative and a great opportunity for County businesses to gain exposure in the job market and for job seekers to potentially connect with a future employer.

If you would like any further information or clarification on any points please let me know.

Kind Regards,

Robyn Mulder

Global Talent Initiative Coordinator

County of Wellington

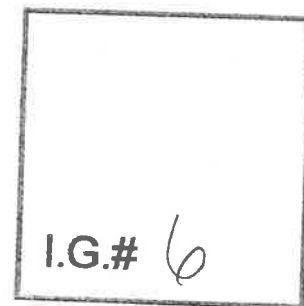
Administration Centre

74 Woolwich Street

Guelph, ON N1H 3T9

Tel: (519) 837.2600 ext. 2610

www.wellington.ca/business



LIVE and WORK WELLINGTON

Discover Job Opportunities in Wellington County

If you're looking for work, join us for two **FREE** bus tours of Wellington County employers in the Agricultural and Health Care sectors. Find out who is hiring, ask questions, hand in your resumé and learn about living and working in Wellington County.

FREE BUS TOURS

October 29 and November 19
8:30 am to 3:00 pm



BUS TOUR #1 (Agri Business)

- October 29

Wallenstein Feed and Supply Ltd.,

Wallenstein

Spectrum Feed Services Ltd.,

Moorefield

Canarm AgSystems,

Arthur

BUS TOUR #2 (Health Care)

- November 19

Louise Marshall Hospital,

Mount Forest

**Caressant Care Nursing and Retirement
Homes Ltd.,** Harriston

Groves Memorial Community Hospital,
Fergus

ADVANCE REGISTRATION REQUIRED.

Please contact Robyn Mulder

T 519.837.3600 x 2610 **E** robynm@wellington.ca

For each tour, please meet at the Canadian Tire parking lot on Woodlawn Road, Guelph,
beginning at 8:30 am.

A lunch stop is planned each tour at Mapleton's Organic Dairy.
Self-guided farm tour optional.

PRESENTED BY



IN PARTNERSHIP WITH



**Workforce Planning Board
of Waterloo Wellington Dufferin**

Local Immigration Partnership
Creating a caring, equitable community - here & beyond the border





Wellington County Municipal Economic Development Group

Minutes
WWCFDC Boardroom,
July 7th, 2015
9:30 a.m.

Present:

John Brennan (Town of Erin), Bob Cheetham (Erin Economic Development Co-ordinator), Crystal Ellis (Mapleton Township), Mandy Jones (County of Wellington), Fred Lehmann (Senior Communications Officer, County of Wellington), Robyn Mulder (County of Wellington), Kelly Patzer (Township of Puslinch), Jana Reichert (County of Wellington), Patricia Rutter (Economic Development Officer, Centre Wellington), Jane Shaw (WWCFDC), Dale Small (Township of Wellington North), Steve Smith (MEDEI/MRI), Christine Veit (Safe Communities), Belinda Wick-Graham (Town of Minto), Scott Wilson (County of Wellington), Kim Wingrove (CAO, Township of Guelph/Eramosa)

Regrets:

Rose Austin (Saugeen Economic Development), Brad Dixon (GRCA), Alex Goss (LIP), Mark Granger (Ontario Works Employment Specialist), Janet Harrop (WFA), Gerry Horst (OMAF), April Marshall (Township of Wellington North), Carol Simpson (WFPB), Scott Williams (GWBEC)

1. Approval of Agenda

Motion to approve agenda as written.

Moved by Robyn Mulder, seconded by Kim Wingrove

Carried

2. Declaration of Pecuniary Interest

None declared.

3. Approval of Minutes

Motion to approve the minutes as written from the meeting held June 2nd, 2015.

Moved by Dale Small, seconded by Bob Cheetham

Carried

4. Job Portal:

Live & Work job portal in Centre Wellington, Erin, Minto and Wellington North is up and running. Municipalities currently using the portal are pleased with the project to date and would like to see some promotion for the portal. Employers are also pleased with the new



portal and are looking forward to partnering with others on the project. Puslinch will not be participating at this time due to costs and the fact that they are located close to the cities of Guelph & Cambridge.

5. Wellington Signage Update:

A Press Release will be sent out to inform the community and receive input at the upcoming Focus Group Sessions to be held:

July 22nd, 9:30am – 11:30am (Harriston Library) and 1pm – 3pm (Stone Gable, Fergus)

August 5th, 9:00am – 11:30am (Centre 2000, Erin) and 1pm – 3pm (Puslinch Community Centre, Aberfoyle).

All Focus Groups are open to the public and the survey, which can be found at www.wellington.ca/signage, will close at the end of July. Jana will forward the banner electronically to assist with promoting to the Group members.

6. IPM 2015:

Communication material from each municipality is needed to be distributed at the upcoming IPM which will be held the 3rd week of September in Finch.

7. Municipal Assistance:

StreetCast will present at the September 17th meeting in the Aboyne Hall with elected officials. The entrepreneurs from Centre Wellington have created an app which will attract tourists and other traffic to local downtown cores through specials and events being promoted by area businesses. The app will roll out at this year's Riverfest being held in August. More information and a video explaining how the app works will be forwarded to the Group members.

8. Credit Review 2015:

The County will present to Standard & Poor in July. Questions will be asked to members of the group to determine any changes and issues employers have found over the past year. The results and information from phone call follow ups being done by Mandy will be shared with the Group.

9. BR&E 2015 Municipal Fund

Review of the new time lines was discussed and shared with the Group. Information will be needed by the end of July from Group. There are strong objectives for retail and foreign direct investments which include developing stronger relationships with business communities, supporting needs, identifying and acting on key issues, assist and attract, retain & expand foreign direct investment, understand businesses initial investments, current status and how to support and use them as ambassadors. Interviews of larger employers moving into the County will also take place with large business being recognized as 300-500 employees. The goal is to reach 160 interviews or 20 interviews per municipality.

10. Roundtable/Other Business

Centre Wellington:

- Strat plan will be presented to Council on July 20th
- CIP launched in May with 2 applications being approved
- Urban design guidelines has launched
- Currently 2 new job positions are posted for the township
 - Temporary position in the Building Department (6 months)
 - Permanent Communication Position
- New Economic Development Task Force contains 19 members

County:

- Round-about video being created for large vehicular traffic. Shooting date will be in July
- Receiving great reviews about the new Fergus Library
- Palmerston Library renovations are continuing
- Looking for property in Hillsburgh for the Library
- 55 Affordable Housing Units in Fergus will be built in the near future
- Robyn continues the Global Attraction interviews. She has completed the northern section.

OMAF:

- No Update

G/E:

- Lots of activity happening in planning department, including consolidation of lots
- Walinga, added on and will be expanding again
- Zoning bylaw review still being worked on
- Expansions happening with local agriculture

Mapleton:

- Canada Day Celebration was very successful
- Ribfest, Music Fest is July 10th & 11th
- Municipal Cultural Plan was recently approved
- Drayton Theatre celebrates 25th Festival Season this year

Minto:

- Recently \$1M was approved for the downtown project in Harriston
- Certified Sites application is in the process
- Started construction at Palmerston industrial park
- LaunchIt moving along well
- Applying for Trillium to expand services

- The PitchIt winner, Bells Edge Farm, was recently announced. Bells Edge Farms creates chicken coups with gardens on top

Medi:

- Employers with 10 or more employees and 3 plus years of business have great opportunities for grants

Erin:

- Municipal water being installed
- Hillsburgh and Erin have attracted many people with the artwork from local artists of painted horses
- The 4year action plan draft was presented. Focus groups will be held next week with the final plan presented to council in August
- Negotiations are in the works for a Cricket Stadium (37k seated area)
- Let's Get Hillsburgh Growing event happening August 15th
- Mark your calendar for Sept 26th, Business Showcase at the Agriculture Society building

Wellington North:

- Belinda was nominated for president, Crystal Vice President and Dale Secretary at Renew Wellington North Corporations first meeting, along with 9 directors. Trillium funding will assist with the first 2 years of the program. The corporation has the opportunity to expand and take on different municipalities.
- The completed Strategic Plan & Community Growth Plan will be launched in the near future
- Solar program to be launched in September for solar panels on all municipal buildings
- Fireworks to be held next weekend, July 17th and 18th.

LIP:

- No update

Puslinch:

- Starting community based strategic plan
- CIP second stakeholder meeting and public open house to be held Thursday, July 9th

WFPB:

- Operating money will be available for specific projects. This year the agriculture project has \$25k to promote what agriculture looks like in Wellington-Waterloo and the job trends. (Where can small agriculture be supported better?)

WFA:

- No update

SCDC:

- No update

Safe Communities:

- Erin & Mapleton Cops committee looking to increase members
- Wellington North will be at Fireworks Festival
- October 1st Safe Communities Day ramping up
- Poster & Video contest for Catholic students gr. 7 and up
- Looking to establish safe communities in Centre Wellington

Minutes from the WCMEDG meetings are distributed to Council, Clerks, Economic Development Representatives and other members for information purposes.

Next meeting is scheduled for September 17th at 9:30am in the Nicholas Keith Room at the Wellington County Museum.

Meeting adjourned at 11:15am

Jana Reichert, Chair

Jane Shaw, Recording Secretary

TAKE NOTICE that the Council of the Corporation of the Township of Guelph/Eramosa passed By-law No. 64/2015, on the 21st day of September, 2015, under Section 34 of the *Planning Act*, R.S.O. Chapter P. 13, as amended.

AND TAKE NOTICE that the last date for filing a notice of appeal to the Ontario Municipal Board in respect of the by-law is the **15th day of October, 2015**. A Notice of Appeal setting out the reasons for the appeal must be filed with the Clerk of the Township of Guelph/Eramosa and accompanied by the appropriate fee as required by the Ontario Municipal Board.

NOTE: Only individuals, corporations and public bodies may appeal a zoning by-law to the Ontario Municipal Board. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or the group on its behalf.

No person or public body shall be added as a party to the hearing of the appeal unless, before the by-law was passed, the person or public body made oral submissions at a public meeting or written submissions to the council or, in the opinion of the Ontario Municipal Board, there are reasonable grounds to add the person or public body as a party.

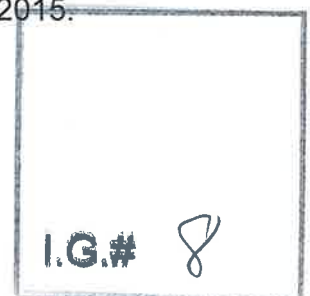
TOWNSHIP INITIATED HOUSEKEEPING AMENDMENT – The Township of Guelph/Eramosa amendment to the existing Zoning By-law 57/1999 is to refine the regulations for parking and loading. The amendment applies to all lands in the Township of Guelph/Eramosa currently subject to Zoning By-law 57/1999, therefore, a key map has not been provided. The amended parking regulations can be seen in By-law No. 64/2015 as listed in Planning Report 15/81, and an explanation of detailed changes can be seen in Planning Report 15/72. The regulations have generally remained the same, with three categories of changes:

1. Minor wording or text changes to clarify regulations and changes to ensure parking regulations match permitted uses or defined uses are proposed. For example, the term "Truck Terminal" has been replaced by the term "Transport Establishment" in the parking regulations since Truck Terminal is not a defined term or permitted use, whereas Transport Establishment is.
2. The parking requirements for some uses have changed. In the majority of cases, the requirements have been reduced to be less onerous.
3. Changes to some regulations such as parking stall size, location, driveway widths, and stacking for drive-thru's have also occurred.

The complete by-law passed as By-law 64/2015 and Planning Reports are available for inspection in the Clerk's Office located at 8348 Wellington Road 124 (at Brucedale), during regular business hours (8:30 a.m. to 4:30 p.m.).

Dated at the Township of Guelph/Eramosa, this 25th day of September, 2015.

Meaghen Reid, Clerk
Township of Guelph/Eramosa
8348 Wellington Road 124, P.O. Box 700
Rockwood, Ontario N0B 2K0
Telephone: (519) 856-9596 Ext. 107
Fax: (519) 856-2240
Email: mreid@get.on.ca



This document is available in larger font on the Township's website at www.get.on.ca. If you require an alternative format, please contact the Township Clerk.

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SEP 30 2015

Township of Puslinch

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**THE TOWNSHIP OF GUELPH/ERAMOSA
NOTICE OF PUBLIC MEETING**

The Township of Guelph/Eramosa has received an application (File No. ZBA 08/15) to amend the Township of Guelph/Eramosa Zoning By-law 57/1999. The Council of the Corporation of the Township of Guelph/Eramosa will hold a public meeting to advise the public of the application and to obtain public input prior to making a decision.

THE PUBLIC MEETING will be held on **Monday, October 19th, 2015 at 7:00 p.m.** at the Guelph/Eramosa Township Municipal Office located at 8348 Wellington Road 124, at Brucedale, to consider an amendment to the Zoning By-law of the Township of Guelph/Eramosa pursuant to Section 34 of the *Planning Act*, R.S.O., Chapter P.13, as amended.

The proposed amendment applies to the property, municipally known as 6838 Wellington Road 124, and legally known as Division B Concession 5 Part Lot 2 RP 61R9754 Part 4, former geographic area of the Township of Guelph, now in the Township of Guelph/Eramosa. The subject property is currently zoned Agricultural (A).

THE PURPOSE OF THE APPLICATION is to add a Special Provision to the Agricultural (A) zone property to permit non-agriculturally related retail sales such as ornamental landscape material and seasonal decorating merchandise.

ANY PERSON may attend the public meeting and/or make written or verbal representation in support of or in opposition to the proposed amendment. Written submissions and requests to be notified for the passing of the proposed Zoning By-law Amendment should be directed to the Township Clerk at the address shown below.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the Corporation of the Township of Guelph/Eramosa before the by-law is passed, the person or public body is not entitled to appeal the decision of the Council of the Township of Guelph/Eramosa to the Ontario Municipal Board.

If a person or public body does not make oral submissions at a public meeting, or make written submissions to the Corporation of the Township of Guelph/Eramosa before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Municipal Board unless, in the opinion of the Board, there are reasonable grounds to do so.

The above information is being collected pursuant to the Planning Act, R.S.O. 1990, CHAPTER P.13, Section 34. Information, including opinions, presentations, reports, documentation, etc., provided for or at a Public Meeting is considered public records. This information may be posted on the Township of Guelph/Eramosa website and/or made available to the public upon request. Questions about this collection should be directed to the undersigned.

ADDITIONAL INFORMATION regarding the proposed amendment is available for inspection between 8:30 a.m. and 4:30 p.m. at the Township of Guelph/Eramosa Municipal Office as of the date of this notice.

Dated at the Township of Guelph/Eramosa
this 25th day of September, 2015.

Meaghen Reid, Clerk
Township of Guelph/Eramosa
8348 Wellington Road 124, P.O. Box 700
Rockwood, Ontario N0B 2K0
Fax (519) 856-2240

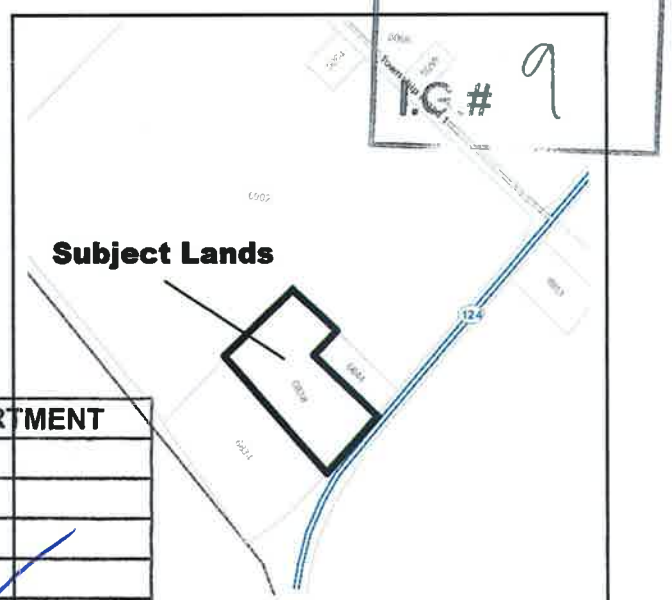
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SEP 30 2015

Township of Puslinch

LOCATION



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MUNICIPAL CLASS ENVIRONMENTAL ASSESSMENT FOR NISKA ROAD IMPROVEMENTS

Puslinch Township Council Presentation

Date October 21, 2015

STUDY CORRIDOR

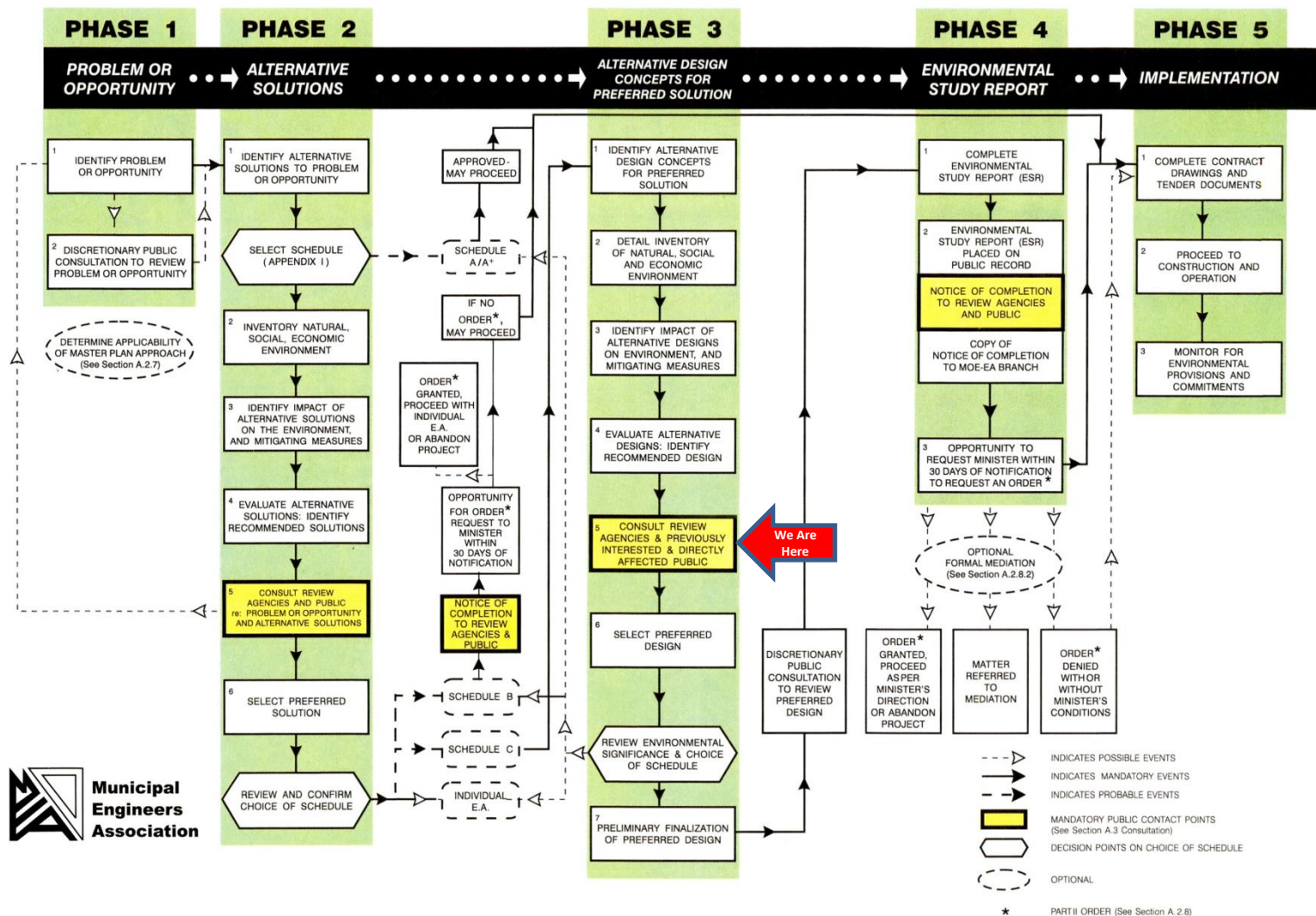


A Class Environmental Assessment Study is being conducted to determine road improvements for Niska Road from the westerly City Limits at the Speed River to the intersection at Downey Road and Niska Road.

Assessments for improvement include the Bailey Bridge over the Speed River, and the condition of Niska Road in the City of Guelph.

The current City of Guelph's Official Plan recognizes Niska Road as a two-lane collector road which collects vehicle trips from the immediate area and provides for through movement for vehicular travel to and from arterial roadways and expressways.

A secondary important function is to serve as an access and link to the Townships of Puslinch and Guelph-Eramosa.



MUNICIPAL CLASS EA PROCESS

Phase 1

- Identify Problems and Opportunities
 - Inventory natural, built, social/cultural and economic environments

Phase 2

- Identify Alternative Solutions to Address the Problems
 - Identify all reasonable alternative solutions
 - Consider environmental and technical impacts on each alternative solution
 - Identify preliminary preferred solutions
- Select a Preferred Solution to Address the Problems
 - Evaluate preliminary preferred solutions based on public input and feedback
 - Select a preferred solution to address the problems

Phase 3

- Identify Design Concepts to Implement the Preferred Solution
 - Identify all reasonable alternative design concepts to implement the preferred solution
 - Consider environmental and technical impacts on each alternative design concept
 - Identify preliminary preferred design concepts
- Select a Preferred Design Concept to Address the Problems
 - Evaluate preliminary design concepts based on public input and feedback
 - Select a preferred design concept to address the problems

We Are Here

Phase 4

- Prepare and File the Environmental Study Report (ESR)
 - Complete an ESR detailing all of the activities undertaken to date
 - Issue the ESR for a 30-day public review period
 - Address any concerns raised by the Minister of the Environment and Climate Change
 - Notify the public and agencies of completion of the ESR and of the Part II Order provision in the EA Act

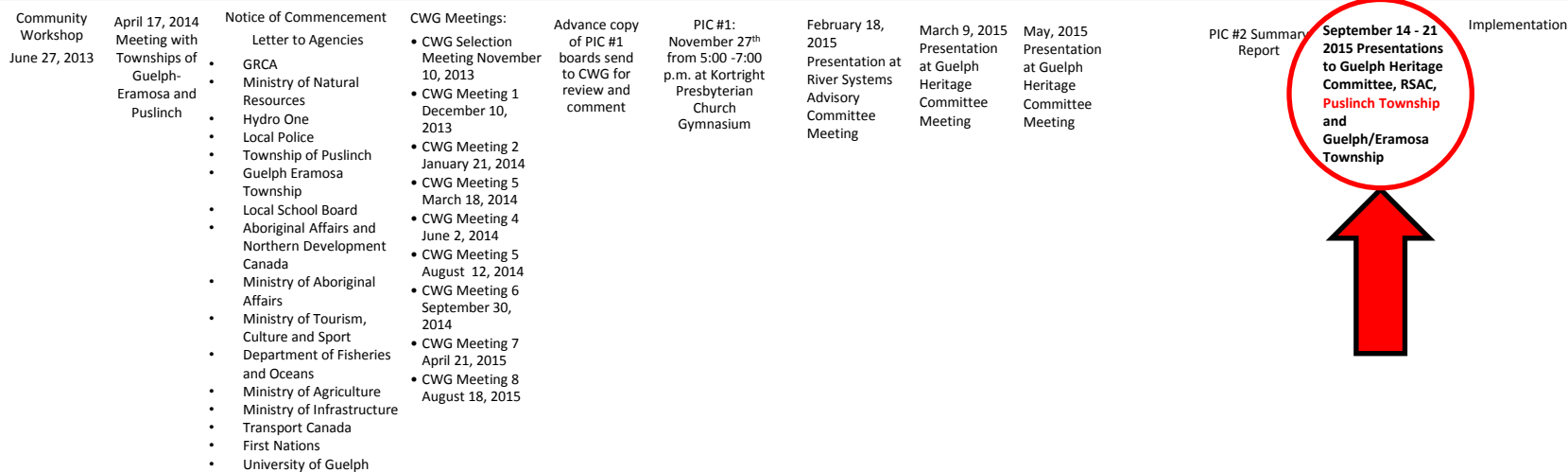
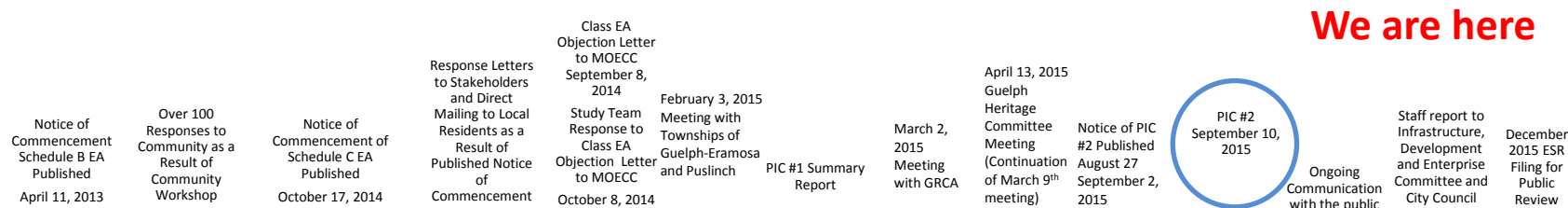
Phase 5

- Project Implementation
 - Proceed to detailed design and construction of the project
 - Monitor for environmental provisions and commitments

PROBLEM/OPPORTUNITY STATEMENT

- The current City of Guelph's Official Plan recognizes Niska Road as a two-lane collector road which collects vehicle trips from the immediate area and provides for through movement for vehicular travel to/from arterial roadways and expressways. A secondary function is to serve land access and to link the Townships of Puslinch and Guelph-Eramosa.
- Segments of the Niska Road through the study corridor are nearing the end of their useful life and the single lane Niska Road Bailey Bridge, installed in 1974 as a temporary replacement, is in very poor condition and is also nearing the end of its life expectancy.
- A solution is required to address the deterioration and increasing maintenance costs to Niska Road infrastructure. In addition to reviewing a variety of road cross-sections; impacts to the natural environment and community road safety issues; a range of bridge solutions will also be examined which includes bridge closure, bridge rehabilitation and bridge replacement.
- Completion of this Environmental Assessment is part of the process to enable the City of Guelph to address both the short-term and the long-term transportation needs for the local community and the connected overall transportation network.
- Social and economic impact, aquatic impact, natural environmental impact, archaeological assessments and heritage assessment will all be assessed as part of the Class EA study process. Community safety and road safety will also be examined. Presently, traffic volumes exceed regulatory thresholds and guidelines for a single lane bridge.
- The Local Community has identified 4 important considerations:
 1. Consider how to maintain, preserve and protect natural environment and cultural heritage, viewsapes, historic character of existing road and rural/urban interface.
 2. Consider the cultural and historical evaluation of the existing Bailey Bridge.
 3. Consider health and safety of the local community.
 4. Consider recreational opportunities.
- As an opportunity, the following bridge options shall be considered equally:
 - Consider closing the bridge (i.e. allow pedestrian and bicycle traffic only)
 - Consider rehabilitation of existing bridge
 - Consider bridge removal
 - Consider replacing existing bridge with a one lane bridge
 - Consider replacing existing bridge with a two lane bridge

STAKEHOLDER CONSULTATION TIMELINE



COMMUNITY CONCERNS

To encourage active participation and cooperation between the project team and members of the community, a 14 member Community Working Group (CWG) was established including a representative for the Grand River Conservation Authority (GRCA).

The local community through the Community Working Group and through individual correspondence made it clear their preferences were to keep the one lane bridge and/or close the road. The list of key community concerns included:

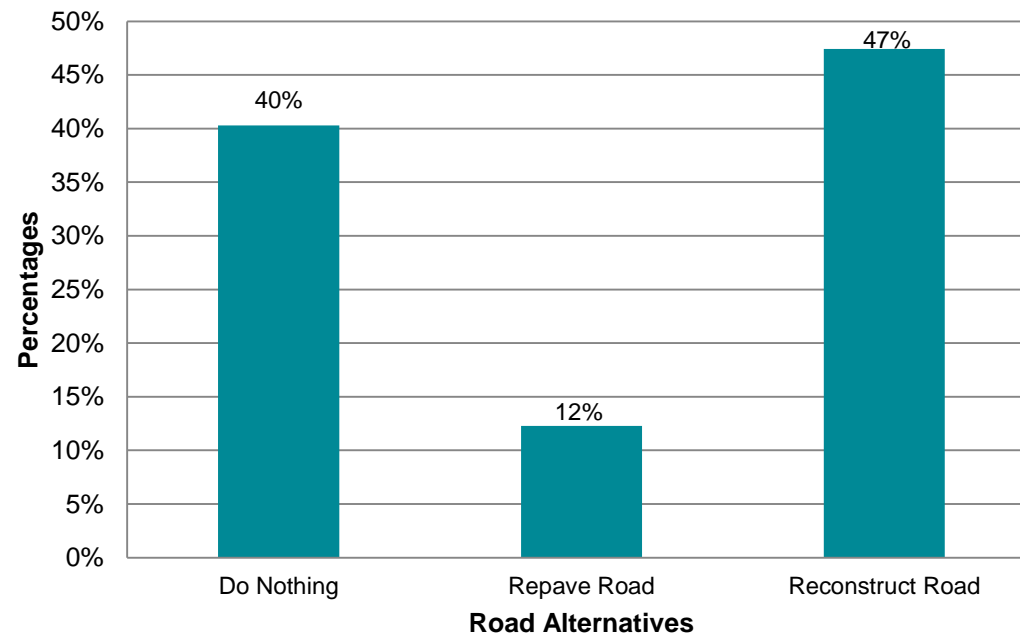
- Road safety and traffic speeds,
- Volume of truck traffic and size of trucks in the community,
- Volume of vehicular traffic,
- Traffic speed on Niska Road,
- Heritage value of bridge and streetscape,
- Preservation of corridor viewsapes,
- Protection of aquatic and terrestrial wildlife and wildlife habitat,
- Preservation of recreational use of lands (water use, trail use, greenspace, cycling),
- Implementation of traffic calming measures,
- Deer and other incidental wildlife observed onsite and is valued by residents and anglers; and,
- Future development plans for GRCA Lands.

The community expressed their opinion that the one lane Bailey Bridge also serves as a convenient traffic calming feature that helps discourage truck traffic and discourages bypass traffic. The community also wishes to keep and maintain the 41 year Bailey Bridge which helps to preserve a heritage character and ascetics of the local community.

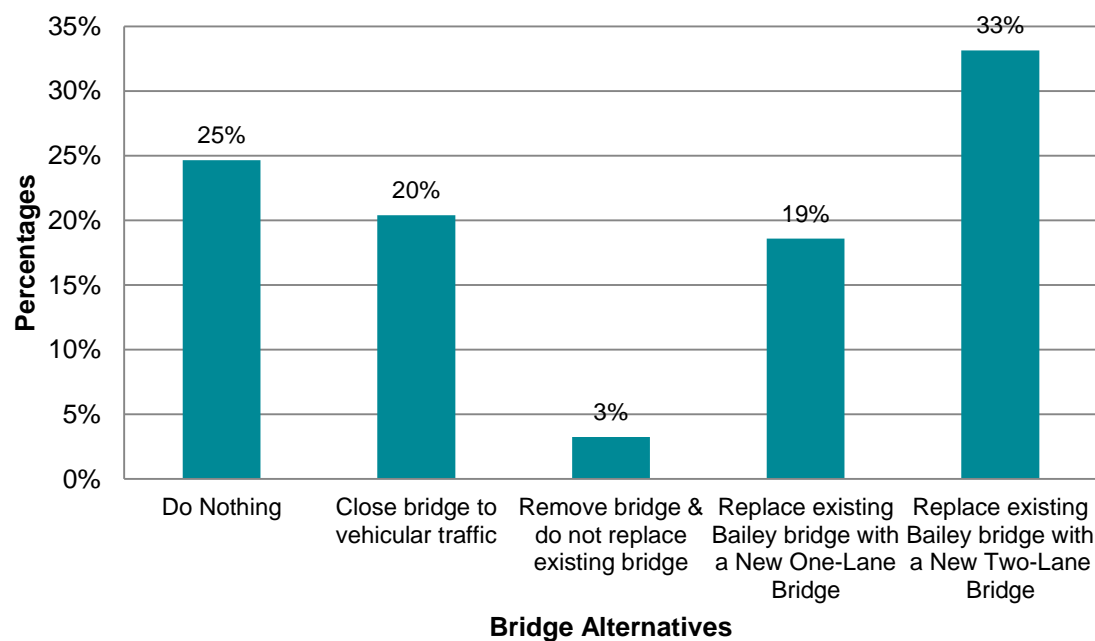
RESULTS OF PUBLIC INFORMATION CENTRE #1 – OPEN HOUSE

- Held: Thursday, November 27, 2014
- 135 People attended
- 26 written comment sheets received prior to PIC #1
- 51 written comment sheets received at PIC #1
- 110 written comment sheets received after PIC #1
- City conducted online survey – 305 responses

COMBINED STAKEHOLDER AND ON-LINE SURVEY RESULTS REGARDING ALTERNATIVE SOLUTIONS FOR ROAD



COMBINED STAKEHOLDER AND ON-LINE SURVEY RESULTS REGARDING ALTERNATIVE SOLUTIONS FOR BRIDGE



EXISTING BRIDGE CHARACTERISTICS

- The Niska Road Bailey Bridge is a single lane bridge, installed in 1974 as a 'temporary replacement bridge.'
- Currently Niska Bridge is in need of repair due to:
 - Poor structural condition
 - Water encroaching against abutments
 - Absence of pedestrian access
 - Progressive undermining of northwest retaining wall
 - Failure of northwest and northeast embankments
 - Severe corrosion on both embankments
 - Posted 5 tonne load limit
 - High estimated cost of complete repairs ranging over a \$1 Million



PREFERRED SOLUTION SELECTION

Why Replace the Bridge?

- Simply stated, the existing Bailey Bridge has reached the end of its operational life and will eventually cause an operational risk. The Bailey Bridge was not originally designed as a long term structure and it is failing.
- The abutments and bridge foundation are failing.
- Continued structural deterioration has potential to increase sedimentation into river.
- It is cost prohibitive to repair and/or maintain the bridge in its current form.

From 2013 Bridge Assessment

'Overall the structure is in very poor condition with an aggregate condition index of 22.2. The major concerns at this site are the water encroaching against abutments as a result of span opening being shorter than watercourse width (this situation may lead to unstable substructure in case of high volume water – flooding), road constriction, absence of a pedestrian access, absence of traffic barrier, progressive undermining of the northwest retaining wall, severe failure of the northwest embankment, partial failure of northeast embankment, improper signage, severe corrosion of the bearing plates, isolated severe corrosion of the bottom chords at the ends and west end verticals, partial poor condition and progressive deterioration of the bearing seats and progressive deterioration of the masonry retaining walls.'

PREFERRED SOLUTION SELECTION

2013 Bridge Condition Inspection and Assessment

In the 2013 City Bridge Assessment and Bridge Inspection report noted the following severe defects:

- The north foundation consisting of 11.5 square metres of compacted fill exhibits 20% severe erosion and requires reinstallation. The estimated remaining service life is 1 year.
- The East and West Abutments each consisting of 46 tonnes of masonry exhibits 20% to 30% severe deterioration. The estimated remaining service life is 2 years for both abutments.
- Water is encroaching against and under both abutments.
- The bridge foundation is showing considerable defects. The north foundation consisting of 11.5 square metres of compacted fill is showing severe erosion. An estimated 20% of the foundation exhibits severe erosion and requires reinstallation. The remaining service life is 1 year.
- Progressive undermining of northwest retaining wall.
- Progressive failure is ongoing of northwest and northeast embankments.
- The bridge's steel truss structure is showing severe signs of corrosion.
- The overall estimated costs for the various bridge options are:

Bridge Alternatives	Estimate
Repair Bridge and Maintain	\$1,300,000
Close Bridge to Vehicular Traffic and Maintain	\$1,000,000
Remove Bridge	\$500,000
New Single Lane Bridge	\$2,200,000
New Two Lane Bridge	\$2,500,000

PREFERRED SOLUTION SELECTION

Ontario Bridge Code Recommendations:

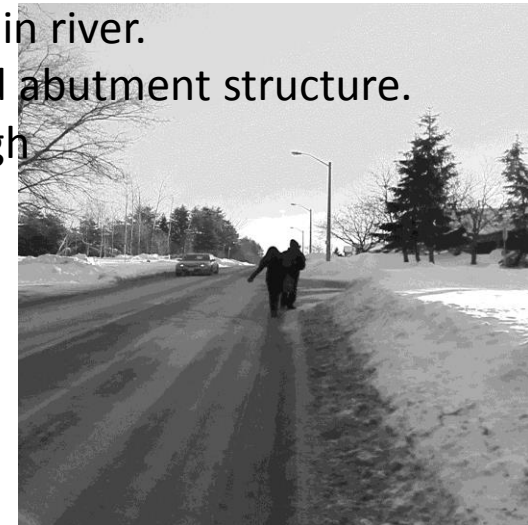
- The Bridge Code refers to the Geometric Design Standards for Ontario Highways in terms of establishing bridge cross section criteria.
- **The Geometric manual says that the number and width of lanes on a bridge should be the same as the approaches, so presumably, if the road is one lane, the bridge should be also.**
- The geometric manual says that the minimum bridge cross section should be 8.5 m for two lanes and 5.0 m for one lane, and refers to the Exceptions to the Bridge code provided Table D7-1 of the Ministry of Transportation (MTO) Structural Manual.
- The exceptions to the Bridge Code set out in the Structure Manual are for low volume roads.
- Low volume roads are those in which the traffic volumes are less than 400 vehicles per day (vpd).
- Even in this case, once you get up close to 400 vpd, the suggestion is that two lanes are required.
- The bridge code section 1.5.1 indicates and recognizes that widening of bridges later is a more costly exercise than to build wider from the start and indicates that bridges should be designed for future reasonable road widening where practical and planned.

Niska Road is a Bailey bridge, which is also considered a single load path type truss bridge. In Ontario, the Bridge Code recommended against the use single load path structures.

PREFERRED SOLUTION SELECTION

Road and Community Safety Concerns

- Current bridge not supportive of safe pedestrian or cycle crossing.
- Traffic safety an issue due to accidents. Several fatalities have occurred at the Bridge.
- Indecision of drivers crossing the bridge the root cause of many “near misses.”
- Currently the one lane bridge is not deterring traffic as much as the community would like, therefore noise, safety and general community is a continued concern for residents.
- Bridge does not allow for safe wildlife crossing.
- Over-weight trucks continue to pass over the bridge despite posted weight restriction.
- Continued deterioration of bridge may lead to sedimentation in river.
- Continued erosion of the embankment around the bridge and abutment structure.
- Bridge and road deficiencies cannot be fully addressed through repair/rehabilitation.
- Ongoing impacts will affect residents and traffic using the road and bridge, including limiting emergency services.
- Currently no sidewalks, no bike path, no formal parking and no formal access to Speed river.
- Currently no Bridge lighting.



PREFERRED SOLUTION SELECTION

Two Lane Bridge Solution Supports the Following:

- Supports Niska Road's designation as a collector road.
- Positive impacts on the road network through increased functional use by surrounding community.
- Conformity to City of Guelph Official Plan and obligations as per previous EAs.
- Compatibility with very long term surrounding land uses.
- Meets current obligation of the City's OP and other Transportation Class EA's completed within the past 5 years.
- Provides an opportunity to construct safety and recreational features as part of the bridge such as, sidewalks, traffic calming features, canoe launch, on street parking, etc.
- Hanlon Parkway Class EA identified Niska Road as a fully functioning collector road as part of the analysis and decision making process when analyzing location of ramps and traffic routing. Analysis included the anticipation of a two lane bridge. This option meets these obligations.

EXISTING ROAD CONCERNS

Why Reconstruct the Road?

The road base and surface pavement is at the end of its end of its operational life, the shoulder and storm drainage ditches are either deficient or failing and the road corridor between the bridge and Ptarmigan Drive do not support safe pedestrian access.

Niska Road is currently classified as a collector road in the City of Guelph Official Plan.

- Niska Road is currently averaging between 2200 and 2400 vehicles per day and between 110 and 120 cyclist per day.

Traffic control on Niska Road is characterized by:

- All way stop at Ptarmigan Drive and Niska Road.
- 50 km/h speed limit.
- Opportunity to introduce traffic control measures to encourage slower speeds and discourage 'short cut' traffic.

Pavement on Niska Road between the Niska Bridge and Ptarmigan Drive is approximately 6.0 to 6.5 meters wide, with a failing rural cross section. This section of road:

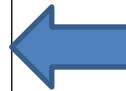
- Has severely cracked pavement throughout the road corridor and requires pavement reconstruction;
- Has eroding ditches creating sedimentation in surrounding natural environment;
- Is without sidewalks or bike path;
- Has gravel shoulders that are almost completely eroded way; and
- Has inadequate parking for access to Speed River.





















EVALUATION OF ALTERNATIVES FOR ROAD

B. Socio-Economic

- Residents
- Community and Region
- Heritage Resources
- Local Economy
- Pedestrian and Cyclist Accessibility and Safety
- Lifestyle and Culture
- Use/Access to Recreational Areas



Criteria Sections	Do Nothing/Repair and Maintain	Repave	Reconstruct Road
A: Natural Environment			
B: Social Economic/Cultural Environment *			
C: Financial Factors			
D: Technical Factors			
E: Problem Statement			
Total Average			
Recommendation	Not Carried Forward	Not Carried Forward	Preferred Solution































*** Includes consideration of community input**

Understanding the Rating System:

Least Preferred to Most Preferred



EVALUATION OF ALTERNATIVES FOR BRIDGE

Criteria Sections	Do Nothing/Repair and Maintain	Close Bridge to Vehicular Traffic and Maintain	Remove Bridge / Do Not Replace Bailey Bridge	Replace the Existing Bailey Bridge With a New One Lane Structure and Provide Operational Improvements to Niska Road	Replace the Existing Bridge With a New Two Lane Structure and Provide Operational Improvements to Niska Road
A: Natural Environment					
B: Social Economic/Cultural Environment					
C: Financial Factors					
D: Technical Factors					
E: Problem Statement					
Total Average					
Recommendation	Not Carried Forward	Not Carried Forward	Not Carried Forward	Not Carried Forward	Preferred Solution

Understanding the Rating System:

Least Preferred to Most Preferred



PREFERRED SOLUTION SELECTION

(END OF PHASE 2)

Throughout the Niska Road Environmental Assessment (EA) process, several alternative solutions were evaluated and assessed in the Study Area in a holistic manner.

Following the completion of several studies and significant consultation with interested stakeholders, the local community, a project focused Community Working Group and review Agencies, the following alternatives were selected as the preferred alternative solutions for the road, bridge and intersection components of this EA:

- **Replace the Existing One Lane Bridge with a Two lane Bridge**
- **Reconstruct the Niska Road from the Bailey Bridge to Ptarmigan Drive**
- **Reconstruct the Niska Road / Downey Road Intersection**

DEVELOPMENT OF DESIGN OPTIONS

The environmental assessment process must be conducted in a holistic manner.

As such, the following studies and plans have been completed in conjunction with reviewing the design options:

- archeological,
- built heritage,
- natural environmental,
- tree inventory,
- tree preservations plan,
- cultural heritage,
- wildlife,
- terrestrial and aquatic habitat,
- viewscape review,
- traffic assessment and vehicle counts,
- accident counts and trip destination review.

DEVELOPMENT OF DESIGN OPTIONS

(START OF PHASE 3)

Once the **'Preferred Solution'** is selected the **'Design Options'** are developed in order to implement the preferred solution. The design options being considered are as follows:

For Bridge Reconstruction

Three separate bridge types were evaluated and examined:

- Covered Steel Through Truss Bridge;
- Concrete Slab on Steel Girder Bridge; and
- Pony Truss Bridge.

For Road Reconstruction

Three separate road cross-section types were evaluated and examined:

- Urban cross-section;
- Rural cross-section; and
- Semi-Urban cross-section.

For Intersection Reconstruction

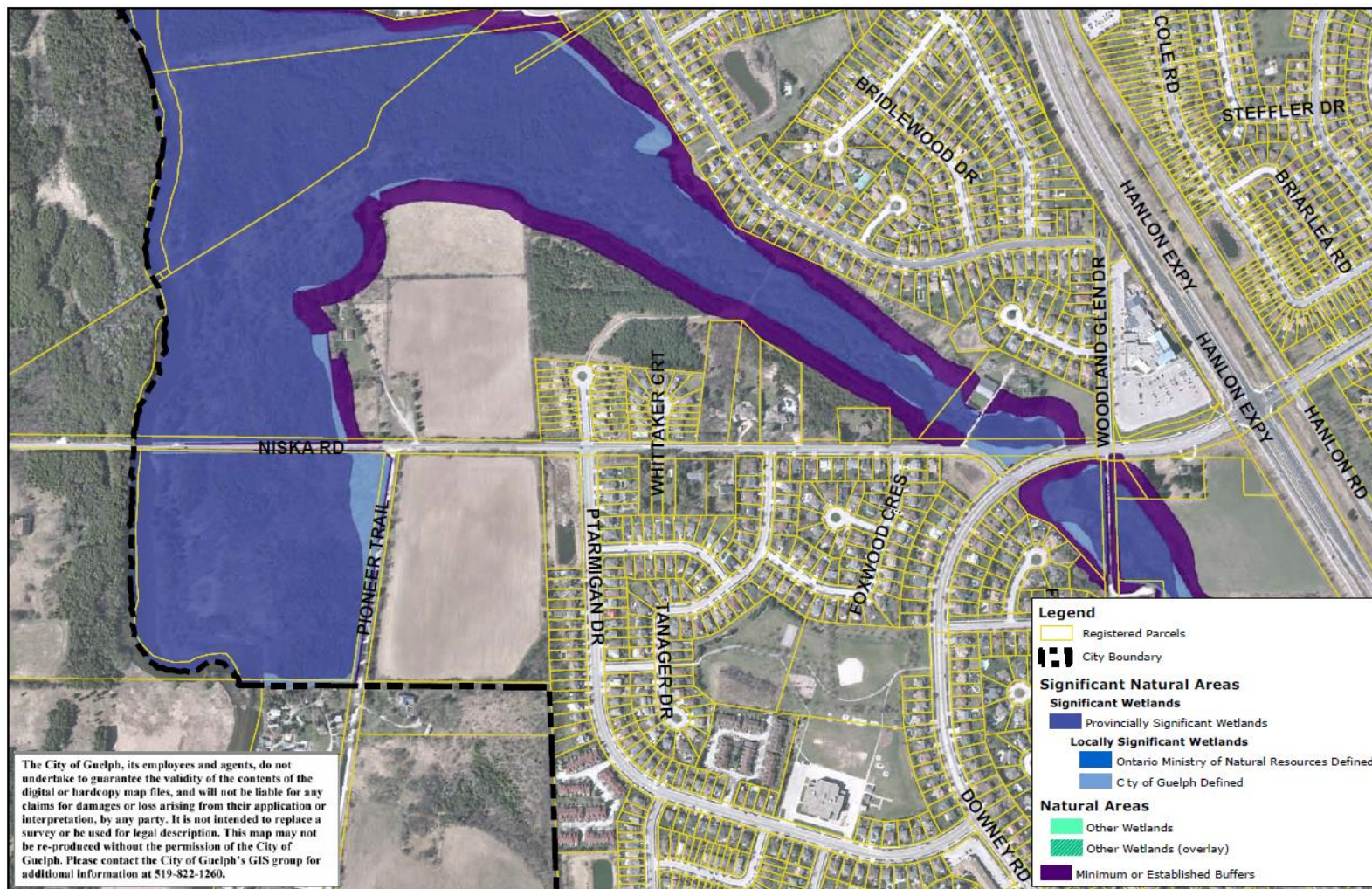
Two separate intersection types were evaluated and examined:

- Signalized Intersection
- Round-about (Turning Circle)

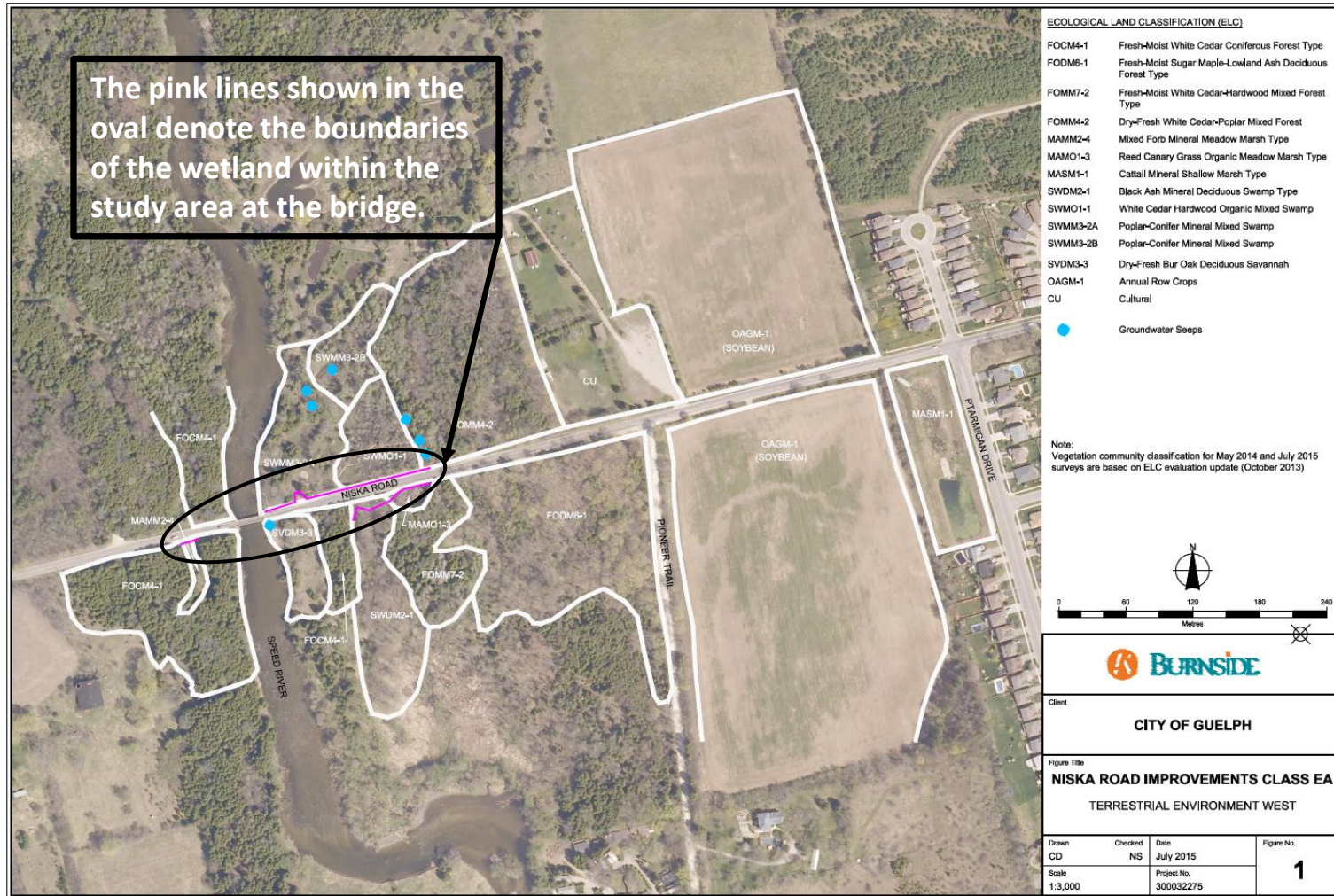
NATURAL HERITAGE SYSTEM (WETLAND DELINEATION)

- Through consultation with the Grand River Conservation Authority, it was determined that in order to accurately calculate the potential effects of the Niska Road Improvements and Bridge Replacement the wetland boundaries were marked (i.e. staked) on-site with GRCA and the Study Team.
- These boundaries were then surveyed for inclusion in the design drawings so that effects and potential impacts could be determined and quantified.
- The proposed road design cross-section was evaluated against the proximity and impacts to the wetland boundary. This evaluation assisted in guiding the selection of the preferred alternative design option.
- The wetland communities were identified and delineated on July 21, 2015 using the methodology found in the Ontario Wetland Evaluation System for Southern Ontario (OWES) which is a Ministry of Natural Resources and Forestry (MNNRF) guideline.
- Only the edges of plant species communities which meet the criteria for wetland designation (plant species distribution, soil type and texture, soil moisture and habitat features) where the wetland features had the potential to be impacted by the project activities (e.g. adjacent to the road ROW) were flagged.
- These flagged edges were then legally surveyed and mapped to provide an accurate boundary that could be used as part of the design drawings and to aid in impact analysis.

NATURAL HERITAGE SYSTEM - WETLANDS



ECOLOGICAL LAND CLASSIFICATION – WETLAND BOUNDARY



For wetland features we looked at direct loss of wetland vegetation and changes to the water balance. Wetland features currently extend out to the road right-of-way and reflect edge effects associated with road disturbance, including salt damage, deposition of sediment and non-native and invasive species growth.

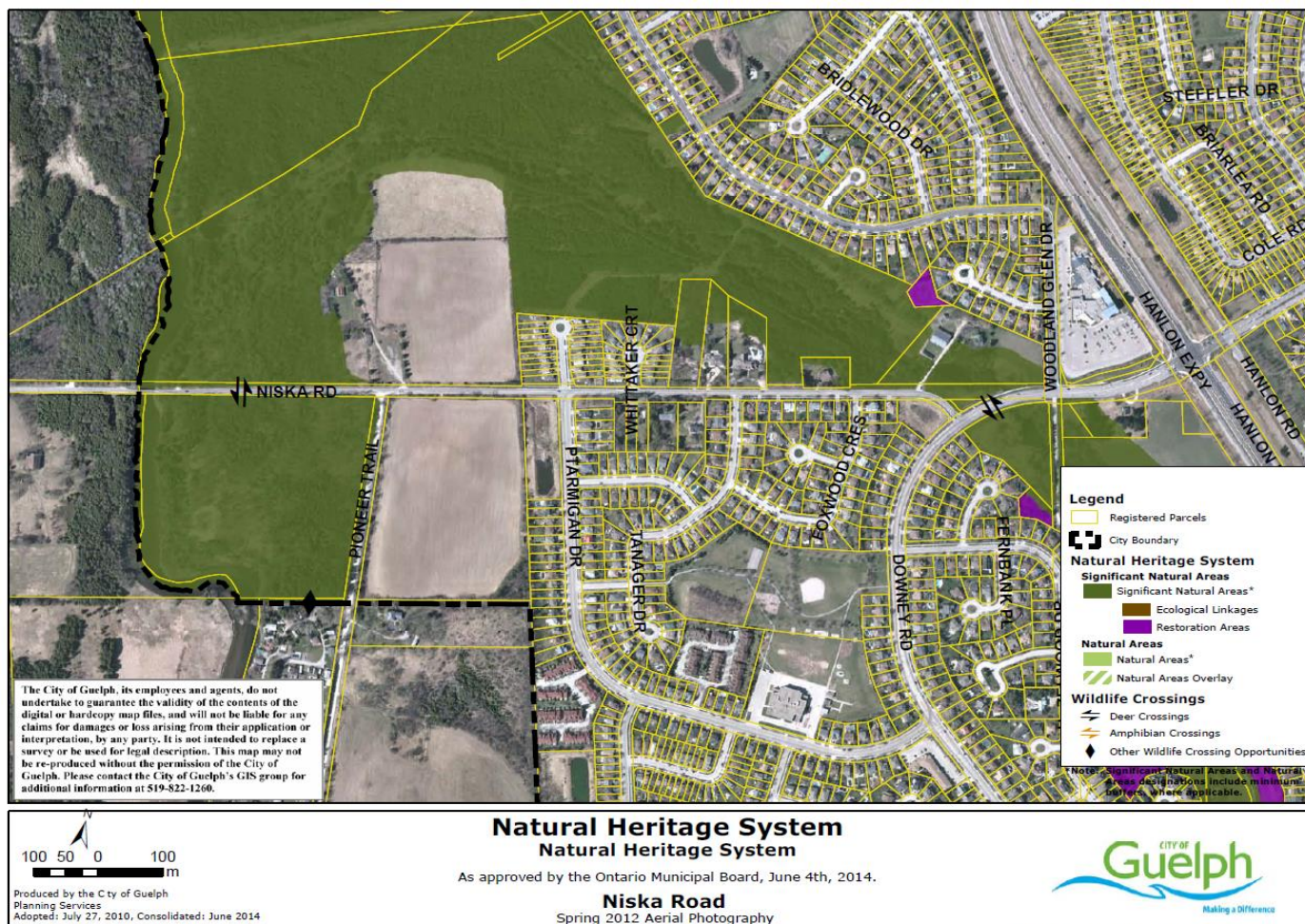
NATURAL HERITAGE SYSTEMS (WILDLIFE CROSSING)

Road mortality of wildlife was also a consideration when choosing design alternatives. A road with a narrower footprint is easier to cross for wildlife and acts as a visual traffic calming mechanism. Added to this will be a variety of paint and physical mechanisms to further reduce traffic speeds and increase reaction time.

Enhanced signage, including additional signs for deer crossing, a warning of the distance for which the concerns exist, and seasonally appropriate hazard lights will further focus driver attention on potential risks within the corridor. Specifics will be included in the final detailed design plans.

An eco-passage for small mammals and herpetofauna is proposed between the significant woodland/PSW features on the north and south sides of the road in the hope of further reducing the risk of road mortality. The lack of formal ditches and roadside boulevards will act as a deterrent to wildlife on the “shoulders” of the road in the rural option. However the curb design may also act as a deterrent to small species in the urban option.

NATURAL HERITAGE SYSTEM - WILDLIFE



AQUATIC ASSESSMENT

- Sections of the Speed River Complex and Hanlon Creek are located within the project area.
- Areas directly surrounding these watercourses are designated as Significant Natural Areas within the City of Guelph Official Plan.
- Aquatic assessments completed in 2013 and 2014 indicate potential fish spawning habitat for darter/cyprinid species within the Speed River.
- **The Bailey Bridge abutments have created conditions ideal for fish habitat, as such, they are to remain intact.**
- Amphibian assessments at 2 sites within project area completed in 2013 and 2014 indicated low potential for Species at Risk habitat.

DESIGN ALTERNATIVES

Design Alternatives were evaluated and compared based on social, cultural, operational, technical, financial and environmental impacts. The Bridge, Road and Intersection design alternatives were all evaluated in this manner.

The evaluation criteria used included:

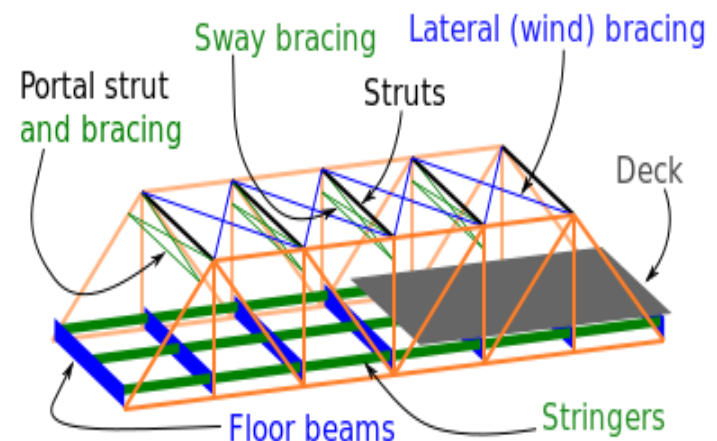
- Transportation Management
- Natural Environment
- Socio-Economic Environment
- Cultural Environment
- Land Use Planning
- Implementation/Construction
- Technical Considerations
- Economic Environment

BRIDGE DESIGN ALTERNATIVES

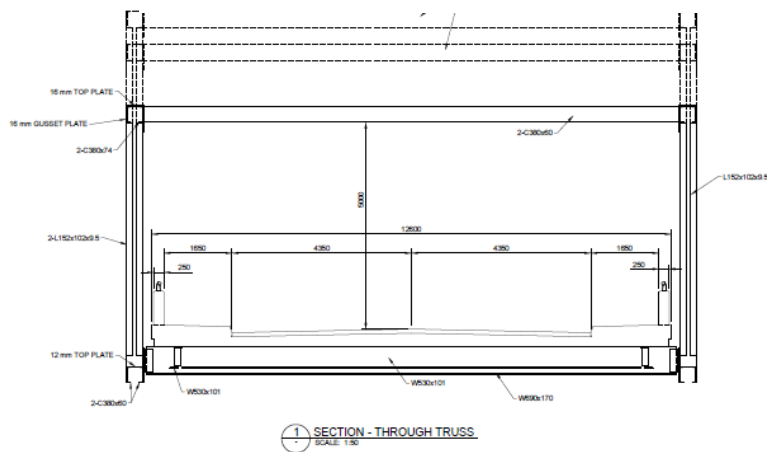
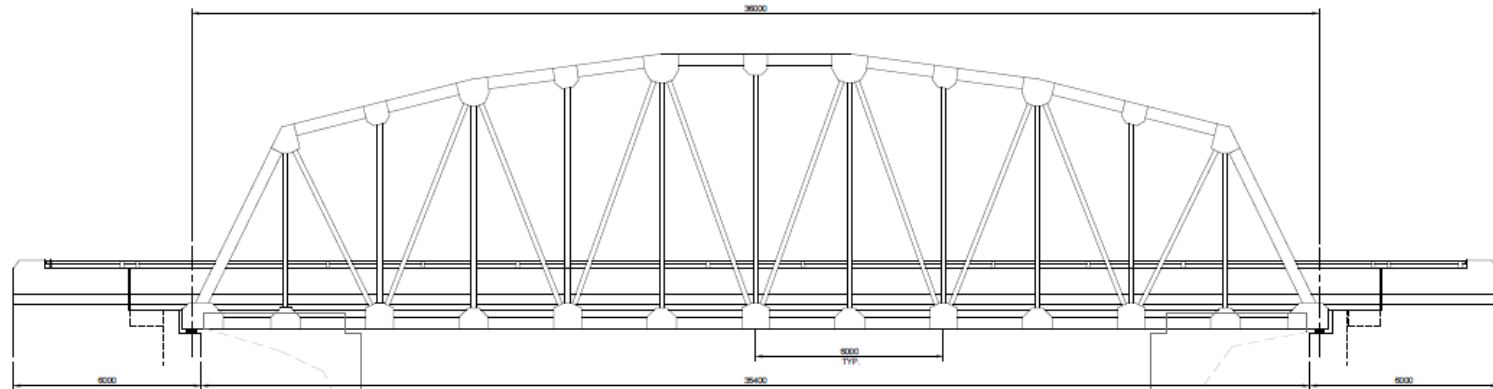
BRIDGE DESIGN ALTERNATIVES

Covered Steel Through Truss

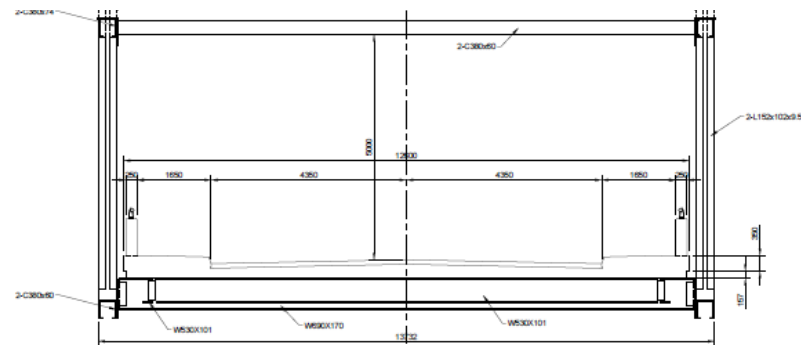
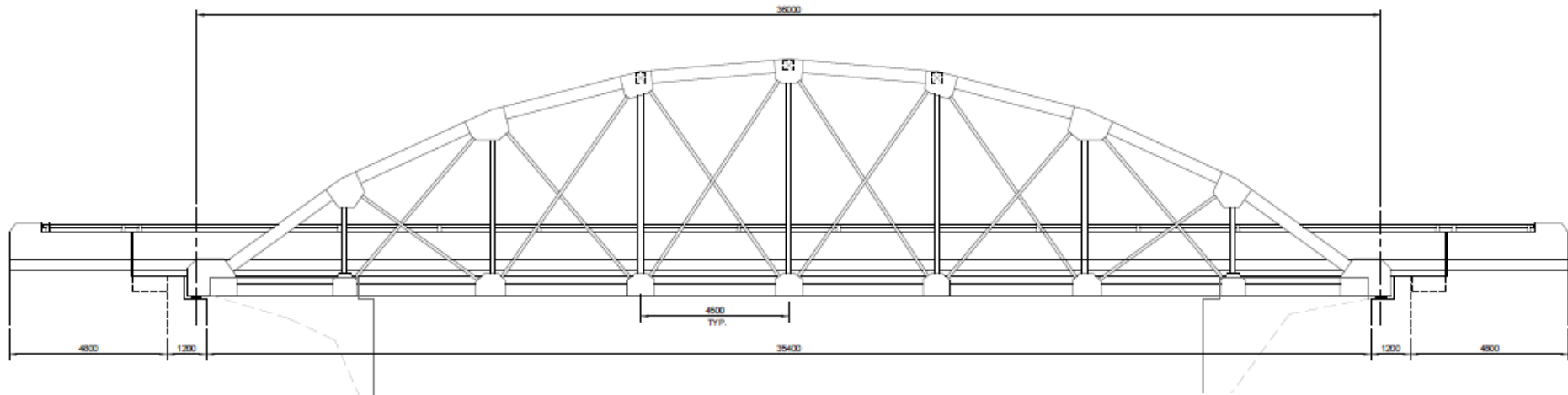
- A truss bridge is a bridge whose load-bearing superstructure is composed of a truss, a structure of connected elements forming triangular units. The connected elements (typically straight) may be stressed from tension, compression, or sometimes both in response to dynamic loads. Truss bridges are one of the oldest types of modern bridges. A truss bridge is economical to construct because it uses materials efficiently.



COVERED STEEL THROUGH TRUSS BRIDGE



BOWSTRING TRUSS BRIDGE



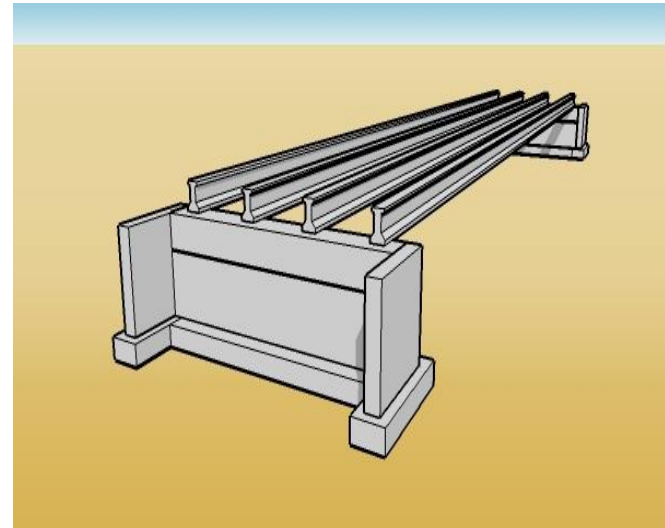
1 SECTION - BOWSTRING TRUSS
SCALE: 1:50



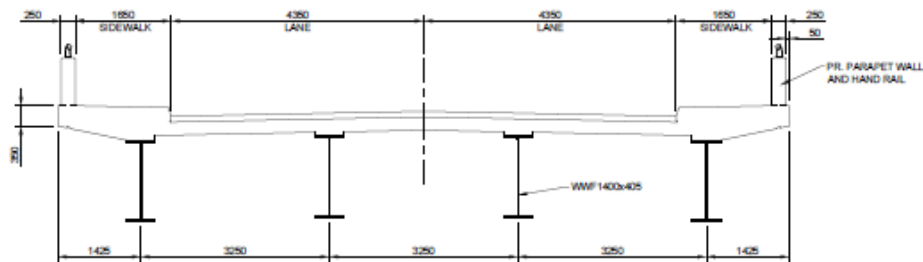
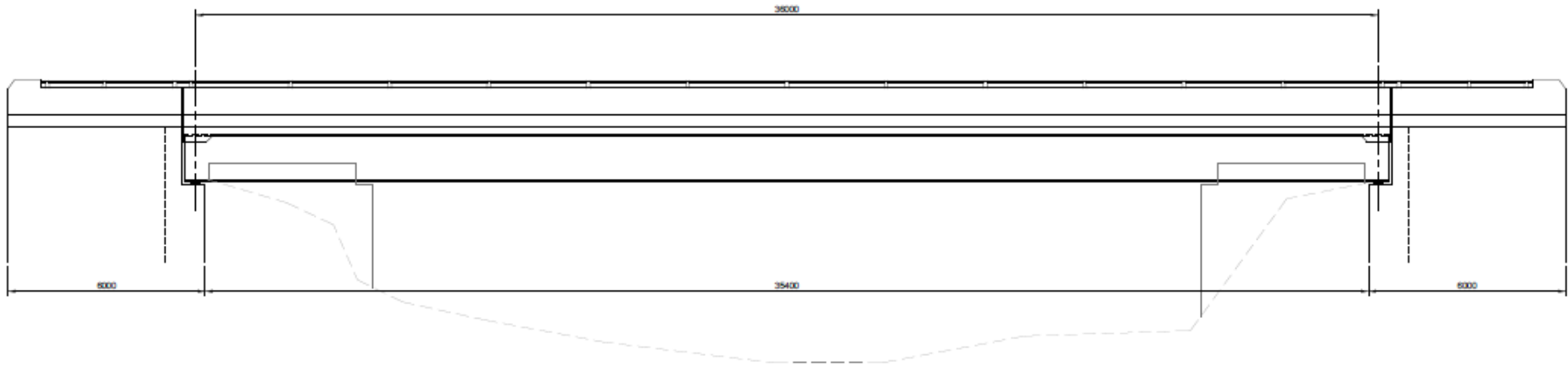
BRIDGE DESIGN ALTERNATIVES

Concrete Slab on Steel Girder Bridge

- A girder bridge is a bridge that utilizes girders as the means of supporting the deck. A bridge consists of three parts: the foundation (abutments and piers), the superstructure (girder or truss), and the deck. A girder bridge is very likely the most commonly built and utilized bridge in the world. Its basic design, in the most simplified form, can be compared to a log ranging from one side to the other across a river or creek.



CONCRETE SLAB ON STEEL GIRDER BRIDGE



1 SECTION - CONVENTIONAL SLAB ON GIRDER
SCALE: 1:50



BRIDGE DESIGN ALTERNATIVES

Pony Truss Bridge

- A pony truss is a truss bridge which allows traffic through the truss, but the top of the bridge is not joined together with cross braces



BUILT HERITAGE AND ENVIRONMENTAL HERITAGE PRESERVATION OPPORTUNITY

- Operational or weather related loss of the Bailey Bridge will result in complete loss in local heritage aesthetics.
- A monument or heritage feature can be placed in the area that displays information on the 'former' bridge. Parts of the Bailey Bridge and the abutments can be re-purposed.
- There is an educational opportunity to provide information locally regarding this area as a historical crossing of the Speed River. The current Bailey Bridge is only one of a number of bridges at this crossing location.
- **The steel truss and deck of the bridge can be reused at another river crossing as a pedestrian and cycle bridge. Preference would be given to finding a crossing in the City of Guelph and on the Speed River.**
- New bridge can be designed with segments of the steel truss and the abutments embedded in the new structure.
- New wildlife crossings can be introduced and constructed on each side of the bridge.

VIEWSCAPE HERITAGE FEATURE



VIEWSCAPE HERITAGE PRESERVATION

The suggested CHL boundary crosses political boundaries, the Township of Puslinch and City of Guelph components are shown. The easterly road allowance of Pioneer Trail forms the boundary south of Niska Road and the open field/woodland interface, the boundary on the north side.

BUILT HERITAGE AND ENVIRONMENTAL HERITAGE PRESERVATION

- The two lane bridge can be designed with segments of the abutments stones embedded into the new structure.
- A new bridge structure can be designed to reflect heritage and physical design characteristics from the original structure such as using stones from the abutments embedded into the new structure, incorporating the steel lattice style of the railing system and using foundation stones as part of a monument.
- The abutments will no longer serve the function of supporting the bridge structure.
- Retention and conservation of this identified cultural heritage landscape can be further preserved through the placement of a monument at the bridge site with an interpretive plaque detailing the history of the Niska Road Bridge.



OTHER BRIDGE DESIGN ELEMENTS



Wildlife crossing can be designed behind the existing abutments. Currently there are no designated deer or wildlife crossing. A crossing will help deduce wildlife collisions and provide additional crossing opportunities.



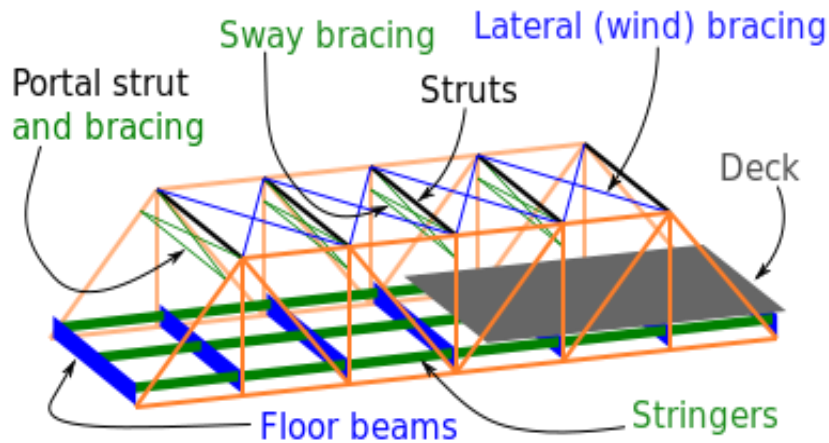
A formal canoe or kayak launch can be constructed on the northwest side of the bridge.



OTHER BRIDGE DESIGN CONSIDERATIONS



Limiting Clearance Arches can be strategically placed on both sides of the bridge to prevent large trucks from using bridge.



























A deterrent for large trucks can be built into the a truss bridge.

EVALUATION OF BRIDGE DESIGN OPTIONS

C. Socio-Economic

- Residents
- Community and Region
- Heritage Resources
- Pedestrian and Cyclist Accessibility and Safety
- Lifestyle and Culture



Criteria Sections	Steel Through Truss Bridge	Concrete Slab on Steel Girder Bridge	Pony Truss Bridge
A: Transportation Management			
B: Natural Environment			
C: Social Economic			
D: Cultural Environment			
E: Land Use Planning			
F: Implementation			
G: Technical Consideration			
H: Economical Environment			
Recommendation	TBD	TBD	TBD

Understanding the Rating System:
Least Preferred to Most Preferred



ROAD DESIGN ALTERNATIVES

ROAD DESIGN EVALUATION

Three separate road cross-section types were examined:

- Urban cross-section
- Rural cross-section
- Semi-Urban cross-section

The key goal of assessing and comparing the design alternatives was to create a safe environment for all travelling users while respecting the existing viewscape, streetscape and the current environmental condition.

The road design has been evaluated using a ***two stage approach***. First, Urban vs. Rural vs. Semi-urban were evaluated considering both the City Standard cross sections and Modified cross-section.

Second, variations of the best cross-section type with the least overall impact were evaluated. In this case, the Urban cross-section had least overall impact.

ROAD DESIGN EVALUATION

To ensure concerns of the community were incorporated, the following were strongly considered in evaluations:

- Public Safety
- Safe Public Access (sidewalks and shared vehicle lanes)
- Traffic Calming Measures
- Minimization of Tree Loss (focus on maintaining overall tree canopy)
- Maintenance of overall viewscape for Ptarmigan Drive West Bound
- Creation of an environment which reduces speed
- Creation an environment which discourages 'short-cut' travel
- Creation of on-street Community Parking
- Improved Stormwater management

To prevent erosion, water quality degradation and flooding, several considerations must be made when establishing rural or urban road designs.

It is important to note that the width of the bridge will correspond to the final road designs; however, all bridge designs will include a sidewalk on both sides.

DRAINAGE CONSIDERATIONS

Rural Road Cross-Section

- Roadside ditches allow natural velocity attenuation and infiltration but may be prone to erosion. Ditch design must consider flow velocities and provide appropriate erosion protection (Ex. rock check dams spaced according to ditch slope, natural vegetation, and grade controls such as terracing).
- Ditches and culverts must be designed to capacitate and convey flooding from storm events.
- The Storm Management Facility at the intersection of Niska Road and Ptarmigan Drive discharges to the roadside ditch which increases the volume of runoff in the ditch and associated erosion. This discharge must be accounted for in the ditch design to prevent ongoing maintenance.
- Consideration should be given to the quality of runoff entering Speed River and whether additional treatment is required. Grasses in ditches in a rural cross-section provide treatment and increase the quality of runoff. If required, additional treatment may be provided by ponding or bio-filtration and these options should be explored.

Urban Road Cross-Section

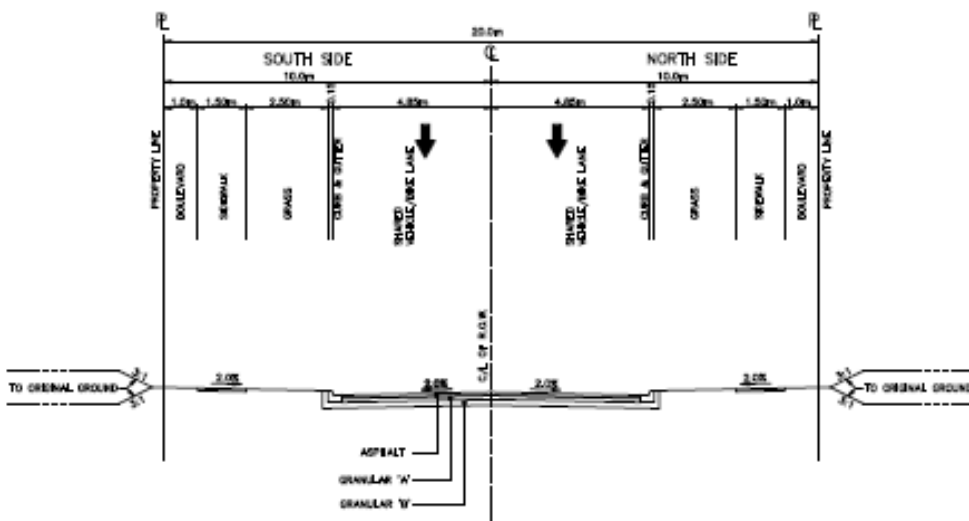
- Urban cross-sections are generally more efficient in conveying stormwater through the use of curb and gutter systems and stormsewers. Erosion is largely abated though efficiency can often result in erosion or flooding at the outlet due to the velocity of the discharge.
- Consideration should be given to outletting the stormsewer a distance from the Speed River to allow mitigation prior to discharging to the river. If not possible, installation of a low dissipation structure may be used alternatively to reduce erosion and promote infiltration.
- Drainage patterns should be maintained if possible to maintain runoff volume and velocity (Ex. maintenance of ditch which veers from roadside and empties into adjacent wetland). Consideration must be given to property ownership as stormwater should not be directed onto private property.
- Inlets into the stormsewer will be required to accommodate discharges from the Stormwater Management Facility.
- Measures to consider for water quality treatment include: bio-filters, infiltration galleries, impoundments (small ponding areas to promote sediment deposition), and oil/grit separators.
- A partial rural cross-section upstream of the bridge with outlet to the stormsewer into the ditch should be considered. This rural ditch could increase response time and velocity prior to discharging to the river.

EVALUATION FACTORS CONSIDERED

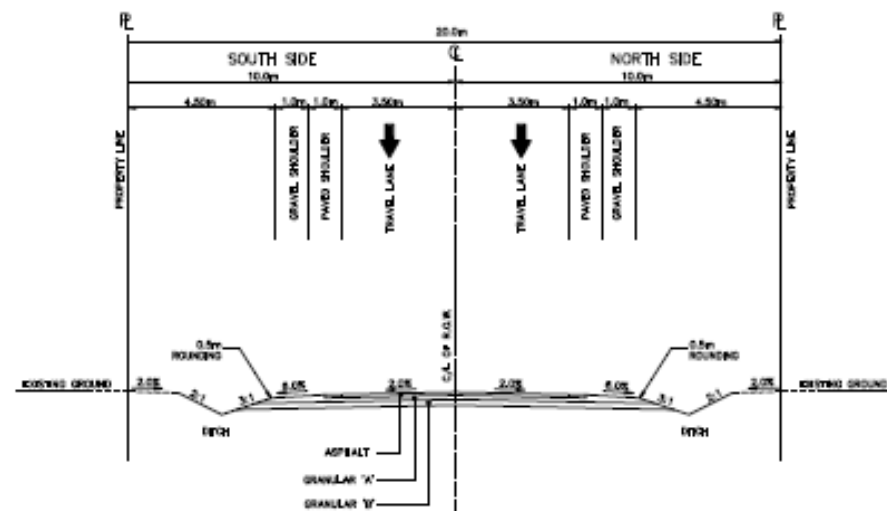
Existing Natural Environment

- The study area is located within lands that have been identified in the City of Guelph OP as part of the Natural Heritage System, containing Significant Wetlands, Significant Natural Areas, Significant Wildlife Habitat and Crossings, Significant Valleylands and Significant Woodlands.
- The road corridor may provide wildlife habitat for: raccoon, skunk, squirrel and beaver. These species are all tolerant to disturbance and are often found in residential areas.
- Lands surrounding the study area including GRCA owned land north and south of Niska Road, contain potential habitat for coyote, frogs, turtles and a variety of breeding birds.
- White-tailed deer wintering and movement habitat has been identified by Ministry of Natural Resources and Forests (MNNRF) on the north and south sides of Niska Road. The road design will consider impacts to wildlife movement.
- Salamander road mortality survey completed on April 8, 2014 concluded that Niska Road is not being used as migratory path for breeding amphibians.
- Several vegetation community types have been mapped in the study area, including: Mineral and Organic Mixed Swamps, Mixed Forests, Deciduous Forests, Cultural Meadows and Meadow Marshes.

ROAD CROSS SECTION – CITY STANDARD



URBAN SECTION



RURAL SECTION

In-order to minimize overall impacts the City Standard Cross-section was not applied along Niska Road. The above cross-section is a typical road design most frequently used for green field subdivision design. These standard road designs were screen out as they would cause significant disruption through this environmentally mature road corridor.

Examples of these standard City cross-sections are provided on the next two display boards.

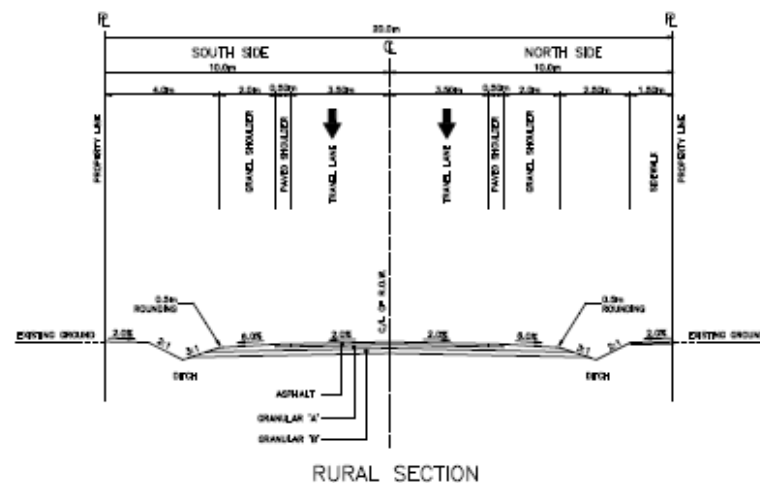
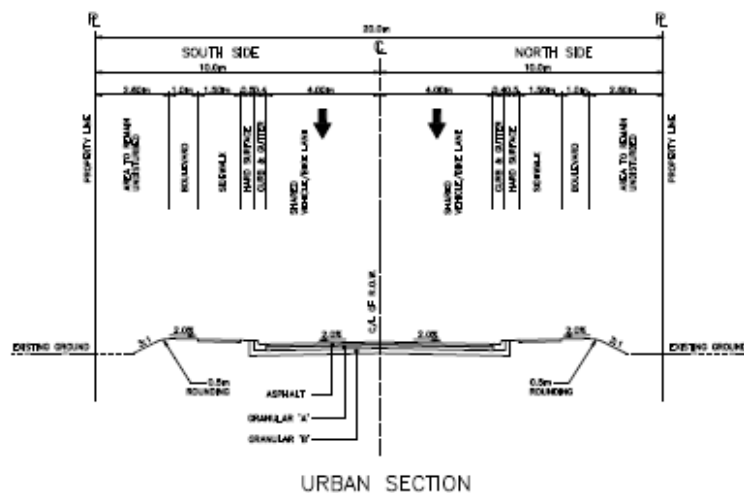
URBAN ROAD CROSS-SECTION (CITY STANDARD)



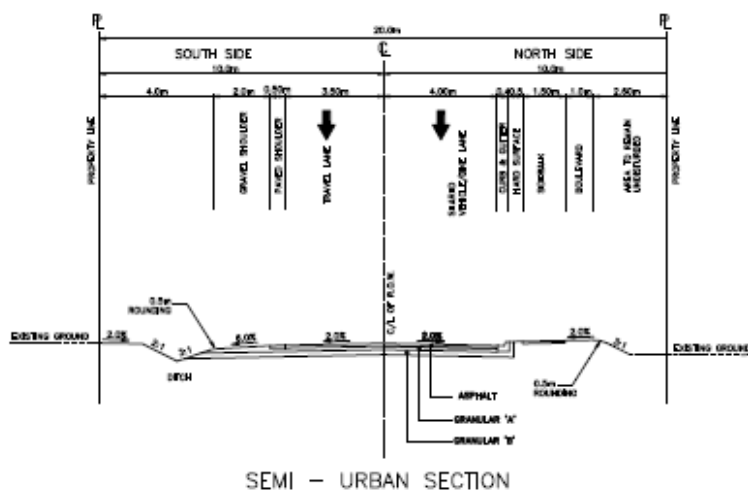
RURAL ROAD CROSS-SECTION (CITY STANDARD)



ROAD CROSS SECTION – CITY STANDARD



These three modified cross-sections were evaluated



TREE IMPACT ASSESSMENT

An evaluation of the number of trees that would be directly impacted as a result of the design options, including removal and direct effects within the drip-line, grading and excavation for relocated ditches was conducted.

It was determined that although the existing cross-section is rural (with degraded gravel shoulders and ditching) once the road is reconstructed the Urban cross-section will create a narrower footprint throughout this road corridor.

The urbanized curb and gutter in conjunction with a storm sewer allows for the most narrow configuration when considering the placement of sidewalks and bike paths.

The shoulder and ditches require complete reconstruction. Once the gravel or partially pave shoulder and ditched are reinstated there would be considerable tree loss.

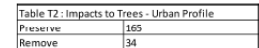
The following two boards illustrate the amount of tree-loss that may occur when comparing Urban vs. Rural cross-section configuration

TREE ASSESSMENT USING RURAL CROSS-SECTION DESIGN



● Illustrates the number of trees that will be greatly impacted and/or removed using a Rural Cross-section design

- Illustrates the number of trees that will be greatly impacted and/or removed using a Urban Cross-section design.



EVALUATION OF ROAD DESIGN OPTIONS

























B. Natural Environment

- Impacts to designated sites (provincially significant wetlands, areas of natural and scientific interest)
- Required mitigation for trees
 - Number of trees impacted
- Terrestrial environment impacts
- Impacts to wildlife / wildlife habitat / wildlife corridors
- Impacts to Natural Heritage Features (deer wintering, wildlife crossing and overwintering)
- Impact to existing vegetation
- Impacts to fish/aquatic habitat
- Impacts to adjacent GRCA lands
- Impacts to GRCA regulated floodplain lands
- Stormwater Management
 - Protection due to run-off
 - Treatment types
- Overall Corridor Foot print
 - Gravel Shoulder and Ditch, Curb and Cutter, Engineered Slope

Understanding the Rating System:

Least Preferred to Most Preferred



Criteria Sections	Urban Cross-Section	Rural Cross-Section	Semi-Urban Cross-Section
A: Transportation Management			
B: Natural Environment			
C: Social Economic			
D: Cultural Environment			
E: Land Use Planning			
F: Implementation			
G: Technical Consideration			
H: Economical Environment			
Recommendation	Preliminary Preferred Design Concept	Still Being Considered	Not Carried Forward

[illegible]

20.0m

SOUTH SIDE 10.0m

4.85m 1.0m 0.4m 3.75m

AREA TO REMAIN UNPAVED

DRAINAGE DITCH

GUTTER

PAVED ROAD LANE

20.0m

NORTH SIDE 10.0m

5.75m 0.4m 1.5m 3.35m

PAVED ROAD LANE

GUTTER

DRAINAGE DITCH

AREA TO REMAIN UNPAVED

PROPERTY LINE

PROPERTY LINE

TO ORIGINAL GROUND

TO ORIGINAL GROUND

6.0m

ASPHALT

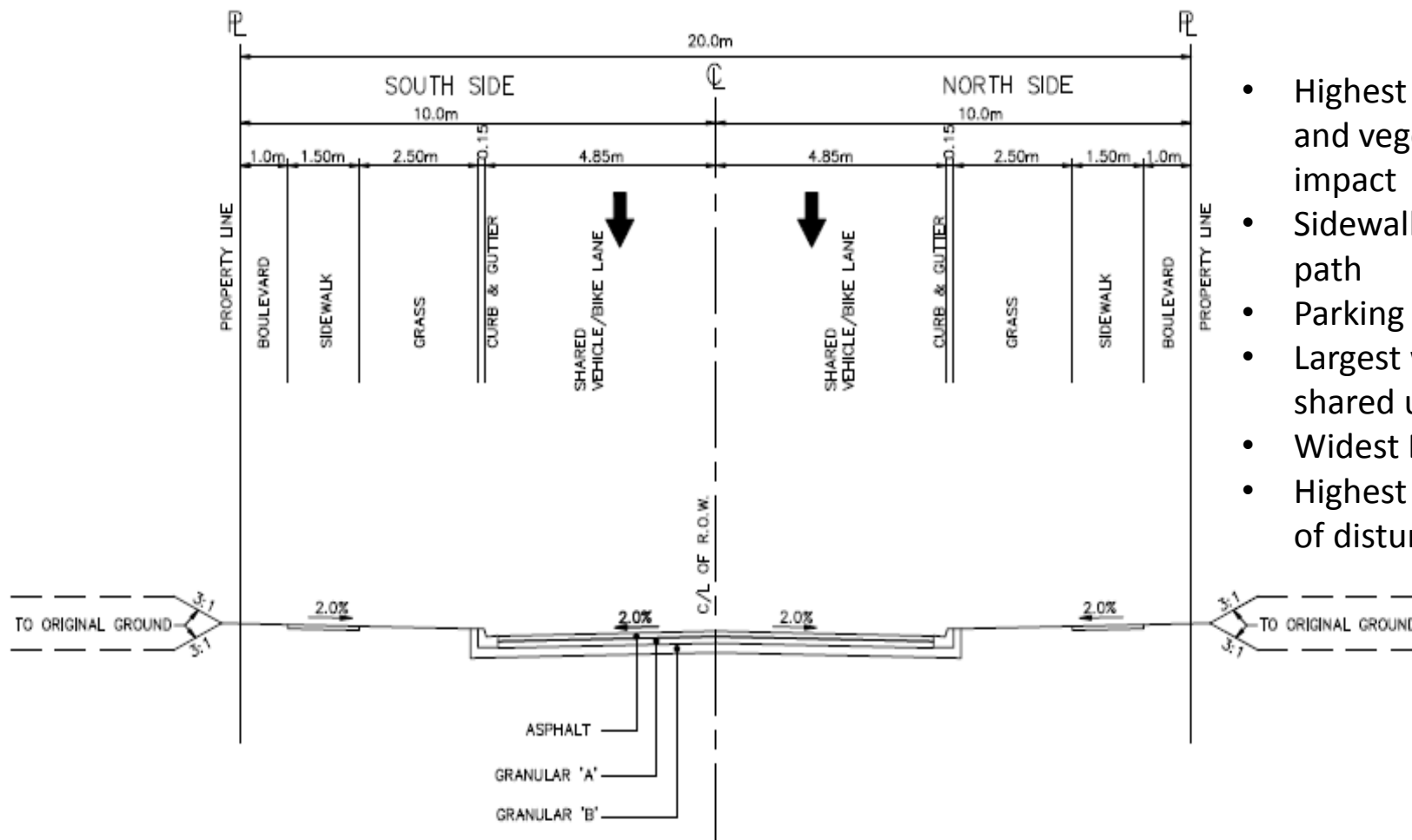
GRANULAR 'A'

GRANULAR 'B'

[illegible]

57

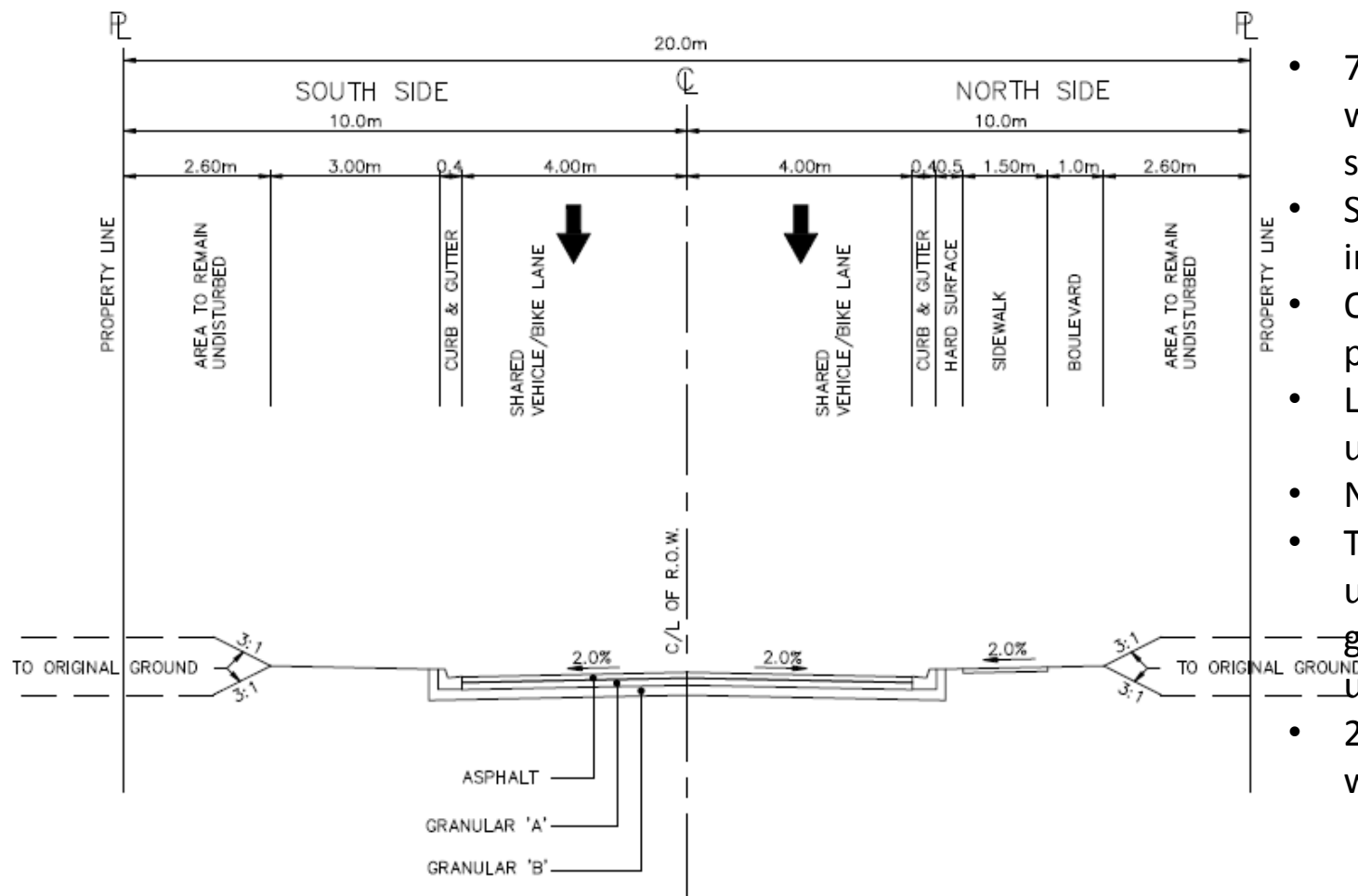
URBAN ROAD CROSS-SECTION (CITY STANDARD)



- Highest % tree loss and vegetation impact
- Sidewalks and Bike path
- Parking
- Largest width of shared use lane
- Widest Boulevard
- Highest overall width of disturbance

URBAN ROAD CROSS-SECTION – OPTION #1

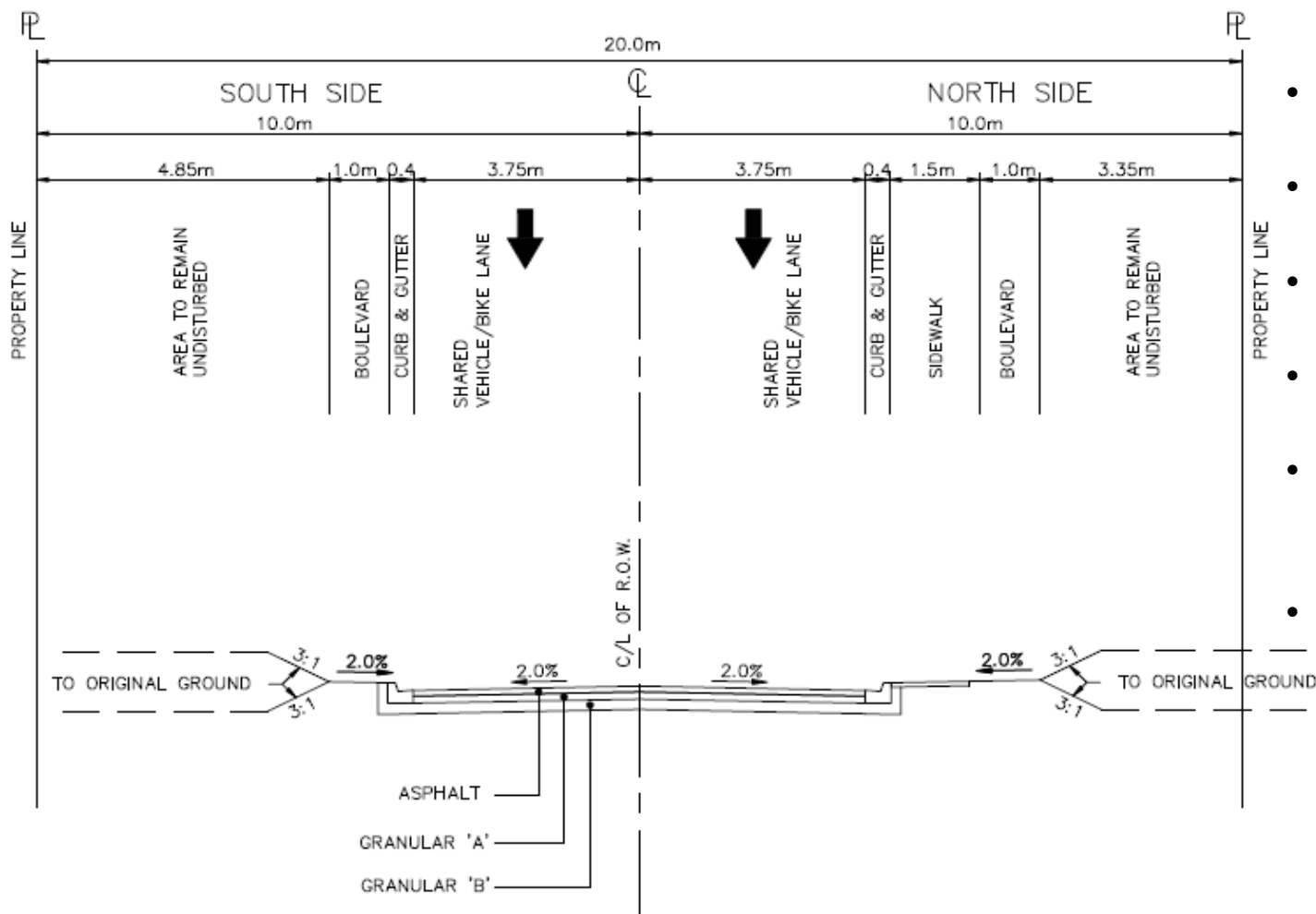
(SIDEWALK ON NORTH SIDE ONLY. SIDEWALK LOCATED 0.5 METRES BEHIND CURB)



- 75% Lower tree impact when compared to the standard road design
- Sidewalk and Bike path included
- On Street Parking provided
- Largest width of shared use lane
- Narrow boulevard
- The areas to remain undisturbed is much greater than when using the City standard
- 2nd highest overall width of disturbance

URBAN ROAD CROSS-SECTION – OPTION #2

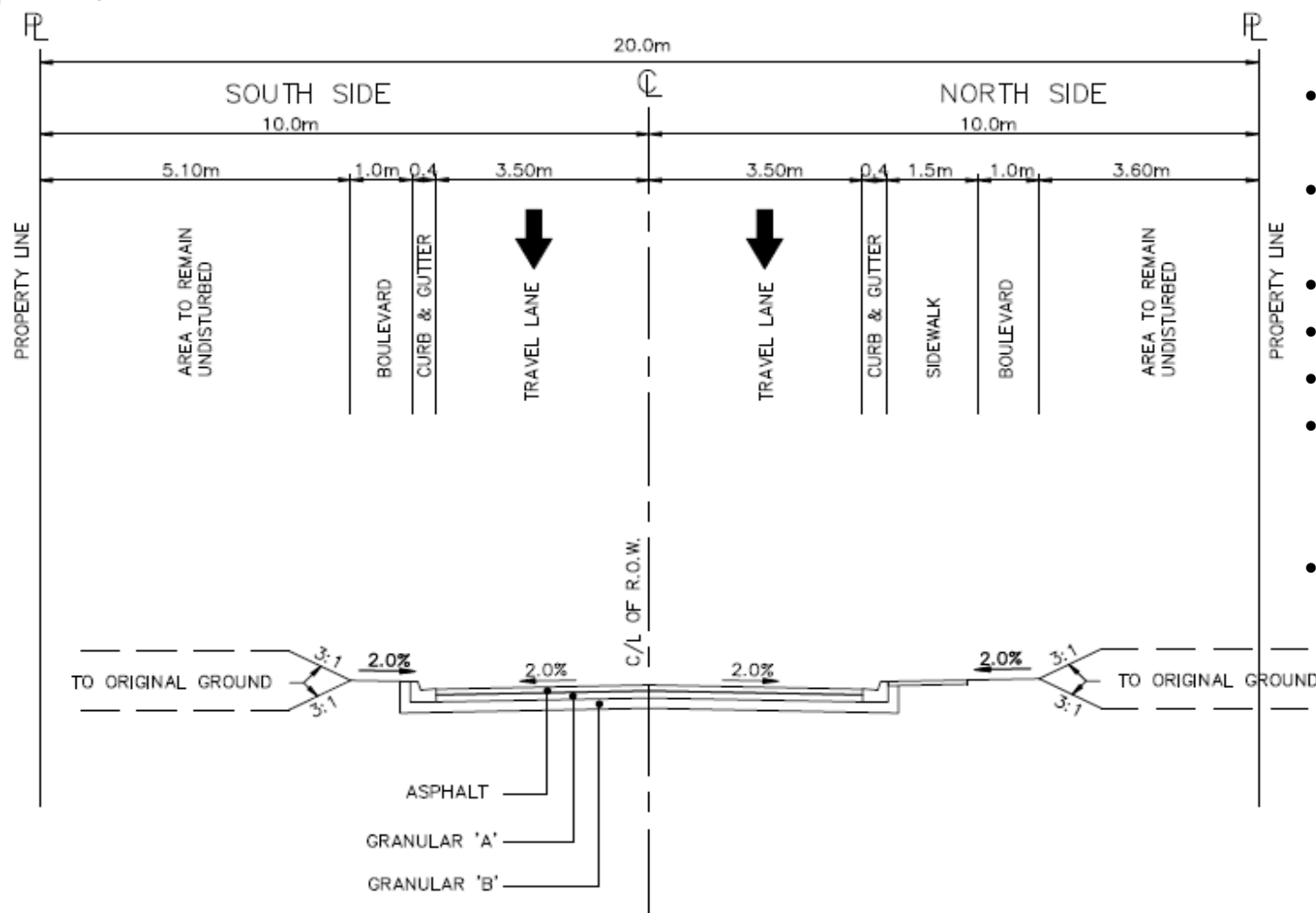
(REDUCED PAVEMENT, BIKE PATH, SIDEWALK ON NORTHSIDE ONLY BEHIND CURB)



- 70-75% lower tree and vegetation impact
- Sidewalks and Bike Lane included
- On street parking is included
- Width of shared use lane has been narrowed
- Smaller boulevard however greater areas can remain undisturbed
- 3rd highest overall width of disturbance

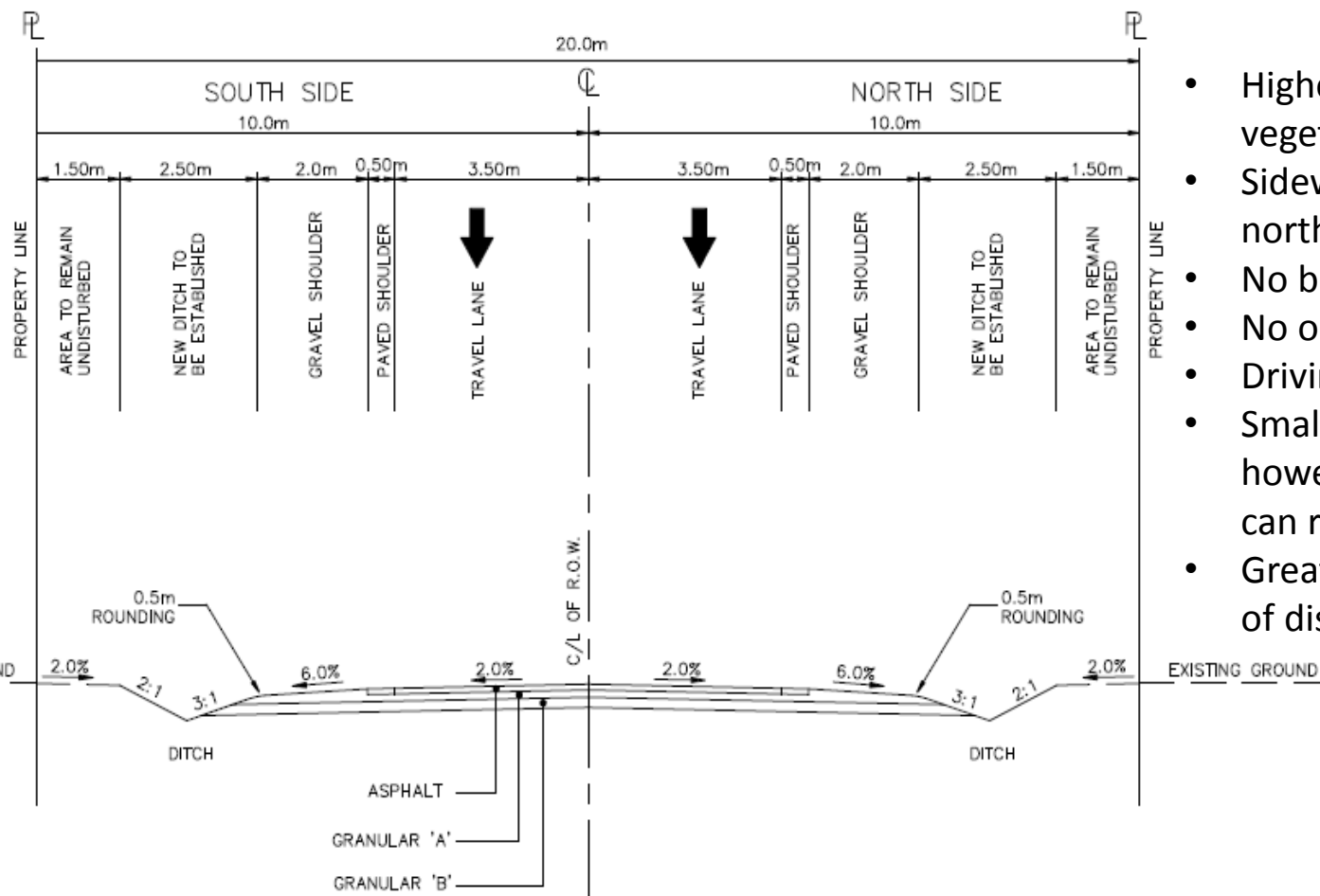
URBAN ROAD CROSS-SECTION – OPTION #3

(REDUCED PAVEMENT, NO BIKE PATH, SIDEWALK ON NORTH SIDE ONLY BEHIND CURB)



- Very low level of tree and vegetation impact
- Sidewalk included on north side
- No bike path
- No on street parking
- Driving lane only
- Smaller boulevard however greater areas can remain undisturbed
- Lowest overall width of disturbance

RURAL ROAD CROSS-SECTION – OPTION 4 (REDUCED PAVEMENT, NO BIKE PATH, NO SIDEWALK)

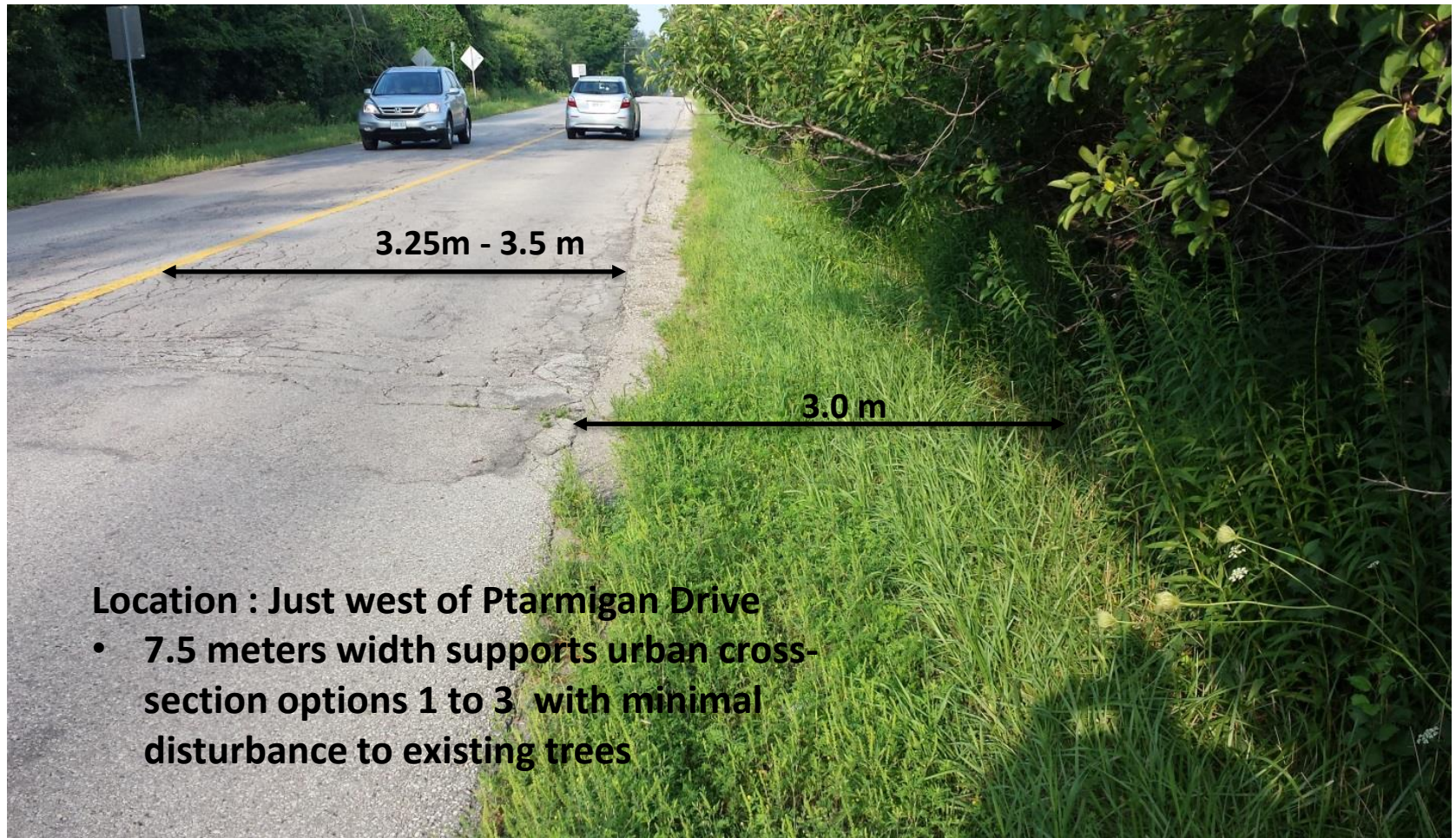


- Highest level of tree and vegetation impact
- Sidewalk included on north side
- No bike path
- No on street parking
- Driving lane only
- Smaller boulevard however greater areas can remain undisturbed
- Greatest overall width of disturbance

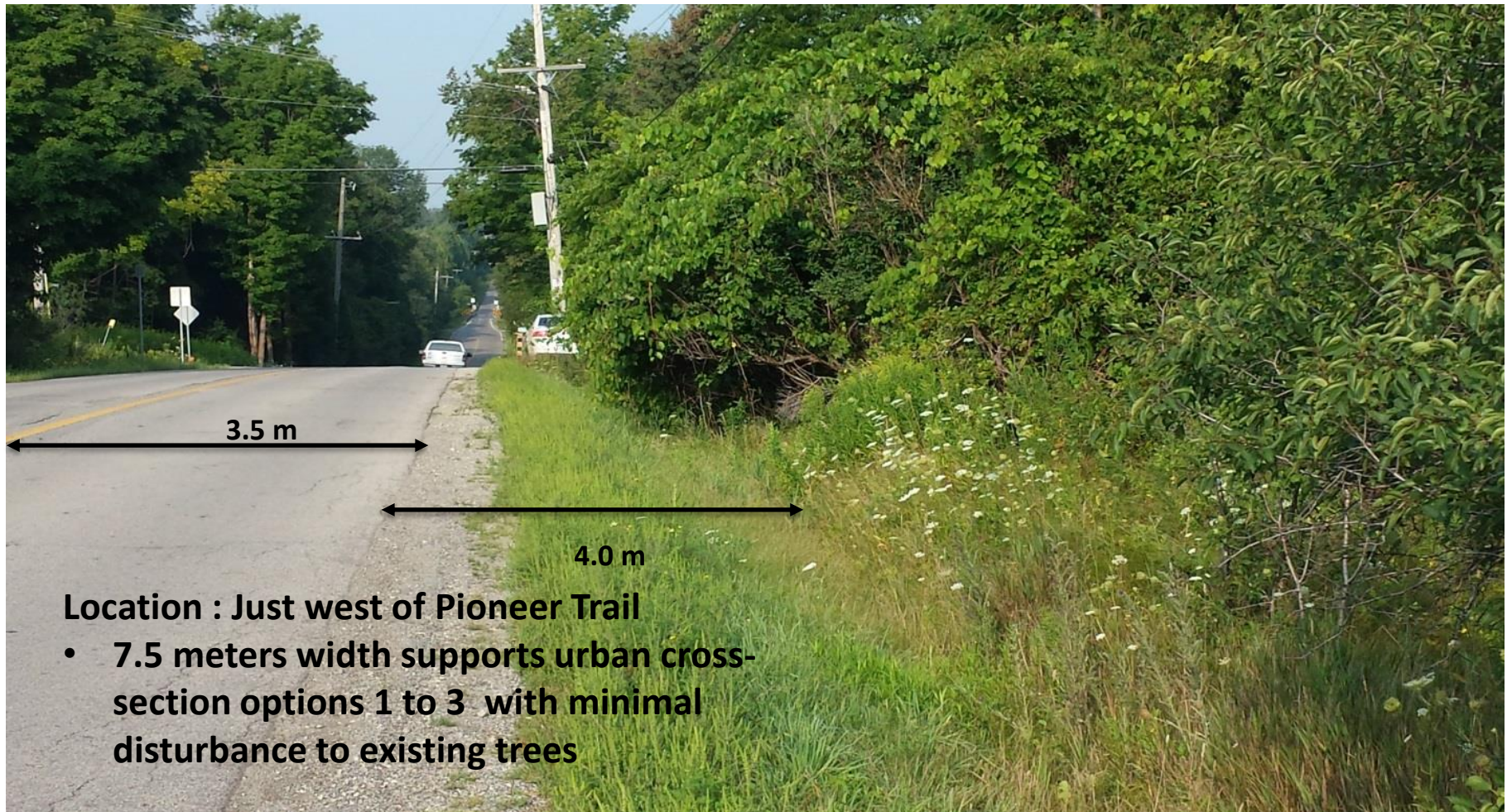
URBAN CROSS SECTION OPTION COMPARISON

	Option 1	Option 2	Option 3	Option 4
Sidewalk	North	North	North	No Sidewalk
Tree Loss Reduction Compared to Standard				
Bike Facility and Shared Use Lane	Yes	Yes	No	Yes
Areas Not Disturbed				
Parking	Yes	Yes	Yes	No
Width of Travel Lane	4.0 m	3.75 m	3.50 m	3.5 m
0.5 m Maintenance Strip	Yes	No	No	1.0 m Paved Shoulder
Boulevard - North Side	1.0 m	1.0 m	1.0	none
Boulevard - South Side	3.0 m	1.0 m	1.0	none
Width of Undisturbed Area North Side	2.6 m	3.35 m	3.6 m	1.5 m
Width of Undisturbed Area South Side	2.6 m	4.85 m	5.1 m	1.5 m

CURRENT ROAD CONDITION



CURRENT ROAD CONDITION



CURRENT ROAD CONDITION



TRAFFIC CALMING MEASURES (SEE LONG ENGINEERING DRAWINGS FOR MORE DETAILS)

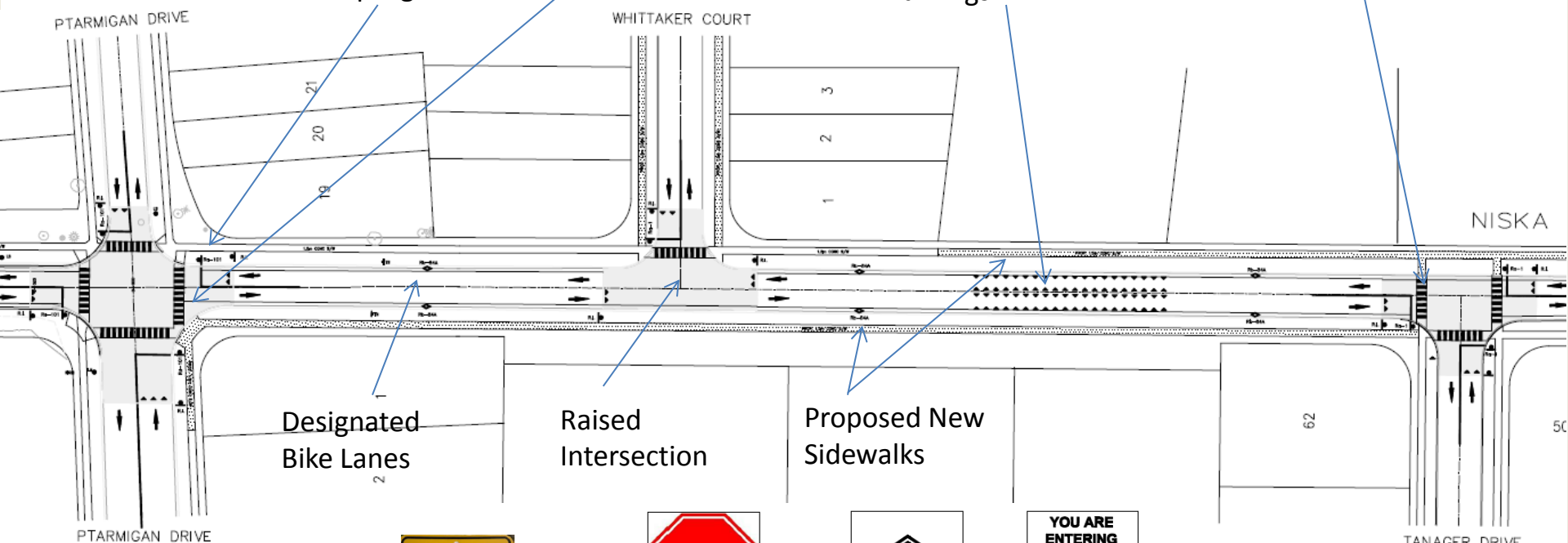
Entering
Kortright Hills
Community
Sign

Oversized
Stop Signs

Raised
Intersection

Tiger Teeth Pavement
markings

Painted Cross-walks



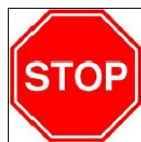
Designated
Bike Lanes

Raised
Intersection

Proposed New
Sidewalks



R.I. - RAISED
INTERSECTION



Ra-1
Ra-101 (OVER SIZE)



Rb-84A



TRAFFIC CALMING MEASURES

RAISED INTERSECTION EXAMPLE



INTERSECTION DESIGN ALTERNATIVES

INTERSECTION EVALUATION

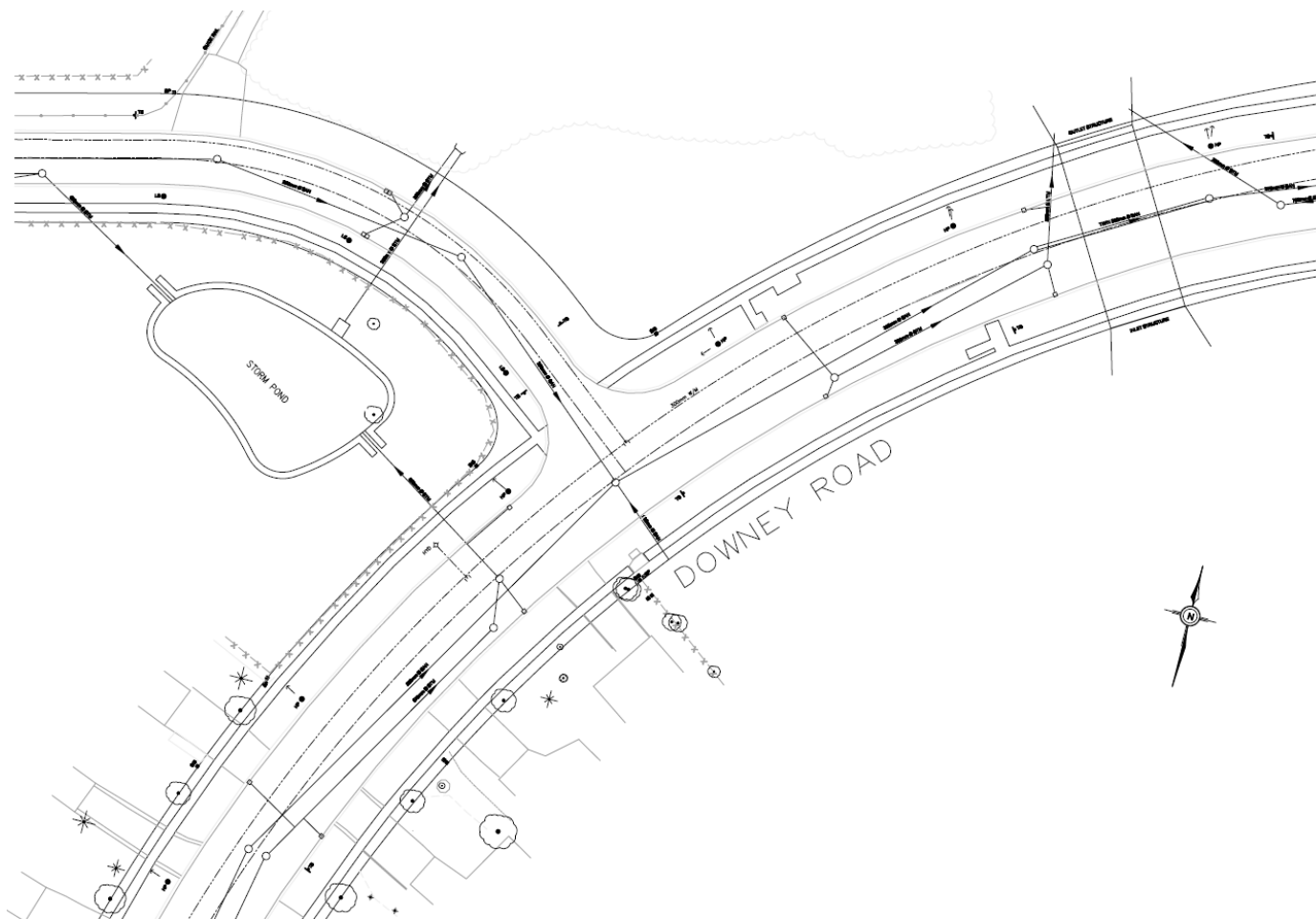
- Two separate intersection cross-section types were examined:
 - Signalized Intersection
 - Roundabout Intersection
- The key goal of assessing and comparing the design alternatives, was to create a safe environment for all travelling users while respecting the existing viewscape, streetscape and the current environmental condition.
- It is unlikely that either of the options will result in the direct loss of trees.
- Vegetation in the potential area of impact is limited to common and culturally influenced “old field” herbaceous plants.
- The site slopes from the tableland area on the north side of the roundabout, where a dense boarder of both buckthorn and cedar provides a buffer to the wetland at the toe of the slope, adjacent to Hanlon Creek. Mitigation measures will minimize the potential for indirect effects.
- Vegetation removal may provide the opportunity for management of non-native and/or invasive species.

ECOLOGICAL LAND CLASSIFICATION – WETLAND

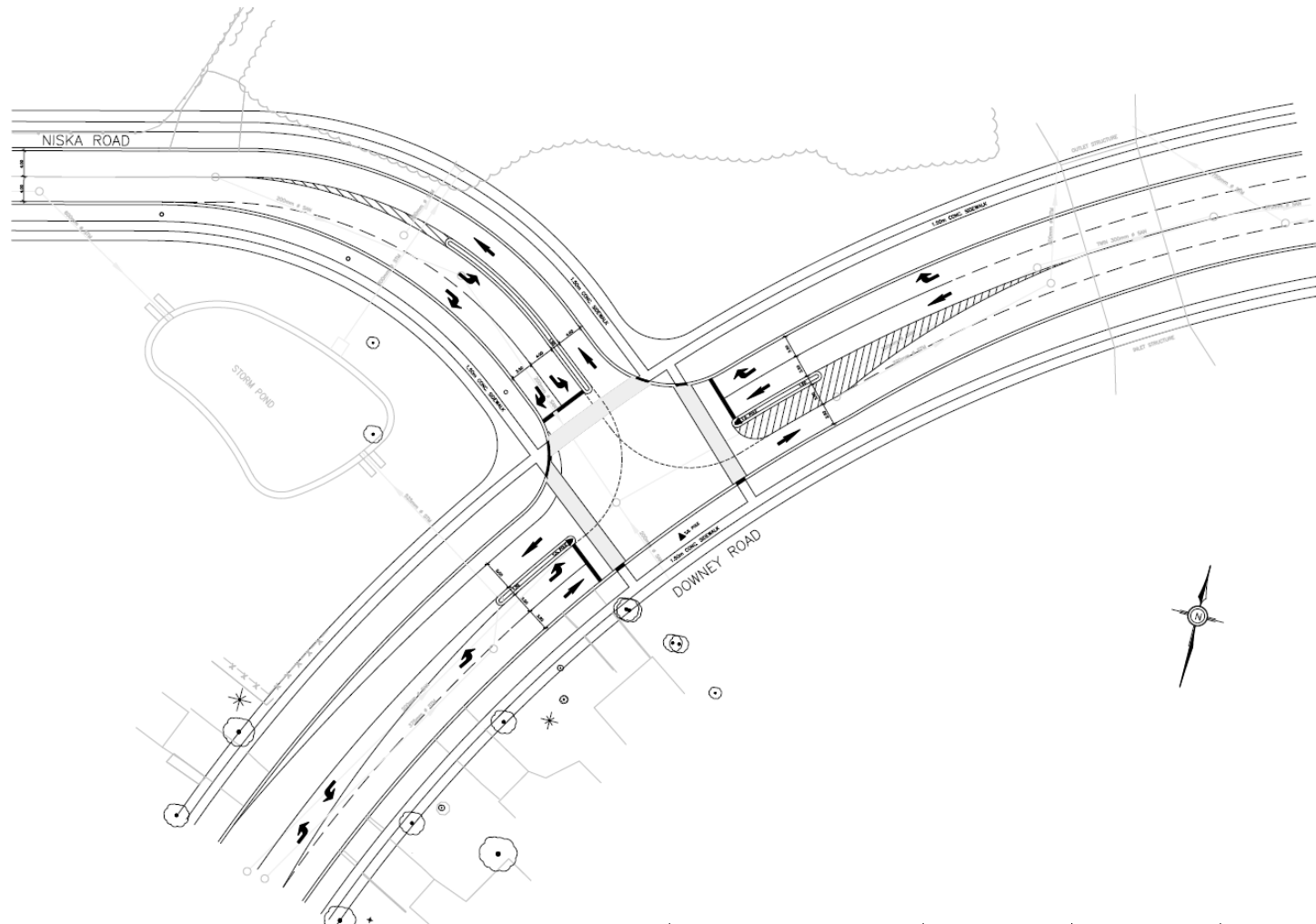


For wetland features direct loss of wetland vegetation and changes to the water balance were assessed. Wetland features currently extend out to the road right-of-way and reflect edge effects associated with road disturbance, including salt damage, deposition of sediment and non-native and invasive species growth.

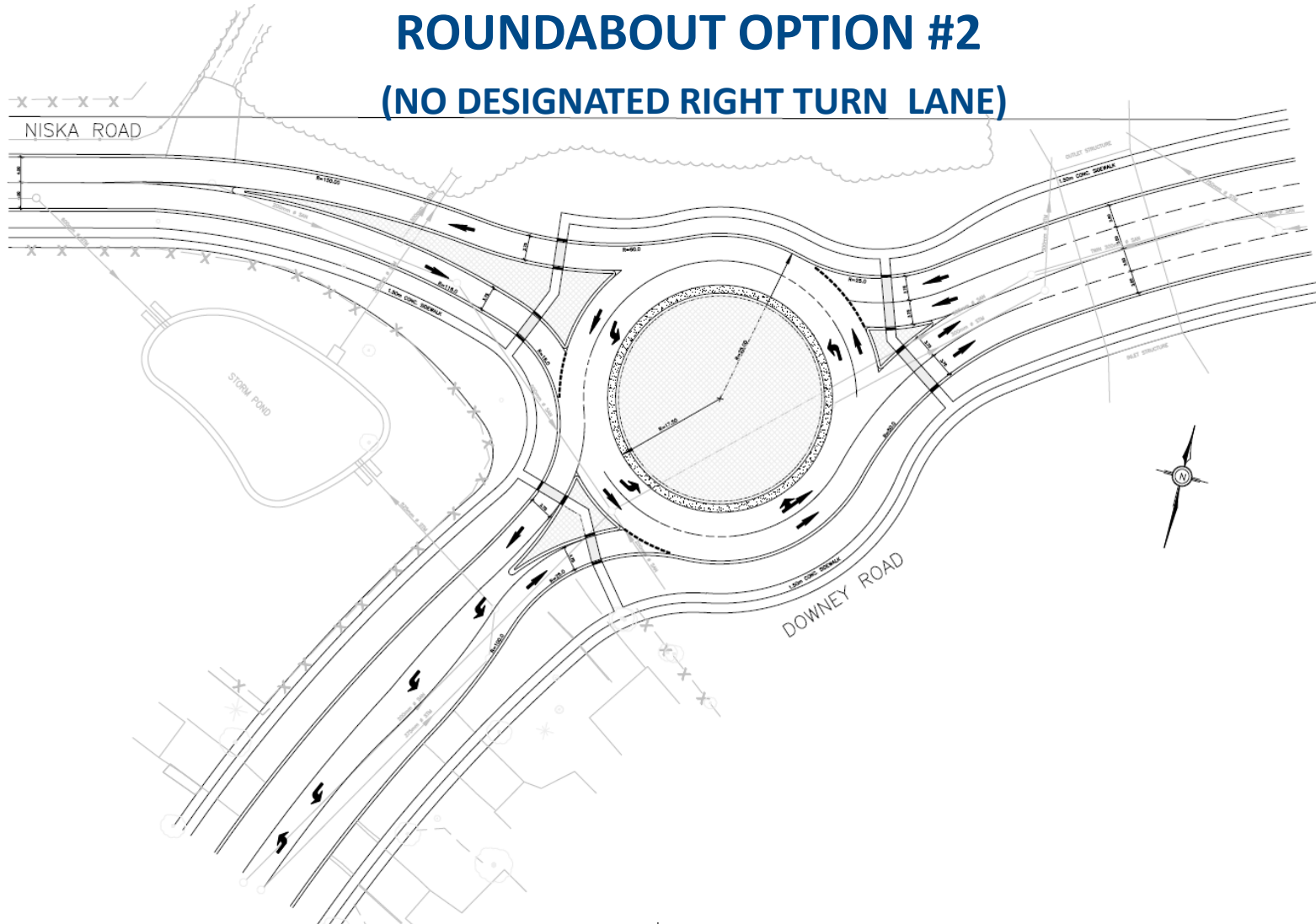
EXISTING INTERSECTION (STOP SIGN CONTROL)



SIGNALIZED INTERSECTION

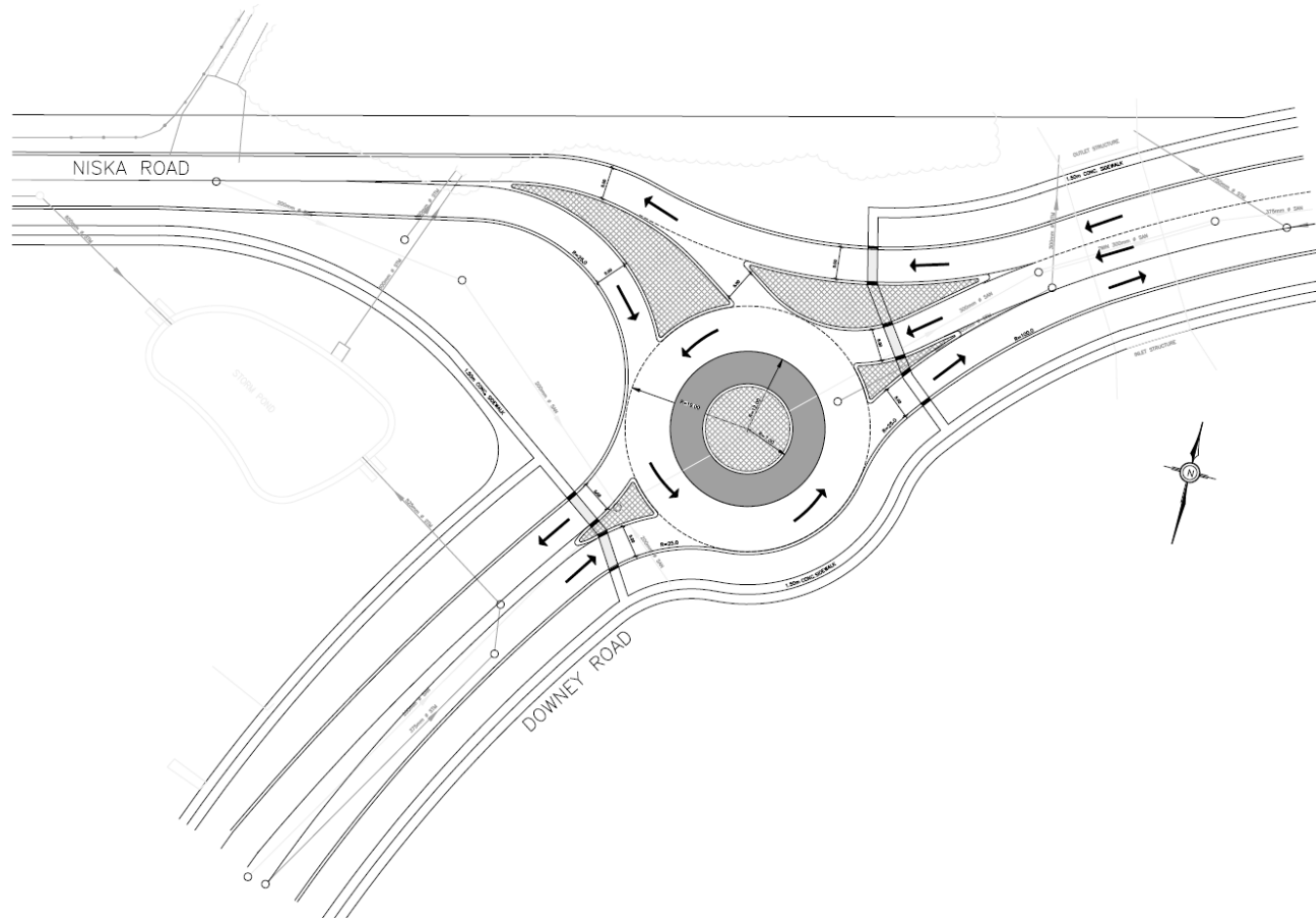


ROUNDBABOUT OPTION #2 (NO DESIGNATED RIGHT TURN LANE)



ROUNABOUT OPTION #3

(REDUCED RADII CIRCLE WITH DESIGNATED RIGHT TURN LANE)



INTERSECTION COMPARISONS

Signalization

- Good level of service
- Improved safety for vehicular and pedestrian movements. (crossing intersection and turning from Niska Road to Downey Road).
- Accessible pedestrian signals improve safety for visually impaired.
- The addition of a traffic signal does not involve any additional encroachment into natural heritage features or loss of vegetation/trees (direct impacts) or indirect impacts through changes in surface water flow.
- This alternative is preferred as it presents the lowest potential for adverse effects. It is unlikely that either of the options will result in the direct loss of trees.
- Provides safer environment for all road users than current stop sign.
- No property acquisition required.
- No impact on emergency access.
- No change in current noise or air quality impacts associated with stop-start and idling at stop sign.
- No impact to aquatics anticipated
- Minimal construction complexity and shorter construction timeframe.
- Minimal or no utility relocation required.
- Temporary noise and air quality impacts during construction.
- Limited traffic disruption during construction.
- No cost of property acquisition.
- Lower cost of construction.

Roundabout

- Typically increased safety through decrease in number and severity of collisions compared with stop control or traffic signals
- Lower average delay per vehicle
- Excellent level of service through decrease in traffic delay and traffic congestion at intersection.
- Eliminates existing sightline and unsafe turning conditions from Niska Road to Downey Road.
- Reduced speeds through the intersection.
- Pedestrian crossings at roundabout can be challenging for the visually impaired.
- The roundabout has the potential for direct effects including vegetation removal and grading within the natural areas. The amount of encroachment will be dependent upon the location of the circle (option selection).
- It is unlikely that either of the options will result in the direct loss of trees. Aesthetic value, but landscaping would require maintenance.
- Provides safe environment for pedestrians and cyclists, but does not provide accessible crossings for the visually impaired.
- Property acquisition required.
- May increase emergency vehicle response times.
- May attract more through traffic on Niska Road since delay to Niska Road traffic would be very minor.
- Reduced noise and air quality impacts from decrease in idling and stop-start at stop sign.
- Potential to decrease speed at which vehicles enter Niska Road through forced slowing of vehicles to enter roundabout.
- Utility relocations required.

















Evaluation of Intersection Design Options

A. Transportation Management

- Transportation safety
- Speed management and elimination
- Traffic management
- Impacts to vehicular level of service
- Intersection efficiency
 - Volume management
 - Traffic delay
 - Traffic Queue
 - Eliminate traffic congestion

Understanding the Rating System:
Least Preferred to Most Preferred



Criteria Sections	Signalized Intersection	Roundabout
A: Transportation Management		
B: Natural Environment		
C: Social Economic		
D: Cultural Environment		
E: Land Use Planning		
F: Implementation		
G: Technical Consideration		
H: Economical Environment		
Recommendation	Preliminary Preferred Design Concept	Still Being Considered

Class EA Recommendations

In Conclusion:

Following the completion of many studies, assessments and significant consultation with interested stakeholders, the local community, a project focused Community Working Group and review Agencies, the following alternatives were selected as the preferred alternative solutions for the road, bridge and intersection components of this EA:

- Replace the Existing One Lane Bridge with a Two lane Pony Truss Bridge
- Reconstruct the Niska Road from the Bailey Bridge to Ptarmigan Drive with a 4 meter wide shared use lane with sidewalks on the north side.
- Reconstruct the Niska Road / Downey Road Intersection as a fully signalized intersection.

Class EA Recommendations

Thank You

Questions

Niska Road Cultural Heritage Landscape Addendum

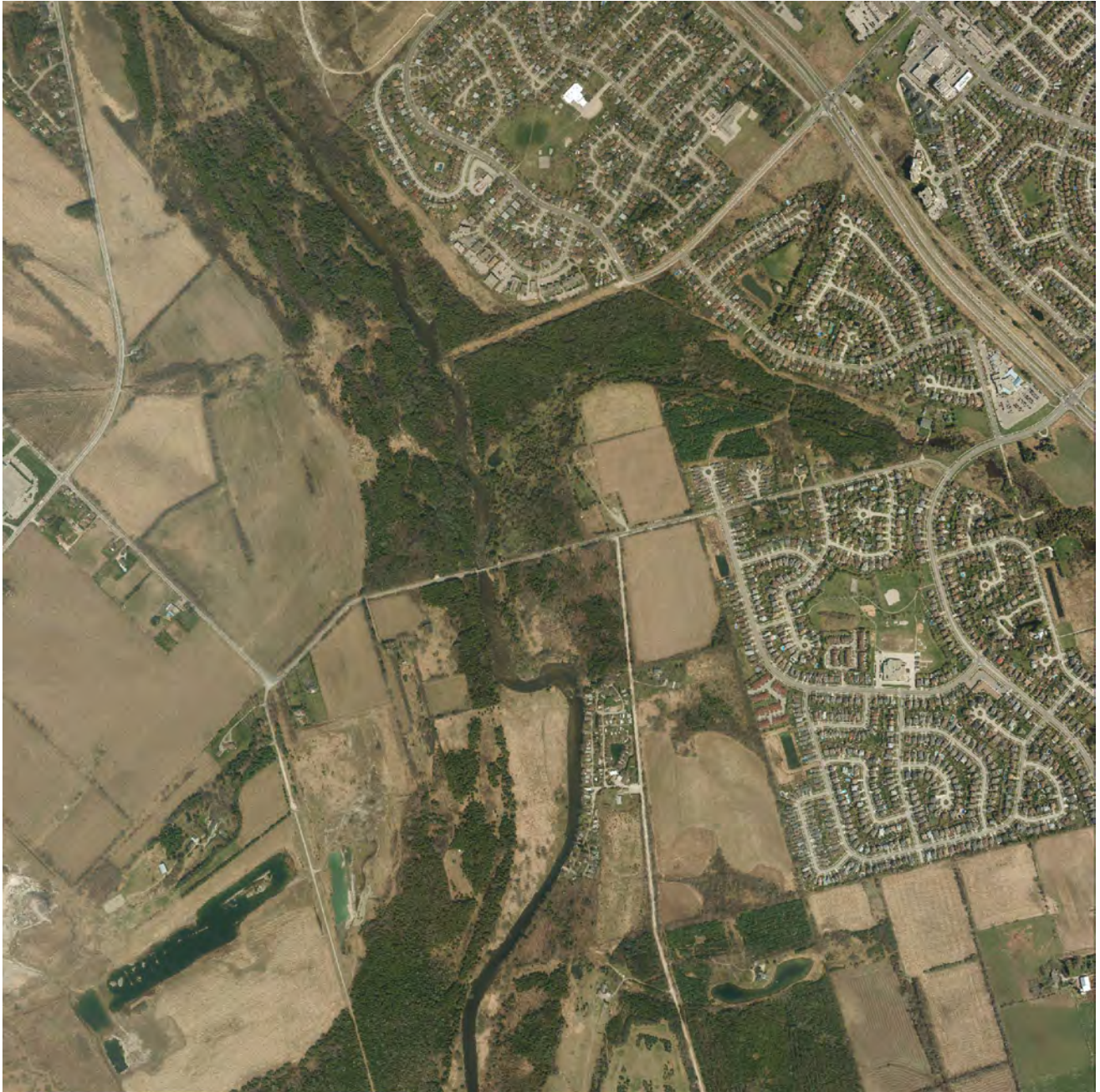
to:

Cultural Heritage Evaluation Report with Photographic Documentation

Niska Road Bridge, Municipal Site No. 00001, (Lot 12, Concessions 5 & 6 Geographic Township of Puslinch), Class Environmental Assessment Study, Niska Road Improvements

City of Guelph, Ontario

Unterman McPhail Associates, April 2014



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February 5, 2015

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1.0 BACKGROUND - CULTURAL HERITAGE LANDSCAPE ADDENDUM

The City of Guelph has undertaken a Class Environmental Assessment (EA) study to investigate opportunities for improvements to Niska Road from the City limits to Downey Road. According to information circulated for the first Public Information Centre (held November 27, 2014), both the road and bridge are in poor condition and require improvements.¹

The April 2014 Cultural Heritage Evaluation Report (CHER) concluded that the Niska Road Bridge is of local cultural heritage value or interest, being ... *the only example of a Bailey bridge identified within the City of Guelph, one of only two examples within the Grand River watershed, and a rare example of a Bailey Bridge remaining in road use within Southern Ontario.*²

The 'Preliminary Preferred Option' from the EA is to replace the bridge with a new, wider structure as well as implement road improvements, including provision for pedestrians and cyclists. ... *the City of Guelph is considering the replacement of the existing (Niska Road) one-lane bridge with a new two-lane structure at the same site as part of the planned improvements to Niska Road from the City limits to Downey Road*³,

An invitation to submit a proposal to prepare this report was issued by the City of Guelph on December 4, 2014.⁴ The report is a cultural heritage landscape addendum to the Unterman McPhail Associates April 2014 *Cultural Heritage Evaluation Report with Photographic Documentation, Niska Road Bridge, Municipal Site No. 00001, (Lot 12, Concessions 5 & 6 Geographic Township of Puslinch), Class Environmental Assessment Study Niska Road Improvements City of Guelph, Ontario.*

The above noted CHER recommendations are limited to the Niska Road bridge itself and it is the objective of this Cultural Heritage Landscape (CHL) Addendum to evaluate an enhanced EA study area using *Ontario Regulation 9/06* and make a recommendation as to whether any portion of the EA study area should be considered a cultural

¹ from invitation to submit a proposal to prepare an addendum to the CHER, Stephen Robinson, Senior Heritage Planner, City of Guelph, December 4, 2014

² *Cultural Heritage Evaluation Report with Photographic Documentation, Niska Road Bridge, Municipal Site No. 00001, (Lot 12, Concessions 5 & 6 Geographic Township of Puslinch), Class Environmental Assessment Study Niska Road Improvements City of Guelph, Ontario.* Unterman McPhail Associates April 2014, pp. 22 & 24

³ *Ibid*, p 23.

⁴ *Ibid* - "The City of Guelph requires a qualified heritage consultant to provide an addendum to the CHER that evaluates the EA study area using Ontario Regulation 9/06 and makes a recommendation as to whether any portion of the EA study area should be considered a cultural heritage landscape as defined in the City of Guelph Official Plan. If the Niska Road area is found to contain a cultural heritage landscape, the heritage consultant would provide advice as to how the proposed improvement options for Niska Road and its bridge may impact the heritage attributes of a confirmed cultural heritage landscape and would also suggest reasonable measures to mitigate any negative impacts." from invitation to submit a proposal to prepare an addendum to the CHER, Stephen Robinson, Senior Heritage Planner, City of Guelph, December 4, 2014

heritage landscape as defined in the City of Guelph *Official Plan*⁵; and if so, provide advice as to how the proposed improvement options for Niska Road and its bridge as outlined in the EA may impact the heritage attributes of a confirmed cultural heritage landscape and suggest reasonable measures to mitigate any negative impacts. The Unterman McPhail CHER contains a chapter entitled “Cultural Heritage Landscape Description” that describes the environs of the Niska Road bridge. CHL boundaries are not indicated; no listing of the heritage attributes of the landscape is provided, no significance is attributed to the CHL, and no mitigation recommendations respecting the CHL are noted. This addendum investigates the lands (addendum study area) that traverse three political boundaries as shown in figure 1.



Figure 1 EA and Addendum Study Areas - Grand River Conservation Authority (GRCA) mapping

⁵ “**Cultural Heritage Landscape Resource** means groups of features made by people. The arrangement of features illustrates noteworthy relationships between people and their surrounding environment. They can provide the contextual and spatial information necessary to preserve, interpret or reinforce the understanding of important historical settings and changes to past patterns of land use. Cultural heritage landscapes include such groups of features as neighbourhoods, townscape and farmscapes.” *City of Guelph Official Plan 2001 September 2014 Consolidation* p. 234

2.0 THE CULTURAL HERITAGE LANDSCAPE ADDENDUM REPORT

2.1 Historical Research

As can be seen in figure 1, there are three political jurisdictions in the addendum study area. The boundaries until 1966 differed from the current scenario (figure 2) when the City of Guelph annexed lands (figure 3) from both Guelph and Puslinch Townships, and before the amalgamation of Guelph and Eramosa Townships.



Figure 2 pre 1966 political boundaries - EA and Addendum Study Areas - GRCA mapping

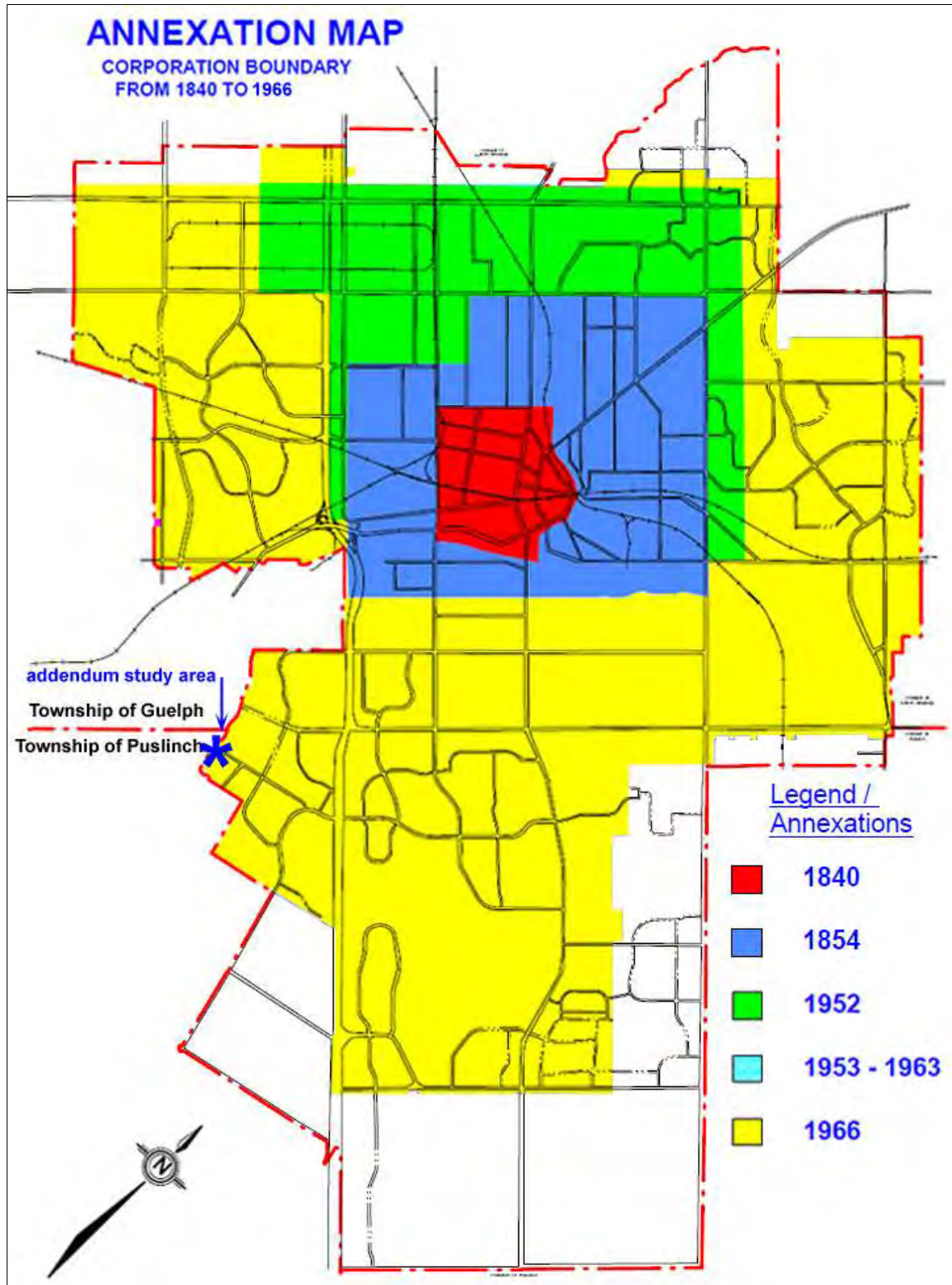


Figure 3 Annexations, City of Guelph 1840 to 1966 - adapted from: *Community by Design: Making Choices for Guelph Future, Opening Remarks* – Mayor Karen Farbridge, February 24, 2007

The North Side of Niska Road

The 1861 Leslie and Wheelock Map of the county of Wellington, Canada West (figure 4) shows the road allowance between Puslinch Township Concessions 5 and 6 being open at that time . Unterman McPhail (April

A historical map of a rural area, likely from the 19th century, showing land parcels and their owners. A green circle highlights a specific parcel owned by J.G. Grange, located near the intersection of a road and a river. Other owners include Thos. Saunders, John Howitt, E.F. Heath, David Sturton, John Porter, John Laurey, Robt. Porter, Charles, McWilliams, Rich. Neigle, John Howitt, Bryan Carroll, Marshall, Geo. Patters, Thos. Wetherald, Bryan Carroll, Jas. Marshall, Foster, Casper Stiffler, Thos. Foster, Hen. Foster, Jno. Howitt, Jno. V.W. Foster, Pat. Hughes, Jas. Carter, Jas. G. Husband, Jas. V. Carter, Howitt, Day, St. Piper, and Jno. Howitt. The map also shows a river, a road, and a bridge.

Figure 4 Addendum Study Area - from: Leslie and Wheelock Map 1861 *Township of Puslinch website*

In 1827, Felix Hanlon arrived with John Galt as one of his axe men, coming from County Monaghan, Ireland. On February 5, 1833 he purchased Lots 12, 13, 14, 15, and 16 on the Sixth Concession of Puslinch (north side of Niska Road). Lots 12 and 13 were sold in the early sixties to Mr. Ramsey for the purpose of establishing a saw mill, which operated here for several years.⁶

The 1861 Leslie and Wheelock map (figure 4) shows a saw mill on the G. J. Grange property, Lot 13. There is no record at this time of a Ramsey owning the property. On the 1877 County Atlas⁷ the property continues in the ownership of G. J. Grange. There is a building shown on the Hanlon Creek which might be the saw mill referenced in the *Annals of Puslinch*. The 1906 County Atlas⁸ shows the property being owned by John C. Crane,

⁶ *Annals of Puslinch 1850-1950*, <http://www.clarksoftomfad.ca/AnnalsofPuslinch1850-1950.htm>, 1950

⁷ *Historical Atlas of Waterloo & Wellington Counties, Ontario, Illustrated, 1881 - 1877*, H. Parsell & Co., Walker & Miles, Toronto edited by Ross Cumming, Port Elgin, ON July 1972.

⁸ *Historical Atlas of Wellington County*, Historical Atlas Publishing Co., Toronto, 1906, re-print 1972.

the same owner referred to in the next paragraph. No building is shown on this map, although there is reference to a shanty on the property in the *Annals of Puslinch* in next paragraph. The lands south of present day Niska Road are in the ownership of Thomas Saunders, and the lands north and in Guelph Township, in the name of Ben Budgeon.

*In the North-west corner of the Township of Puslinch with only a fence separating it from Guelph Township, lies the Downey School Section. The Town Line, running East and West between Puslinch and Guelph Townships, stops at the County Road. At one time this Town line was marked out for some distance but several years ago the Township sold it to the late John C. Crane; now, no trace of a road remains. Some of our older residents remember a shanty here in which Miss Johanna Lynch lived for several years.*⁹

Figures 5 and 6 combine the 1877 historical atlas maps and the 1906 historical atlas maps of Guelph and Puslinch Townships respectively. Reference to the settlement pattern of both townships in the vicinity of the Addendum Study Area is made in the *Annals of Puslinch* ...

*It is apparent that this section was settled from the North as well as the South. Many who made their way up from Hamilton settled in the Southern portion, while a few, who came with John Galt to Guelph, settled in the extreme North. The names available of those who came with John Galt are the Fosters, Hewitts, Hanlons and McQuillans, who settled in Guelph Township. On account of the year of their arrival, they were known as "The '27 Boys".*¹⁰

The South Side of Niska Road

Robert Buchanan was born in Paisley, Scotland in 1819. He came with his father to Upper Canada in 1849 and purchased 190 acres, Lots 11, 12 and 13, Concession 5 of Puslinch. His property on the banks of the Speed River was known as the Buchanan Homestead.¹¹ The Buchanan name is not depicted on the Leslie and Wheelock Map (1861). Both the Puslinch Township map in the 1877 Historical Atlas of the County of Wellington (figure 5) and the corresponding map in the 1906 Atlas (figure 6) show all the lands within the Addendum Study Area south of present day Niska Road in the possession of the Buchanan family and by 1906, the former Budgeon farm in adjacent Guelph Township is also in Buchanan family hands. The Buchanan residence is shown to the west of the Speed River on Lot 11, Concession 5 within the Addendum Study Area on both maps.

Robert Buchanan ... *was a man far above the ordinary and soon made himself felt in the community, where he became one of the most prosperous and influential citizens. ... He was one of the promoters and was President of the Puslinch Farmers' Club for many years. This was the initial Farmers' Institute in Ontario from which all of the others have taken pattern. His son, Walter W. followed in his footsteps, being ... President of the Puslinch Agricultural Society ... and has been a Director and Secretary and Treasurer of the Puslinch Farmers' Club and Co. Wellington Farmers' Institute ...*¹²

⁹ *Annals of Puslinch 1850-1950*, <http://www.clarksoftomfad.ca/AnnalsofPuslinch1850-1950.htm>, 1950

¹⁰ *Ibid*

¹¹ *Annals of Puslinch 1850-1950*, <http://www.clarksoftomfad.ca/AnnalsofPuslinch1850-1950.htm>, 1950

¹² *Historical Atlas of the County of Wellington, Ontario* Historical Atlas Publishing Co., Toronto 1906. Reprint by the Corporation of the County of Wellington, 1972, p. 17.

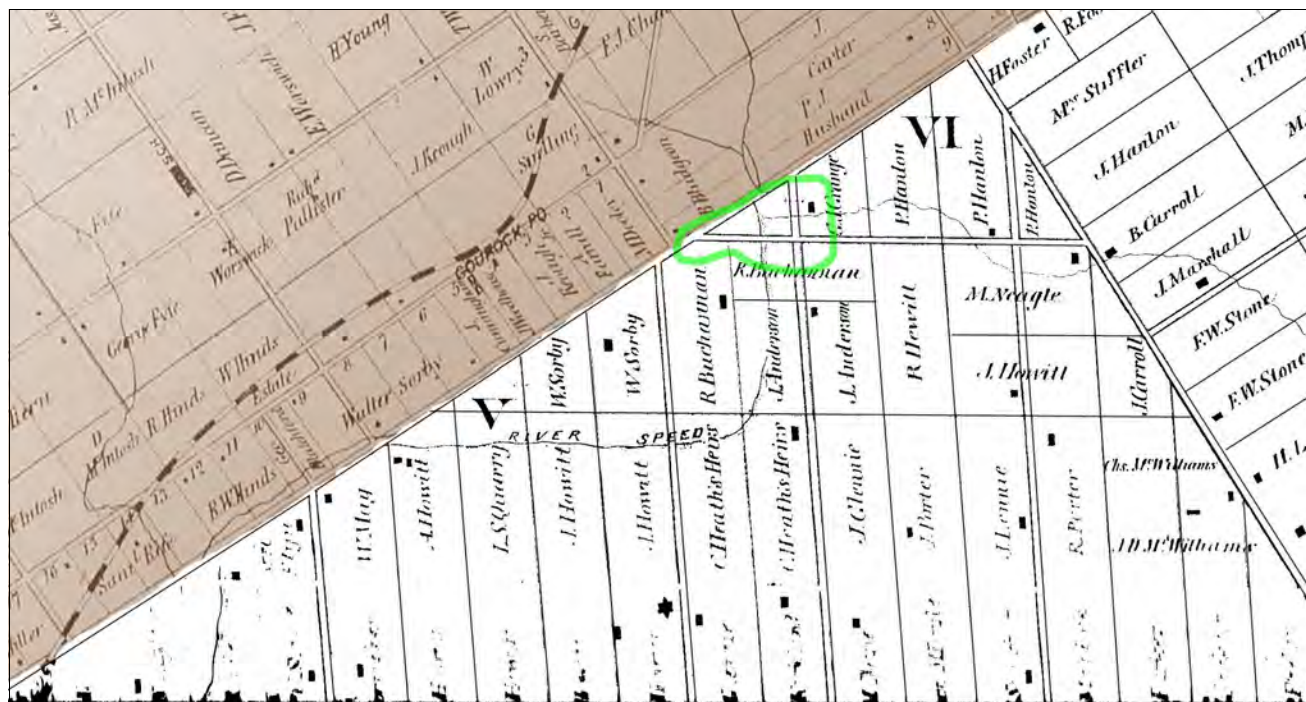


Figure 5 Addendum Study Areas - Guelph & Puslinch Townships 1877,
Historical Atlas of Waterloo & Wellington Counties, Ontario, Illustrated, 1881 - 1877

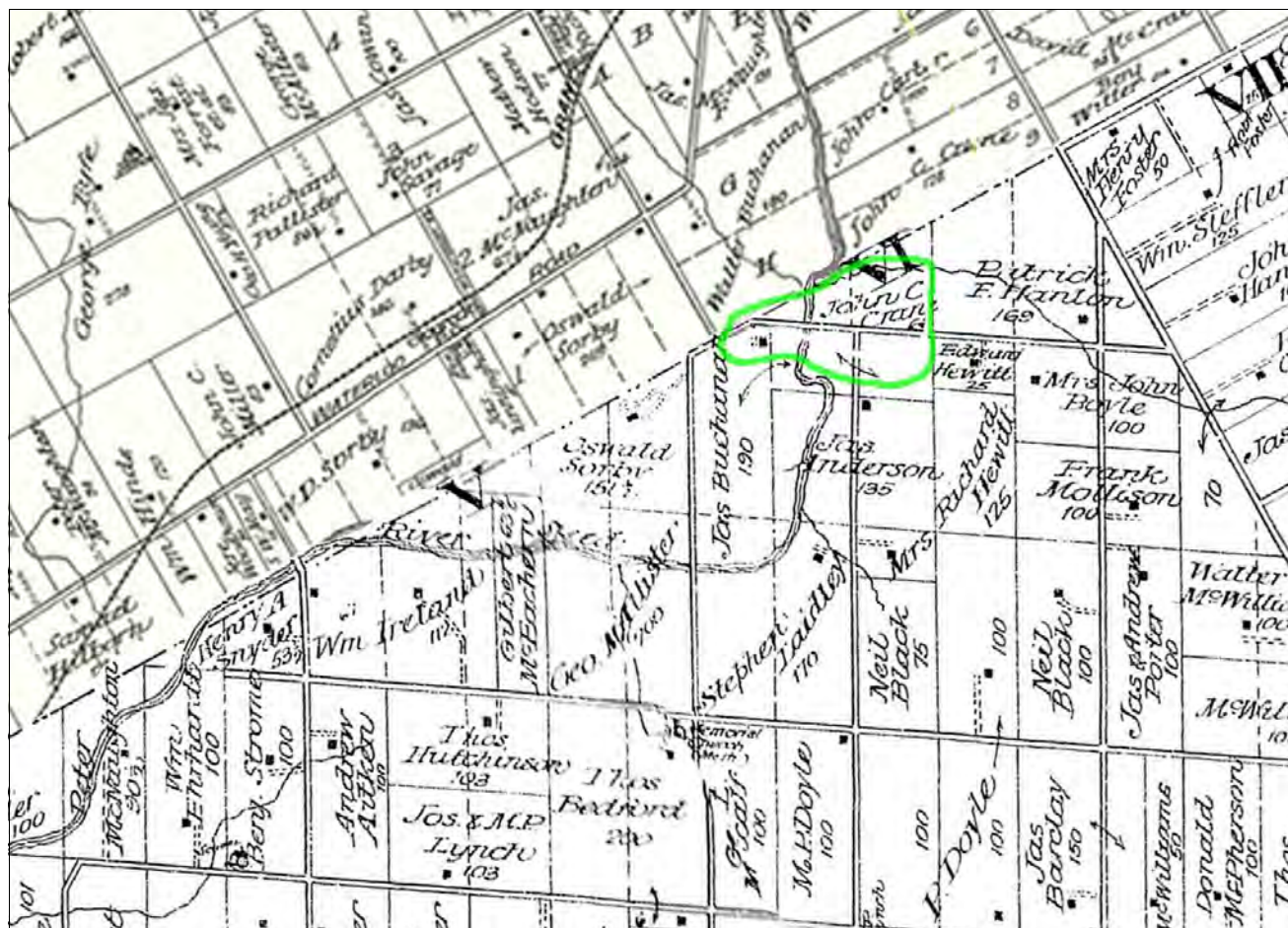


Figure 6 Addendum Study Area Guelph & Puslinch Townships, 1906
Historical Atlas of Wellington County, 1906

At the easterly end of the Addendum Study Area on Lot 13, Concession 5, the 1861 Leslie and Wheelock map (figure 4) shows the property belonging to Wm. Anderson. No buildings are shown, nor are any indicated on the 1877 map. By 1906, a house is indicated on the farm, then in the possession of Jas. Anderson¹³.

The 20th century

*In 1948, Horace G. Mack bought Lots 12 and 13, Concession 6, and developed the Niska Game Farm along Niska Road. After Mack's death in 1959, the Ontario Waterfowl Research Foundation bought the site and it became known as the Kortright Waterfowl Park. The Niska Wildlife Foundation, a charitable non-profit organization formed by interested citizens, took over the Ontario Waterfowl Research Foundation Park in 1976. The Foundation was responsible for the operation of Kortright Waterfowl Park (305 Niska Road), as well as developing park policy and raising the necessary funds for its operation. Public nature trails and parking were located on the north and south sides of Niska Road to the east of the Speed River. At the same time the Foundation took over the Kortright Waterfowl Park, the Grand River Conservation Authority acquired the lands along the Speed River. The Foundation operated the park until it was closed in June of 2005.*¹⁴

With the termination of the lease to the Foundation in 2014, the GRCA ... *intends to develop a master plan for the long-term use of the property, with input from the community and from the City of Guelph.*¹⁵

The road allowance between former Puslinch Township Concessions 5 and 6 was known as Kortright Road in the mid 20th century after the waterfowl park, and re-named Niska Road in 1986¹⁶, likely derived from the adjacent Niska Game Farm. Niska is the Cree word for Canada Goose. There have been a number of bridges over the Speed River at this location from the mid 19th century on. A one-span steel pony truss bridge pre-dated the current one-span, double truss Bailey bridge that was installed in 1974 after the previous bridge collapsed.

Appendix A of the April 2014 Unterman McPhail CHER provides topographic maps from 1935, 1973 and 2000 which depict the growth of the City of Guelph adjacent to the Addendum Study Area, the most recent being the development of Ptarmigan Drive in 1992. At the western end of the Study Area, modern homes have recently been built on the south side.

¹³ “James Anderson, known as the Laird of Puslinch, was an early resident of this Township. He sold the property about 1900 to Mr. E. S. Baker who now operates River Bend Camp on the premises.” *Annals of Puslinch 1850-1950*, <http://www.clarksoftomfad.ca/AnnalsofPuslinch1850-1950.htm>, 1950

¹⁴ *Cultural Heritage Evaluation Report with Photographic Documentation, Niska Road Bridge, Municipal Site No. 00001, (Lot 12, Concessions 5 & 6 Geographic Township of Puslinch), Class Environmental Assessment Study Niska Road Improvements City of Guelph, Ontario.* Unterman McPhail Associates April 2014, p. 4

¹⁵ Lovell, Jessica, “Kortright park no longer for the birds” , *Guelph Tribune*, Tuesday, April, 29, 2014

¹⁶ *Guelph, Origin of Street Names 1827 - 1997*, Ross W. Irwin, President Guelph Historical Society, January 1998, Guelph, ON, p. 47

2.2 Physical Characteristics and
Spatial Configuration of the Landscape

Figure 7 illustrates the existing landscape features of the Addendum Study Area. Niska Road traverses the Speed River valley with the river being crossed by a one-lane Bailey bridge. On the north and south sides of the road, from east to west, the Study Area is bordered by single family homes fronting on Ptarmigan Drive (figures 26 - 27). Niska Road descends into the Speed River valley in a series of terraces as can be seen via the one metre contours on Figure 7. The Ptarmigan Drive intersection with Niska Road is at the bottom of the first terrace (figures 28 - 29). Behind the houses are relatively flat, open, cultivated crop lands, actively farmed in 2014 (figures 30 - 31). Sparse hedge rows line both sides of Niska Road. In summer, views of the fields from the road would be partially limited, whereas in winter, relatively open views are afforded.

Pioneer Trail T's at Niska road at the bottom of the second terrace. South of the cultivated field just across the Puslinch Township line is the historic Steele/Anderson house (figures 10 - 11) and River Bend Park, a mobile home park in the flood plain of the Speed.

Progressing westward on either side of the road, immature, mixed deciduous/coniferous woodlands with numerous open spaces are the remnant of the former Kortright Waterfowl Park (KWP) (figures 32 - 34), and before that, farmland. Buildings, animal pens, boardwalks and trails on the north side are associated with that former land use. Chain link fences line both sides of the road adjacent these lands (figure 35). Views from the road are short, limited by the vegetation on either side. As much of it is coniferous, winter and summer views are both relatively short.

The river crossing affords views upstream and down and usually rewards the viewer with scenes of waterfowl on the river (figures 36 - 37). Views from an automobile are fleeting as the crossing is short and careful attention is required to negotiate the one-lane bridge while looking out for on-coming traffic. Pedestrian access is very dangerous as there is no accommodation for pedestrians



Figure 7

Landscape features - Addendum Study Area - GRCA mapping

or cyclists on the narrow bridge (figure 38).

The westerly climb out of the valley is much less steep and without the terracing of the east bank. Dense, mature mixed deciduous/coniferous woodlands flank both sides, limiting views to a few metres (figure 39).

Near the top of the slope the road turns to the left at about a 45 degree angle, finding its way on to the former Puslinch Township/Guelph Township Town Line (figure 40). This section of road is flanked by open cultivated fields, fairly well screened by mature trees and shrubs along the roads allowance. Summer views from the road would be very limited, while winter views are heavily filtered by the vegetation.

South of the road is the historic Buchanan homestead with its polychrome brick house and large bank barn (figures 13 - 17). Modern residences are located at the junction of Whitelaw Road and Niska Road. The junction is one of the few vantage points from which long views of the landscape can be had (figures 41 - 43).

Built heritage features in the Addendum Study Area include the Niska Road Bridge, subject of the April 2014 Unterman McPhail CHER; the Steele/Anderson house at Lot 13, Concession 5, Puslinch Township, on the Township's Inventory of Plaqued Sites; and the Buchanan homestead in Puslinch Township, Lot 11, Concession 5.

Cultural heritage landscape features include the remnant Puslinch/Guelph Town Line; the paths, boardwalks, bridges, *etc.* of the former Niska Waterfowl Park; the fence rows/hedge rows that line portions of the road and separate fields from one another; and the Speed River Trail.

Niska Road Bridge

The Niska Road Bridge is not municipally designated under the *Ontario Heritage Act (OHA)*. It is not included on a local heritage inventory of cultural heritage resources or a municipal heritage register adopted under the *OHA*. It is included in the publication, *Arch, Truss & Beam: The Grand River Watershed Heritage Bridge Inventory* (March 2013).

The April 2014 Unterman McPhail CHER provides the following "Statement of Cultural Heritage Value or Interest". *The Niska Road Bridge is the only example of a Bailey bridge identified within the City of Guelph, one of only two examples within the Grand River watershed, and a rare example of a Bailey Bridge remaining in road use within Southern Ontario. Developed during the Second World War for military applications, the Bailey bridge was later adapted to peacetime use. The double truss Bailey bridge structure on Niska Road has undergone some modifications but retains its dominant form and design character. Through its limestone abutments, concrete rubble retaining walls and Bailey bridge superstructure, the structure conveys aspects of bridge building activities at the site through the 19th and 20th centuries. Bridges play a critical role in the settlement of a community and the Niska Road Bridge site relates to the opening up of Puslinch Township for agricultural development in the mid 1800s. The bridge continues to provide critical linkages between the City of Guelph to the east and the City of Cambridge to the west. The one-lane bridge with wood deck is a well-known and familiar structure and is important in maintaining the rural character of the area. The Niska Road Bridge spans the Speed River that forms part of the Grand River's Canadian Heritage River designation.*¹⁷

¹⁷ Cultural Heritage Evaluation Report with Photographic Documentation, Niska Road Bridge, Municipal Site No. 00001, (Lot 12, Concessions 5 & 6 Geographic Township of Puslinch), Class Environmental Assessment Study Niska Road Improvements City of Guelph, Ontario. Unterman McPhail Associates April 2014, pp. 22 & 23



Figure 8 Niska Road bridge looking southwest



Figure 9 south elevation, Niska Road bridge
Unterman McPhail 2014, p. 16

Steele/Anderson farmhouse

This late 19th century white brick, Italianate farmhouse is not designated under the *OHA* as far as the author can determine. It is listed by the Township of Puslinch in their “Inventory of Plaques Sites”. With respect to plaqued sites, the Township’s Heritage Committee’s mandate is to: *record sites of heritage significance within the Township, award heritage plaques to those recognized as worthy of preservation, and record others for historical information only; encourage owners of plaqued sites to maintain these properties so that preservation continues to be realistic; comment on any zoning changes or demolition permits that apply to plaqued sites.*¹⁸ The house was associated in the 19th century with James Anderson.¹⁹



Figure 10 Lot 13, Con 5 Puslinch, Steele/Anderson House
Gordon Couling 1973 - 00239 Wellington County Museum



Figure 11 Lot 13, Con 5 Puslinch, Steele/Anderson House
Owen Scott 2015

The house is situated at the top of a hill with a commanding view of the Speed River valley

Figure 10 is a 1973 photograph taken by Gordon Couling. To the right is a January 2015 photograph (figure 11). Figure 12 is an Anderson family photograph taken on the property *circa* 1890s.

¹⁸ Township of Puslinch website. <http://www.puslinch.ca/en/our-government/Heritage-Committee.asp>

¹⁹ *Annals of Puslinch 1850-1950*, <http://www.clarksoftomfad.ca/AnnalsofPuslinch1850-1950.htm>, 1950

Figure 12: James Anderson, first President of the South Wellington Agricultural Society and known as the “Laird of Puslinch”, his wife Felicia Howitt, daughter of John Howitt, their son Andrew Anderson, and daughter Grace Anderson.²⁰



Buchanan homestead

Located in Puslinch Township, Lot 11, Concession 5, this late 19th century farmstead is not designated under the *OHA*, nor is it listed by the Township of Puslinch in its “Inventory of Plaques Sites”. The farmstead consists of a 2-storey polychrome brick house, a large bank barn with an unusual interior silo and typical farmstead plantings. It is heavily screened from the road, being almost invisible in summer because of the vegetation (figures 13 - 17).



Figure 13

Buchanan farmhouse, January 2015

²⁰ R. A. M. Stewart fonds, Guelph Public Library Archives. <http://www.archeion.ca/james-anderson-2>



Figure 14

Buchanan farmhouse
Unterman McPhail 2014, appendix B



Figure 15

Buchanan barn with interior silo



Figure 16

Buchanan farmstead from Niska Road, looking south

Remnant Puslinch/Guelph Town Line

The Town Line, running East and West between Puslinch and Guelph Townships, stops at the County Road. At one time this Town line was marked out for some distance but several years ago the Township sold it to the late John C. Crane; now, no trace of a road remains.²¹

On figure 17, the original Town Line which was marked out, but never opened as a travelled road is still visible in this 2010 airphoto.

²¹ *Annals of Puslinch 1850-1950*, <http://www.clarksoftomfad.ca/AnnalsofPuslinch1850-1950.htm>, 1950



Figure 17 Town Line between Puslinch and former Guelph Township still visible in 2010 GRCA airphoto

Former Kortright Waterfowl Park

Portions of the former Grange/Crane farm on the north side of Niska Road and Buchanan farm on the south side of the road were the Kortright Waterfowl Park, with waterfowl related activities dating from 1948 as the Niska Game Farm. These formerly cultivated lands have been allowed to naturally reforest with additional plantings of both exotic and native species. The east side of the River has a distinctly different character from the west, being more of a cultural landscape than a natural one. This can be clearly seen in figure 7.



Figure 18 Gordon Couling 1973

Fence rows/hedge rows

The Buchanan farmstead has a number of treed fence rows/hedge rows of different eras, running perpendicular to Niska Road. As well, Niska Road is lined on both sides with Sugar Maples, some planted in the 19th century, and numerous volunteer trees and shrubs along the Buchanan frontage and the north side of the original Town Line (figures 19 - 20).



Figure 19

original Town Line from Whitelaw Road looking east

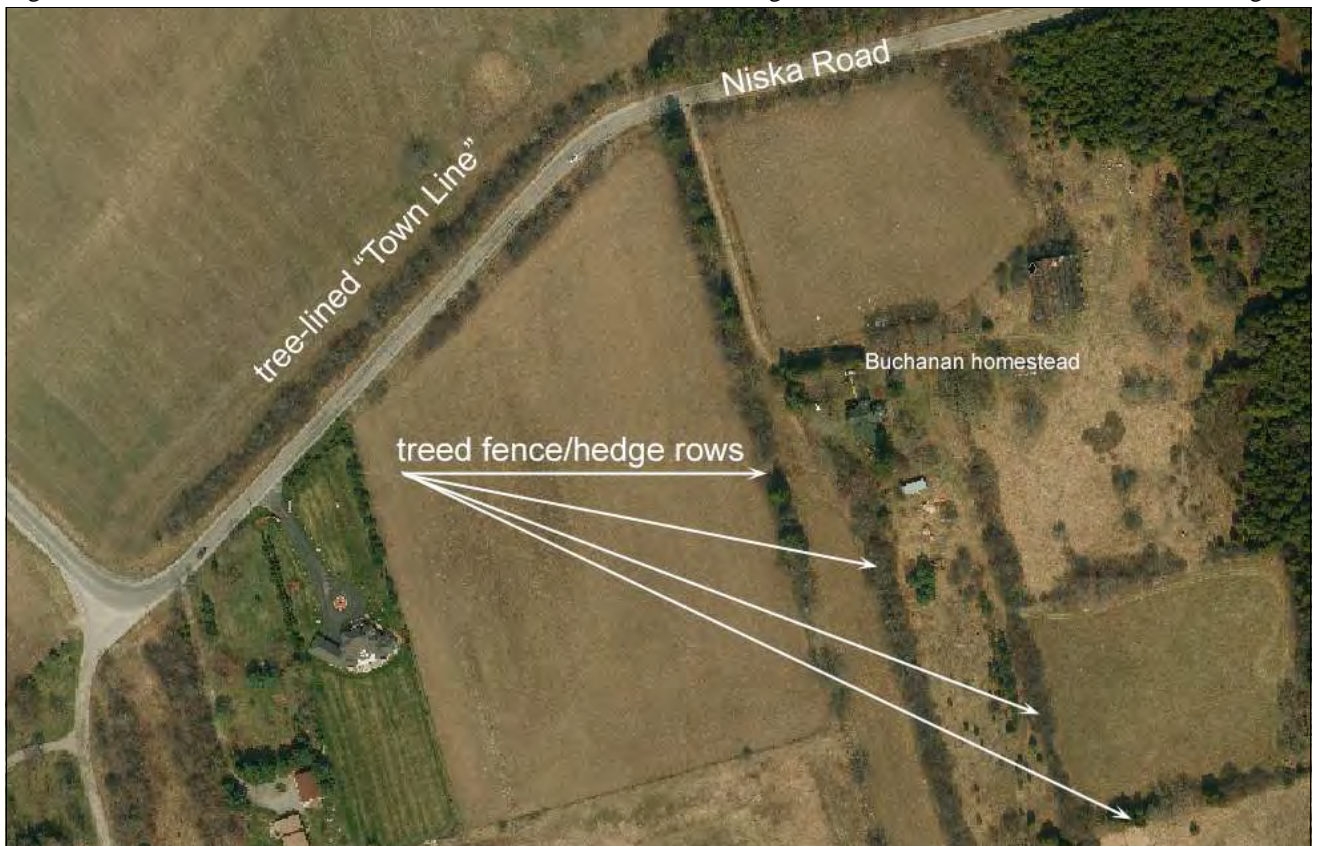


Figure 20

tree-lined Town Line and treed fence rows on Buchanan homestead

At the eastern end of the Addendum Study Area, the Niska Road right-of-way is sparsely treed, the mature trees of the 19th and early 20th centuries having succumbed to road reconstruction. Pioneer Trail, on the other hand, retains some of its mature Sugar Maples and sports numerous volunteers (Figures 21 - 22).



Figure 21

Pioneer Trail looking south from Niska Road



Figure 22 Eastern end of Study Area - roadway and fence row trees

Speed River Trail

The Speed River Trail starts at Wellington Street and is 17 km long from Guelph to Cambridge along the Speed River. It is maintained by the Guelph Hiking Trail Club (GHTC) which is a non-profit, charitable, volunteer organization founded in 1970.

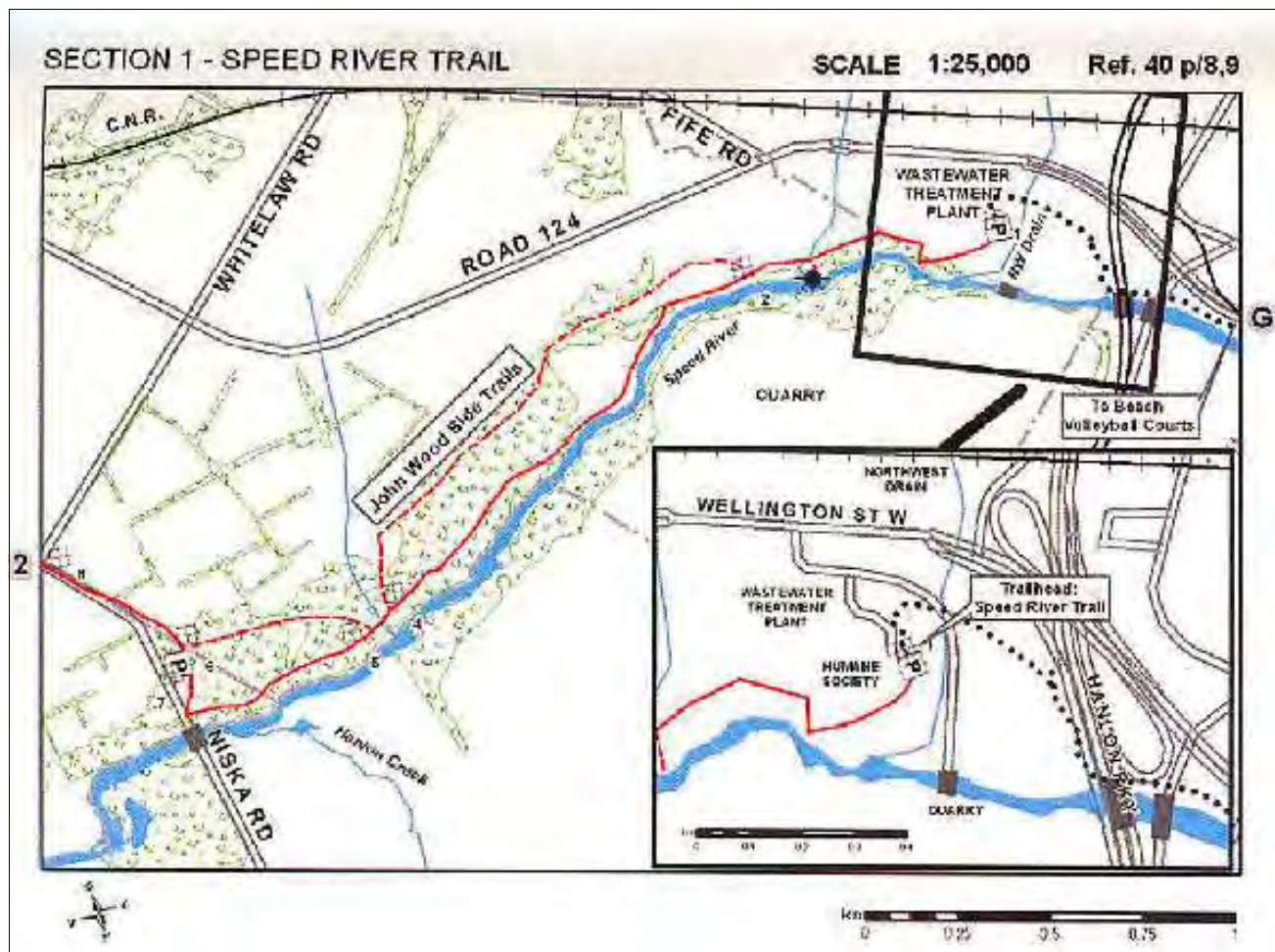
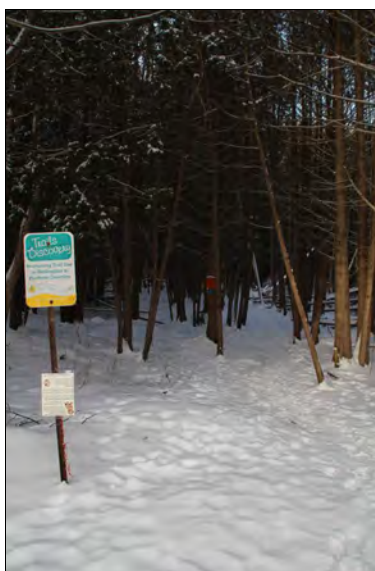


Figure 23 map - Speed River Trail from Wellington Street to Niska Road - <http://www.guelphhiking.com/maps.html>

Figures 24 and 25:
Speed River Trail access at Niska Road
west of the bridge and trail sign



Views and vistas

The following photographs illustrate views and vistas from and to Niska Road within the Addendum Study Area. Some are referenced earlier in this report.



Figure 26 Ptarmigan Drive north from Niska Road



Figure 27 Ptarmigan Drive south from Niska Road



Figure 28 Niska Road east from Ptarmigan at 1st terrace



Figure 29 Niska Road west from Ptarmigan



Figure 30 agricultural field north of Niska Road (east)



Figure 31 agricultural field south of Niska Road (east)



Figure 32 entrance to former Kortright Waterfowl Park



Figure 33 former parking area - KWP, at Pioneer & Niska



Figure 34 entrance to former Niska Game Farm / Kortright Waterfowl Park, now vehicle turnaround



Figure 35

Niska Road through former Kortright Waterfowl Park



Figure 36

Speed River upstream from Niska Road bridge



Figure 37

Speed River downstream from Niska Road bridge

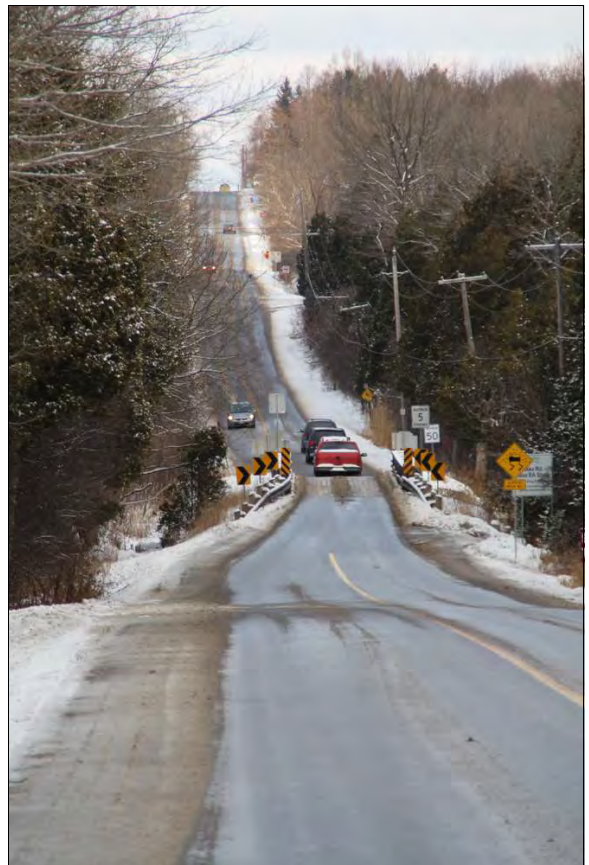


Figure 38 narrow one-lane bridge and busy road
- unsafe for pedestrians and cyclists



Figure 39

dense woodland on either side of Niska Road west of bridge



Figure 40

bend in Niska Road to align with original Town Line Road



Figure 41 5th Con. Puslinch and Town Line to City of Guelph - Gordon Couling, 1961, *Wellington County Museum*



Figure 42 5th Con. Puslinch and Town Line to City of Guelph - Gordon Couling, 1973, *Wellington County Museum*



Figure 43

5th Con. Puslinch and Town Line to City of Guelph - Owen Scott, 2015

2.3 Rationale for Boundaries of the Cultural Heritage Landscape

Although the landscape of the Addendum Study Area is relatively complex, this is mainly a result of topography, vegetation and political boundaries. There is a consistency that binds the various physical components and that is the 19th century settlement pattern and history, and the road that divides the landscape in two. Remnants of the 19th century remain in the form of fence rows, tree plantings, farm buildings, roads, etc.

Cultural heritage landscape: means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Aboriginal community. The area may involve features such as structures, spaces, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Examples may include, but are not limited to, heritage conservation districts designated under the Ontario Heritage Act; villages, parks, gardens, battlefields, mainstreets and neighbourhoods, cemeteries, trailways, viewsheds, natural areas and industrial complexes of heritage significance; and areas recognized by federal or international designation authorities (e.g. a National Historic Site or District designation, or a UNESCO World Heritage Site).²²

The Niska cultural heritage landscape is defined naturally by the Speed River, its valley and adjacent upland, and culturally by the settlement pattern and settlers who cleared the land and farmed it. The survey pattern is somewhat unusual in that two 19th century township surveys meet at peculiar angles, creating triangular and other odd-shaped parcels. Figure 44 suggests a boundary for the Niska cultural heritage landscape.

²² Provincial Policy Statement (PPS) 2014, p.40

Figure 44:
Suggested boundary-Cultural Heritage Landscape

The suggested boundary is partially based on the 19th century settlement pattern (1877). Within the boundary are two landowners from 1877: Buchanan and Grange (later Crane). The adjacent Anderson farm is also noted (all outlined in green on figure 44). Two farmsteads remain from the 1870s, Buchanan and Anderson. There is no evidence of the Grange / Crane farmstead, these lands being occupied in the 20th century by the Niska Game Farm and later the Kortright Waterfowl Park. Political boundaries have changed in the interim; Guelph Township has amalgamated with Eramosa Township to become Guelph-Eramosa Township. The City of Guelph has annexed portions of Puslinch Township as indicated on figure 44. Because the suggested CHL boundary crosses political boundaries, the Township of Puslinch and City of Guelph components are shown. The easterly road allowance of Pioneer Trail forms the boundary south of Niska Road and the open field/woodland interface, the boundary on the north side. The original Guelph Township/Puslinch Township boundary is the northerly edge, while the westerly hedgerow of the Buchanan farmstead forms the west boundary south of Niska Road. The southerly boundary is the City of Guelph/Puslinch Township boundary or the lot line between the 1877 Buchanan and Anderson farms. The farm fields to the east and west of the river and woodlands that retain no evidence (other than the Niska Road bridge) of early settlement in the form of buildings, fence rows, *etc.* are not included for that reason. Similarly, the historically and architecturally significant Steele/Anderson farmhouse is not included as it would be an outlier.



2.4 Forms of Recognition and/or Protection

The lands within the suggested CHL boundary are currently protected by a number of policies, not for their heritage attributes, but rather for their natural resource attributes. Figure 45 is an overlay of the regulated areas in the Addendum Study Area. Almost entirely coincident with the suggested CHL boundary within the City of Guelph is the GRCA regulated area. Within that area are the Speed River and Hanlon Creek flood plains which are part of the City of Guelph Natural Heritage System. In this case, the System is a “One Zone Flood Plain”²³ prohibiting development. The System also carries further designations of “Significant Natural Area”, “Significant Wildlife Area”, “Significant Valleyland”, “Significant Woodland”, Provincially Significant Wetland”, and “Deer Crossing Area”. This landscape is well-protected from any form of development. Lands within the suggested CHL boundary on the Puslinch side are similarly protected by the GRCA regulated area and the *County of Wellington Official Plan* which designates the flood plain as “Core Greenlands” and prohibits development therein. The remaining wooded GRCA regulated area is designated “Greenlands” where no development will be approved unless the County is satisfied that the Greenland policies are met.

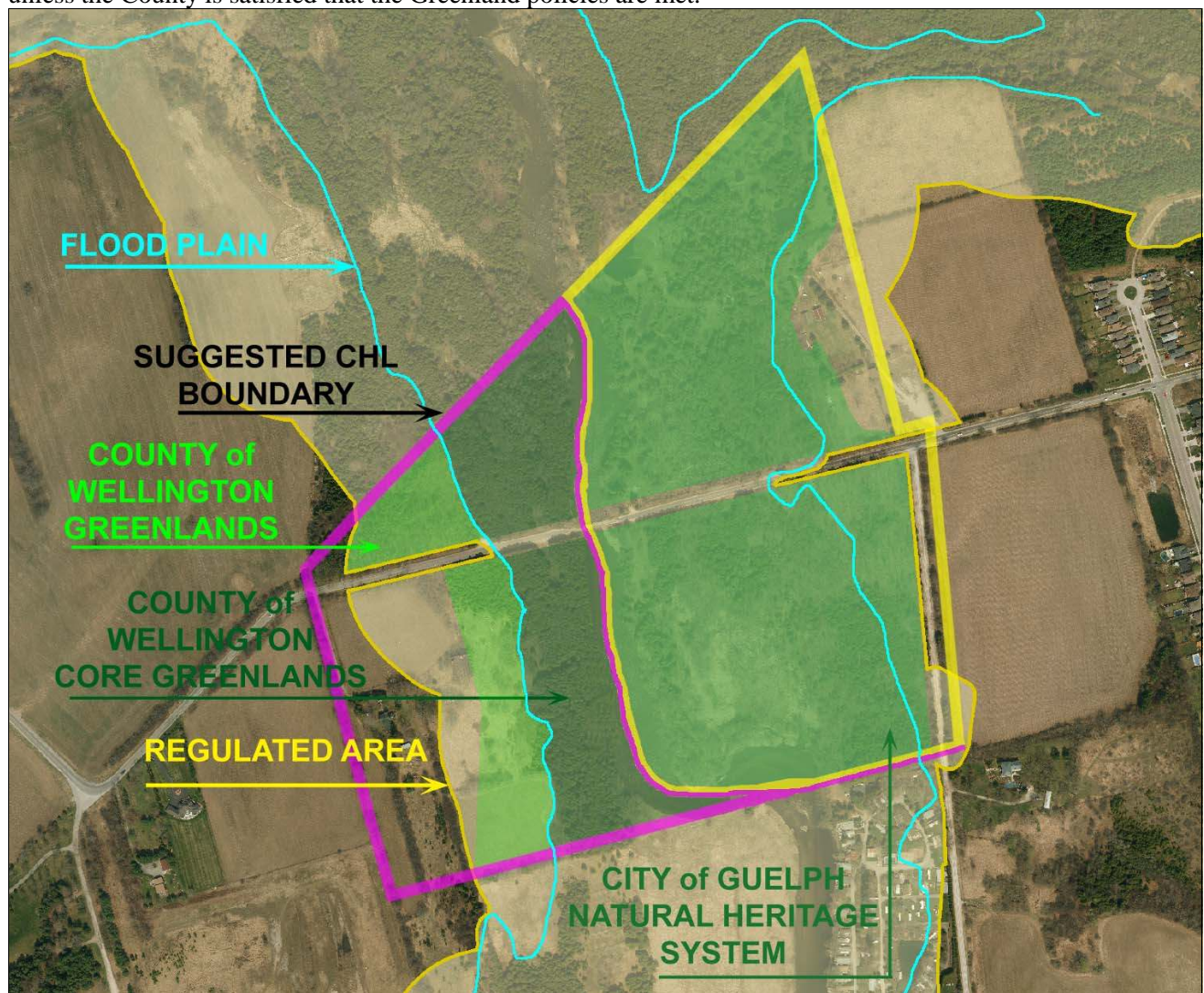


Figure 45 Regulated areas and the suggested CHL boundary - GRCA, City of Guelph and County of Wellington mapping

²³ “The One Zone flood plain areas of the City are located within the ‘Significant Natural Areas’ land use designation. No development is permitted within the One Zone flood plain areas of the City.” *City of Guelph Official Plan*

The only City of Guelph portion of the CHL not protected by the GRCA Regulated Area or City Significant Natural Area is the Pioneer Trail right-of-way (figure 21). The hedgerow in this right-of-way would be considered for retention/ integration of the hedgerow through a development application process (should one be made) from a Urban Forest/Tree protection perspective regardless of whether or not it has cultural heritage value. This consideration would occur through the Environmental Impact Study (EIS) and the Tree Inventory and Preservation Plan that would be prepared as part of a development application.²⁴

2.5 Cultural Heritage Landscape Evaluation

The criteria outlined in *Ontario Regulation 9/06* are used in this evaluation

Criterion 1 - design value or physical value - to satisfy this criterion the property should:

- *illustrate or exemplify a constructed landscape that is typical of a particular group, time or place;*
- *be unique or rare (the only one of its kind or a prototype, or one of a few in number today due to subsequent loss);*
- *be representative (serving as a portrayal or symbol); and/or*
- *be an early example (in the context of time and place).*

Much of the constructed landscape consists of farmsteads and croplands that are consistent with the 19th century landscape, whereas some of the landscape has been allowed to revert to nature and is in the process of reforesting itself. The landscape is unique in that part of it is the only remnant of a waterfowl park in the area. It is a representative and early example of a settlement in Puslinch Township that has endured. This criterion is satisfied.

Criterion 2 - historic or associative value - to satisfy this criterion the property must meet two tests, namely:

- *the association is direct - the property should exemplify or have strong evidence of its connection to a theme, event, belief, person, activity, organization or institution; and*
- *it is significant to the community – because a theme, event, belief, person, activity, organization or institution has made a strong, noticeable or influential contribution to the evolution or pattern of settlement and development in the community. To be significant it should offer new knowledge or a greater understanding of particular aspect of the community's history or the history of the culture, or contribute to a comparative analysis of similar properties.*

The landscape has a direct association with persons and organizations who were important to the community. Robert Buchanan was one of the promoters and President of the Puslinch Farmers' Club, the initial Farmers' Institute in Ontario. His son, Walter W. was President of the Puslinch Agricultural Society and a Director and Secretary and Treasurer of the Puslinch Farmers' Club and County of Wellington Farmers' Institute. The Kortright Waterfowl Park and Niska Research Centre once held the largest population of captive waterfowl anywhere in North America, and welcomed 45,000 paying visitors each year. The facility's research and breeding program raised about 1,000 ducklings, goslings, and cygnets annually, birds sold to repopulate stock in private

²⁴ pers. com., April Nix, Environmental Planner, City of Guelph, February 4, 2015

and public areas. It was named in honour of conservationist and author Dr. Francis Kortright.^{25 26} Adjacent lands include those of James Anderson, first President of the South Wellington Agricultural Society, known as the “Laird of Puslinch”.

This criterion is satisfied.

Criterion 3 - contextual value - to satisfy this criterion the property:

- *needs to be in an area that has a unique or definable character and it is desirable to maintain that character and consideration should be given as to what would happen to the character of the area if the property was considerably altered or lost;*
- *needs to have a relationship to its broader context (physical, functional, visual, historical) that is important to understand the meaning of the property and/or its context.*

The character of the area is definable, and if the physical characteristics that assist in understanding the meaning of the properties it were not maintained, the character would be lost. This criterion is satisfied.

The cultural heritage landscape identified in this report meets the criteria of *Ontario Regulation 9/06*; thus it is a significant cultural heritage landscape.

3.0 HERITAGE IMPACT ASSESSMENT

3.1 Description of the Proposed Undertaking and Potential Impact of the Proposal on the Resource

This heritage impact assessment is part of the planning and design process for a municipal roads project subject to a Class Environmental Assessment. A preferred alternative undertaking has yet to be determined as of the date of this Addendum report; however, should it be decided that road improvements and/or a replacement bridge are preferred, the following recommendations and mitigating measures are put forth.

4.0 RECOMMENDATIONS and MITIGATING MEASURES

The cultural heritage landscape meets the criteria of *Ontario Regulation 9/06* and is a significant cultural heritage landscape. It is located in two adjacent municipalities. No evidence, other than the Niska Road bridge, of early settlement in the form of buildings, fence rows, *etc.* is extant in the City of Guelph portion of the CHL. Adequate protection of the existing landscape within the suggested CHL boundary is afforded by numerous Provincial, Conservation Authority, City and County of Wellington policies. It is therefore recommended that the CHL need not be designated under the Ontario Heritage Act in order to conserve its integrity. Rather, the existing policies

²⁵ O’Flanagan, Rob “Police supervise work at Guelph waterfowl park”, *Guelph Mercury*, September 22, 2014

²⁶ Dr. Francis H. Kortright (1887–1972), was an engineer, businessman, author and dedicated conservationist. He was the author of *The Ducks, Geese and Swans of North America* and *Scientific Descriptions, Identifications, and Life Stories of Ducks, Geese and Swans in North America and Europe*. As President of the Toronto Sportsmen’s Association, Dr. Kortright, with the help of TSA members, founded the Canadian National Sportsmen’s Show in 1948. The Show has raised over 29 million dollars for conservation, wildlife restoration, outdoor education, and special projects in Canada. The Toronto Region Conservation Authority’s Kortright Centre is also named in his honour as is the Kortright Reading Room in McLaughlin Library at the University of Guelph.

will suffice with the addition of the following caveats / recommendations.

Should Niska Road be improved within the City boundaries from Ptarmigan Drive to and across the Speed River, the following recommendations / mitigating measures are provided.

1. From a visual perspective, the road cross section from Pioneer Trail to the River should remain a rural cross section, *i.e.* roadside ditches or swales with no curb or gutter; however, because the road is perched higher than the natural landscape on either side, constructing a rural cross-section to current road design standards would require a greater intrusion into the landscape than a curb and gutter profile. Therefore, a curb and gutter design may be a better fit.
2. Should development be approved for the farm fields north and south of Niska Road west of Ptarmigan, views from Niska Road of the CHL should be carefully considered.
3. Native tree plantings in the Niska Road right-of-way that direct views from the Ptarmigan-Niska intersection to the valley should be provided.
4. Should Pioneer Trail be improved in the future to provide access to development in the farm field adjacent, its rural cross section and the vegetation in the east side of the right-of-way should be retained / conserved. The view from and to Niska Road is one of the attributes of the CHL (see figures 21 and 33).
5. If the Niska Road bridge is to be replaced, because it has been determined that it is of local cultural heritage value or interest; because it is in relatively good condition; and because it is a Bailey Bridge, every effort should be made to find a suitable relocation site, preferably in the City or adjacent townships.
6. Provision should be made for pedestrians and cyclists in the road improvement and bridge plans, preferably off-road and on one side only to limit intrusion into the CHL and natural landscape. Currently, the exceptional views of the river and its waterfowl are unattainable at peak traffic flow times because there are no shoulders and the bridge cannot accommodate a vehicle and pedestrians or cyclists at the same time. Views from an automobile are fleeting at best because of the attention required of drivers negotiating the narrow one-lane bridge, especially with oncoming traffic.
7. The information in this report should be shared with the public through the City's website, the Guelph Public Library, Puslinch Township Library and Wellington County Library. It should also be shared with the Puslinch Heritage Committee.
8. Further research should be conducted on the GRCA / former Kortright Waterfowl Park lands when it is safe to do so to determine if there may be remnants of historical features or structures on the property such as the "Ramsey" saw mill of the 1860s.

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Provincial Policy Statement (PPS) 2014, Province of Ontario

R. A. M. Stewart fonds, Guelph Public Library Archives. <http://www.archeion.ca/james-anderson-2>

Township of Puslinch website. <http://www.puslinch.ca/en/our-government/Heritage-Committee.asp>

APPENDIX 1 - Report Author's Qualifications

OWEN R. SCOTT, OALA, FCSLA, CAHP

Education:

Master of Landscape Architecture (M.L.A.) University of Michigan, 1967

Bachelor of Science in Agriculture (Landscape Horticulture), (B.S.A.) University of Guelph, 1965

Professional Experience:

1965 - present President, CHC Limited, Guelph, Ontario
1977 - present President, The Landplan Collaborative Ltd., Guelph, Ontario
1977 - 1985 Director, The Pacific Landplan Collaborative Ltd., Vancouver and Nanaimo, BC
1975 - 1981 Editor and Publisher, *Landscape Architecture Canada*, Ariss, Ontario
1969 - 1981 Associate Professor, School of Landscape Architecture, University of Guelph
1975 - 1979 Director and Founding Principal, Ecological Services for Planning Limited, Guelph, Ontario
1964 - 1969 Landscape Architect, Project Planning Associates Limited, Toronto, Ontario

Historical Research, Heritage Landscape Planning and Restoration Experience and Expertise

Current Professional and Professional Heritage Associations Affiliations:

Member: Alliance for Historic Landscape Preservation (AHLP)

Member: Canadian Association of Heritage Professionals (CAHP)

Member: Ontario Association of Landscape Architects (OALA)

Fellow: Canadian Society of Landscape Architects (FCSLA)

Community and Professional Society Service (Heritage):

Director: Canadian Association of Heritage Professionals (CAHP), 2002 - 2003

Member: Advisory Board, Architectural Conservancy of Ontario, 1980 - 2002

Member: City of Guelph Local Architectural Conservation Advisory Committee (LACAC), 1987 - 2000 (Chair 1988 - 1990)

Member: Advisory Council, Centre for Canadian Historical Horticultural Studies, 1985 - 1988

Personal and Professional Honours and Awards (Heritage):

Mike Wagner Award	2013	Heritage Award - Breithaupt Block, Kitchener, ON
People's Choice Award	2012	Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON
Award of Excellence	2012	Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON
National Award	2009	Heritage Canada Foundation National Achievement, Alton Mill, Alton, ON
Award of Merit	2009	Canadian Association of Heritage Professionals Awards, Alton Mill, Alton, ON
Award	2007	Excellence in Urban Design Awards, Heritage, Old Quebec Street, City of Guelph, ON
Award	2001	Ontario Heritage Foundation Certificate of Achievement
Award	1998	Province of Ontario, Volunteer Award (10 year award)
Award	1994	Province of Ontario, Volunteer Award (5 year award)
Regional Merit	1990	Canadian Society of Landscape Architects (CSLA), Britannia School Farm Master Plan
National Honour	1990	CSLA Awards, Confederation Boulevard, Ottawa
Citation	1989	City of Mississauga Urban Design Awards, Britannia School Farm Master Plan
Honour Award	1987	<i>Canadian Architect</i> , Langdon Hall Landscape Restoration, Cambridge, ON
Citation	1986	<i>Progressive Architecture</i> , The Ceremonial Routes (Confederation Boulevard), Ottawa,
National Citation	1985	CSLA Awards, Tipperary Creek Heritage Conservation Area Master Plan, Saskatoon, SK
National Merit	1984	CSLA Awards, St. James Park Victorian Garden, Toronto, ON
Award	1982	Ontario Ministry of Municipal Affairs Ontario Renews Awards, Millside, Guelph, ON

Selected Heritage Publications:

- Scott, Owen R., The Southern Ontario "Grid", *ACORN* Vol XXVI-3, Summer 2001. *The Journal of the Architectural Conservancy of Ontario*.
- Scott, Owen R. *19th Century Gardens for the 20th and 21st Centuries*. Proceedings of "Conserving Ontario's Landscapes" conference of the ACO, (April 1997). Architectural Conservancy of Ontario Inc., Toronto, 1998.
- Scott, Owen R. *Landscapes of Memories, A Guide for Conserving Historic Cemeteries*. (19 of 30 chapters) compiled and edited by Tamara Anson-Cartright, Ontario Ministry of Citizenship, Culture and Recreation, 1997.
- Scott, Owen R. Cemeteries: A Historical Perspective, *Newsletter, The Memorial Society of Guelph*, September 1993.
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- Scott, Owen R. guest editor, *ACORN*, Vol. XIV-2, Summer 1989. Cultural Landscape Issue, Newsletter of the ACO.
- Scott, Owen R. Cultivars, pavers and the historic landscape, *Historic Sites Supplies Handbook*. Ontario Museum Association, Toronto, 1989. 9 pp.
- Scott, Owen R. Landscape preservation - What is it? *Newsletter, American Society of Landscape Architects - Ontario Chapter*, vol. 4 no.3, 1987.
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- Scott, Owen R. Utilizing History to Establish Cultural and Physical Identity in the Rural Landscape. *Landscape Planning*, Elsevier Scientific Press, Amsterdam, 1979. Vol. 6, No. 2, pp. 179-203.
- Scott, Owen R. Changing Rural Landscape in Southern Ontario. *Third Annual Proceedings Agricultural History of Ontario Seminar (1978)*. June 1979. 20 pp.
- Scott, Owen R., P. Grimwood, M. Watson. George Laing - Landscape Gardener, Hamilton, Canada West 1808-1871. *Bulletin, The Association for Preservation Technology*, Vol. IX, No. 3, 1977, 13 pp. (also published in *Landscape Architecture Canada*, Vol. 4, No. 1, 1978).
- Scott, Owen R. The Evaluation of the Upper Canadian Landscape. Department of Landscape Architecture, University of Manitoba. 1978. (Colour videotape).

Following is a **representative listing of some of the many heritage consultations undertaken by Owen R. Scott** in his capacity as a landscape architect with Project Planning Associates Ltd., as principal of Owen R. Scott & Associates Limited, as principal of The Landplan Collaborative Ltd., and principal of CHC Limited.

- N Alton Mill Landscape, Caledon, ON
- N Belvedere Terrace - Peer Review, Assessment of Proposals for Heritage Property, Parry Sound, ON
- N Black Creek Pioneer Village Master Plan, Toronto, ON
- N Britannia School Farm Master Plan, Peel Board of Education/Mississauga, ON
- N Confederation Boulevard (Sussex Drive) Urban Design, Site Plans, NCC/Ottawa, ON
- N Swift Current CPR Station Gardens condition report and feasibility study for rehabilitation/reuse, Swift Current, SK
- N Cruickston Park Farm - Cultural Heritage Resources Study, Cambridge, ON
- N Doon Heritage Crossroads Master Plan and Site Plans, Region of Waterloo/Kitchener, ON
- N Downtown Guelph Private Realm Improvements Manual, City of Guelph, ON
- N Downtown Guelph Public Realm Plan, City of Guelph, ON
- N Dundurn Castle Landscape Restoration Feasibility Study, City of Hamilton, ON
- N Elam Martin Heritage Farmstead Master Plan, City of Waterloo, ON
- N Exhibition Park Master Plan, City of Guelph, ON
- N Feasibility Study for a Heritage Resource Centre, Regional Municipality of Waterloo, ON
- N George Brown House Landscape Restoration, Toronto, ON
- N Government of Ontario Light Rail Transit Route Selection, Cultural and Natural Resources Inventory for Environmental Assessment, Hamilton/Burlington, ON
- N Grand River Corridor Conservation Plan, GRCA/Regional Municipality of Waterloo, ON

- N Hespeler West Secondary Plan - Heritage Resources Assessment, City of Cambridge, ON
- N John Galt Park, City of Guelph, ON
- N Judy LaMarsh Memorial Park Master Plan, NCC/Ottawa, ON
- N Lakewood Golf Course Cultural Landscape Assessment, Tecumseh, ON
- N Landfill Site Selection, Cultural Heritage Inventory for Environmental Assessment, Region of Halton, ON
- N Langdon Hall Gardens Restoration and Site Plans, Cambridge, ON
- N MacGregor/Albert Heritage Conservation District Study and Plan, City of Waterloo, ON
- N Museum of Natural Science/Magnet School 59/ Landscape Restoration and Site Plans, City of Buffalo, NY
- N Muskoka Pioneer Village Master Plan, MNR/Huntsville, ON
- N Peel Heritage Centre Adaptive Re-use, Landscape Design, Brampton, ON
- N Phyllis Rawlinson Park Master Plan (winning design competition), Town of Richmond Hill, ON
- N Prime Ministerial Precinct and Rideau Hall Master Plan, NCC/Ottawa, ON
- N Queen/Picton Streets Streetscape Plans, Town of Niagara-on-the-Lake, ON
- N Regional Heritage Centre Feasibility Study and Site Selection, Region of Waterloo, ON
- N Rockway Gardens Master Plan, Kitchener Horticultural Society/City of Kitchener, ON
- N South Kitchener Transportation Study, Heritage Resources Assessment, Region of Waterloo, ON
- N St. George's Square, City of Guelph, ON
- N St. James Park Victorian Garden, City of Toronto, ON
- N Tipperary Creek (Wanuskewin) Heritage Conservation Area Master Plan, Meewasin Valley Authority, Saskatoon, SK
- N University of Toronto Heritage Conservation District Study, City of Toronto, ON
- N Waterloo Valleylands Study, Heritage and Recreational Resources mapping and policies, Region of Waterloo
- N Woodside National Historic Park Landscape Restoration, Parks Canada/Kitchener, ON
- N 255 Geddes Street, Elora, ON, heritage opinion evidence - Ontario Superior Court of Justice

Heritage Impact Assessments (HIA), Heritage Impact Statements (HIS), Cultural Heritage Resource Impact Assessments (CHRIA), Cultural Heritage Evaluation Reports (CHER), and Heritage Conservation Plans:

- N Acton Quarry Cultural Heritage Landscape & Built Heritage Study & Assessment Peer Review, Acton, ON
- N 33 Arkell Road Heritage Impact Assessment, Guelph, ON
- N Barra Castle Heritage Impact Assessment, Kitchener, ON
- N Biltmore Hat Factory Heritage Impact Assessment, Guelph, ON
- N 140 Blue Heron Ridge Heritage Impact Assessment, Cambridge, ON
- N 25 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- N 51 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- N 51 Breithaupt Street Heritage Conservation Plan, Kitchener, ON
- N Bridge #20 Cultural Heritage Evaluation Report & Heritage Impact Assessment, Blandford-Blenheim Township, ON
- N Bridge #25 Cultural Heritage Evaluation Report & Heritage Impact Assessment, Blandford-Blenheim Township, ON
- N 215 Broadway Street Heritage Impact Statement, Mississauga, ON
- N Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment, Cambridge, ON
- N 27-31 Cambridge Street, Heritage Impact Assessment, Cambridge, ON
- N 3075 Cawthra Road Heritage Impact Statement, Mississauga, ON
- N City Centre Heritage Impact Assessment, Kitchener, ON
- N 175 Cityview Drive Heritage Impact Assessment, Guelph, ON
- N Cordingley House Heritage Impact Statement, Mississauga, ON
- N 264 Crawley Road Heritage Impact Assessment, Guelph, ON
- N 31-43 David Street (25 Joseph Street) Heritage Impact Assessment, Kitchener, ON
- N 35 David Street (Phase II) Heritage Impact Assessment, Kitchener, ON
- N 24, 26, 28 and 32 Dundas Street East Heritage Impact Statement, Mississauga, (Cooksville), ON
- N 1261 Dundas Street South Heritage Impact Assessment, Cambridge, ON
- N 172 - 178 Elizabeth Street Heritage Impact Assessment, Guelph, ON
- N 3 - 7 Gordon Street Heritage Impact Assessment, Guelph, ON
- N Grey Silo Golf Course/Elam Martin Farmstead Heritage Impact Assessment, City of Waterloo, ON
- N GRCA Lands, 748 Zeller Drive Heritage Impact Assessment Addendum, Kitchener, ON
- N Hamilton Psychiatric Hospital Conservation Plan, for Infrastructure Ontario, Hamilton, ON
- N Hancock Woodlands Cultural Heritage Assessment and Heritage Impact Statement, City of Mississauga, ON

- N Harrop Barn Heritage Conservation Plan, Milton, ON
- N Hart Farm Heritage Impact Assessment, Guelph, ON
- N Irvine Street (Watt) Bridge Cultural Heritage Evaluation Report, Township of Centre Wellington, ON
- N 9675, 9687, 9697 Keele Street Heritage Impact Assessment, City of Vaughan (Maple) ON
- N Kip Co. Lands Developments Ltd. Cultural Heritage Resource Impact Assessment - Woodbridge Heritage Conservation District, City of Vaughan (Woodbridge) ON
- N 117 Liverpool Street Heritage Impact Assessment, Guelph, ON
- N 30 - 40 Margaret Avenue Heritage Impact Assessment, Kitchener, ONN
- N 2610, 2620 and 2630 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- N 4067 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- N 1245 Mona Road, Heritage Impact Statement, Mississauga, ON
- N 15 Mont Street, Heritage Impact Assessment, Guelph, ON
- N Proposed Region of Waterloo Multimodal Hub at 16 Victoria Street North, 50 & 60 Victoria Street North, and 520 & 510 King Street West, Heritage Study and Heritage Impact Assessment, Kitchener, ON
- N 6671 Ninth Line Heritage Impact Statement, Cordingley House Restoration & Renovation, Mississauga, ON
- N 324 Old Huron Road Heritage Impact Assessment, Kitchener, ON
- N 40 Queen Street South Heritage Impact Statement, Mississauga, (Streetsville), ON
- N Rockway Holdings Limited Lands north of Fairway Road Extension Heritage Impact Assessment, Kitchener, ON
- N 53 Surrey Street East and 41, 43, 45 Wyndham Street South Cultural Heritage Assessment, Guelph, ON
- N Thorny-Brae Heritage Impact Statement, Mississauga, ON
- N University of Guelph, Trent Institute Cultural Heritage Resource Assessment, Guelph, ON
- N University of Guelph, 1 and 10 Trent Lane Cultural Heritage Resource Assessments, Guelph, ON
- N University of Guelph, Gordon Street Houses, Heritage Impact Assessment, Guelph, ON
- N Uno Park Road Bridge, Cultural Heritage Evaluation Report and Heritage Impact Assessment, Harley Township, ON
- N Victoria Park Proposed Washroom Cultural Heritage Impact Assessment, Kitchener, ON
- N 927 Victoria Road South Heritage Impact Assessment, Guelph, ON
- N Winzen Developments Heritage Impact Assessment, Cambridge, ON
- N 1123 York Road Heritage Impact Assessment, Guelph, ON

Expert Witness Experience:

Owen R. Scott has been called as an expert witness at a number of hearings and trials. These include **Ontario Municipal Board Hearings, Conservation Review Board Hearings, Environmental Assessment Board** and **Environmental Protection Act Board Hearings**, and civil and criminal trials.



Heritage Guelph – April 13, 2015

“THAT Heritage Guelph receive the report titled “Cultural Heritage Evaluation Report with Photographic Documentation, Niska Road Bridge, Municipal Site No.00001 (Lot 12, Concessions 5 & 6 Geographic Township of Puslinch), Class Environmental Assessment Study, Niska Road Improvements, City of Guelph, Ontario” (Unterman & McPhail Associates April 2014), and the report titled “Niska Road Cultural Heritage Landscape Addendum” (CHC Limited, February 5, 2015) as submitted to the City of Guelph for a Class Environmental Assessment (EA) investigating opportunities for improvements to Niska Road from the city limits to Downey Road.”

CARRIED

“THAT Heritage Guelph supports the conclusions of both reports, specifically the identification of the current Niska Road bridge as a structure of local cultural heritage value and the identification of the defined area around the Niska Road crossing at the Speed River as a significant cultural heritage landscape”

CARRIED

Heritage Guelph – April 13, 2015

“THAT Heritage Guelph recommends from a cultural heritage conservation perspective, the ideal outcome of the environmental assessment process would involve the retention and conservation of the identified heritage attributes of the Niska Road bridge in situ and the portion of the cultural heritage landscape identified on Niska Road (between Pioneer Trail and the bridge) within the city limits.”

CARRIED

“THAT Heritage Guelph conditionally supports the preliminary preferred alternative for the Niska Road Environmental Assessment subject to the following conditions:

THAT should the bridge be approved for replacement that Heritage Guelph recommends that staff be directed to investigate practical options for the relocation of the superstructure of the Niska Road bridge to a suitable location within the city (or Puslinch Township/Guelph Eramosa) for rehabilitation as a pedestrian/cycling bridge; and

Heritage Guelph – April 13, 2015

(CONTINUED CONDITIONS OF RESOLUTION)

“THAT Heritage Guelph conditionally supports the preliminary preferred alternative for the Niska Road Environmental Assessment subject to the following conditions:

THAT staff be directed to bring a report to Council recommending that the Niska Road cultural heritage landscape identified within the city limits be listed on the City of Guelph’s Municipal Register of Cultural Heritage Properties under Section 27 of the Ontario Heritage Act; and,

THAT Heritage Guelph recommends that the Niska Road cultural heritage landscape identified within the city limits within the CHC report, be designated under Section IV of the Ontario Heritage Act; and,

THAT Heritage Guelph recommends that the consultant team provides copies of the Cultural Heritage Evaluation Report and the Niska Road Cultural Heritage Landscape Addendum to the Township of Puslinch and the Township of Guelph/Eramosa; and that the City of Guelph provide Heritage Guelph minutes from March 9, 2015 and April 13, 2015.

Heritage Guelph – April 13, 2015

(CONTINUED CONDITIONS OF RESOLUTION)

“THAT Heritage Guelph conditionally supports the preliminary preferred alternative for the Niska Road Environmental Assessment subject to the following conditions:

THAT the extant stone abutments of the bridge be retained and conserved in situ to stand as a monument to previous bridges and construction methods at this crossing; and,

THAT the City provide interpretive signage explaining the history of the Niska Road crossing and its associated cultural heritage landscape; and,

THAT if development is considered on lands adjacent to the identified Niska Road cultural heritage landscape that the views west and south from the intersection of Niska Road and Pioneer Trail be considered carefully in order to conserve the heritage attributes of the identified cultural heritage landscape; and,

THAT when development is proposed on adjacent lands, the viewshed be studied to the north and east with consideration of its impact on the cultural heritage landscape; and,

Heritage Guelph – April 13, 2015

(CONTINUED CONDITIONS OF RESOLUTION)

“THAT Heritage Guelph conditionally supports the preliminary preferred alternative for the Niska Road Environmental Assessment subject to the following conditions:

THAT Heritage Guelph is circulated the alternative design concepts for the preferred solution and be provided the opportunity to review and assess potential impacts of the proposed improvements and recommended mitigation plans on the cultural heritage landscape; and,

THAT the replacement bridge be designed in such a way that is compatible with the cultural heritage landscape and with the current views from the bridge (upstream and downstream) not impeded for vehicular, bicycle or pedestrian traffic; and,

THAT the City’s EA study team return to update Heritage Guelph and provide opportunities for further input regarding the environmental assessment following the EA’s second Public Information Centre and prior to the filing of the EA document.”

CARRIED

River Systems Advisory Committee – February 18, 2015

“THAT the River System Advisory Committee conditionally support the preliminary preferred alternative for the Niska Rd EA subject to the following conditions:

THAT traffic calming and volume reduction, safe pedestrian and cycling access, maintenance of cultural aesthetics, safe wildlife passage and vehicle size restrictions be included.

THAT the River System Advisory Committee are circulated and be provided the opportunity to review the alternative design concepts for the preferred solution; the assessment of potential environmental effects of the proposed improvements and recommended mitigation / monitoring plans proposed to address any potential adverse impacts.

THAT the City’s study team return to update the River System Advisory Committee and provide opportunities for further input regarding the EA at the first meeting available following the Second PIC.”

Motion Carried

Unanimous



Puslinch Fire and Rescue Service

Monthly Report

September 2015

Significant Events/ Incidents/Trends

Don't Become a Driving Statistic!

It seems like an odd title coming from **Puslinch Fire & Rescue Services**, however most months we are involved more with Motor Vehicle Collisions than we are with fires. A great deal of our time is spent with "Rescue Services" involving vehicle collisions both on local roads and along Highway 401.

Here is a handy checklist to prepare for the coming season.

- Inspect your vehicles mechanical condition, tires, windshield wipers, and battery before the snow falls
- Carry an emergency kit in case of a breakdown on a cold night. It gets cold very quickly in a stalled car so consider packing blankets, a hat and gloves. You may have to spend the night outside therefore energy bars or a high calorie snack. Water cannot be carried in the kit during cold weather, however, you could always leave with a bottle in hand prior to driving.
- Carry a cell phone so you are always in contact with help. Make a list of

useful telephone numbers and keep it in your glove compartment

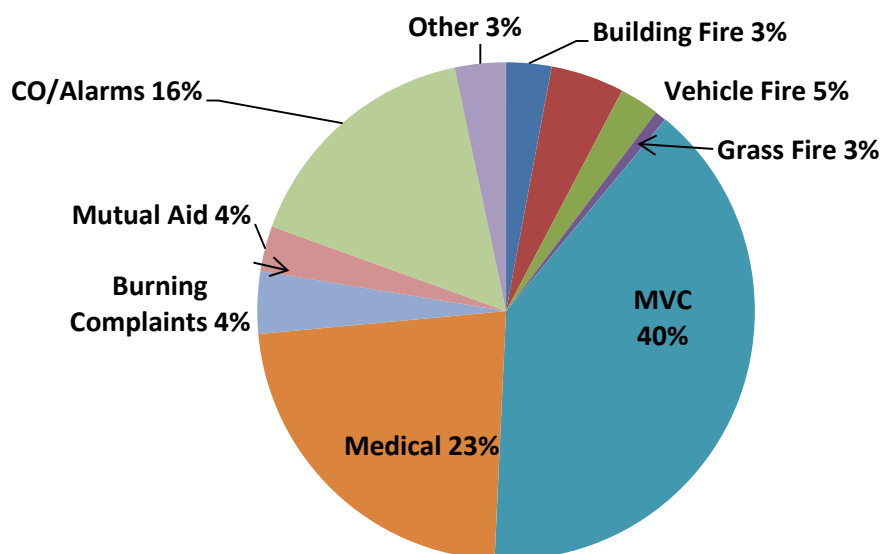
- Always have at least a half a tank of gas. When you fuel up your car remember to top off your wiper fluid
- If possible make a trip during daylight hours as it is much safer. Your visibility will most likely be better and temperatures warmer. Should you break down on a quiet Township road there is a greater chance another driver will come along.

At any time of the year, **three** activities account for most accidents, according to the National Safety Council. They are **alcohol, speeding and distracted driving**. Distracted driving encompasses not just texting but also talking on the phone and even grooming.

Don't assume that rural areas are safer because of their lower traffic volume. While less than a fifth of the population lives in rural areas, more than half of crash deaths occur there, according to the Insurance Institute for Highway Safety. The most common crashes there are head-on and single-vehicle off-road accidents.

REPORT MONTH:		2015 September					
		Sept Monthly Total	Sept 2015 YTD	Sept 2014 YTD	Sept 2013 YTD	Sept \$ Loss Monthly	Sept 2015 \$ Loss YTD
FIRE:	Structure	2	8	7	8	\$0	\$230,200
	Vehicular	2	13	16	17	\$0	\$18,000
	Grass and Bush	0	7	3	4	\$0	\$0
	Other	0	2	6	9	0	
		Monthly	2015 YTD	2014 YTD	2013 YTD		
Motor Vehicle Collisions		15	108	130	79		
Medical Assist		13	62	44	41		
Mutual Aid		0	8	5	2		
Carbon Monoxide		2	12	6	5		
Automatic Alarm		1	32	28	25		
Burning Complaints		1	11	14	7		
Incorrect Page		0	1	4	2		
Other		2	9	15	13		
TOTALS:		Monthly	2015 YTD	2014 YTD	2013 YTD		
		38	273	278	212		
Estimated Total Dollar Loss Due to Fire		\$0	\$371,200	\$505,000	\$775,000		

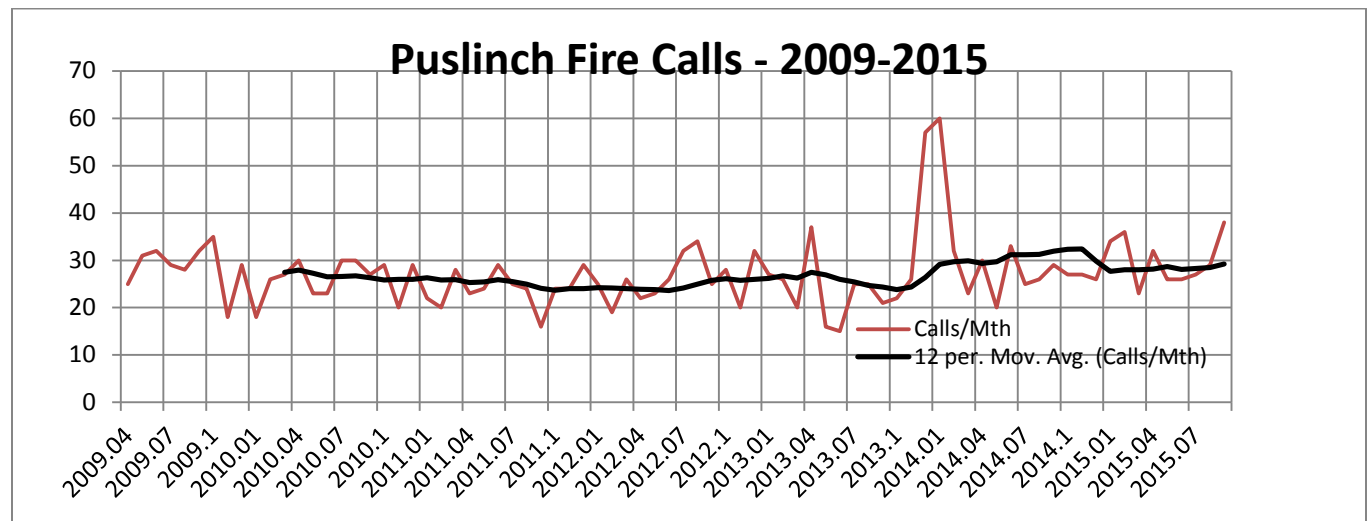
2015 YTD Emergency Calls



Prevention & Public Education

2015 September

Activity:	Monthly Total	2015 YTD
Inspections	3	22
Water Tank Inspection	28	61
Investigations	1	8
Emergency Planning	1	12
Public Education Volunteer	2	8
Public Education Paid	1	4
Meeting	3	23
Home Safe Home Campaign	0	0



Professional Development

Activity	Month	Day
Auto Extrication	Oct	6, 7, 13 & 14
Medical	Oct	20 & 21
Pre-planning	Oct	27 & 28

Rope Rescue Training



Large Shop Fire – Side Road 10 North



Aberfoyle Fall Fair





Roof Rescue – Nicholas Beaver Road

Financial Report - September 2015 - Summary

Bank Balance	3,743,664
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General Acct. Interest Earned to Date	46,702
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2015 Taxes Levied to Date	Interim 1st Installment	5,480,282
	Interim 2nd Installment	5,478,864
	Final 1st Installment	5,731,469
	Final 2nd Installment	
	capping	
	Total Taxes Levied	16,690,615

Taxes Written Off to Date	23,355
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Supplemental Billings to Date	66,439
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Summary of Tax Arrears		
2015 Outstanding Taxes		143,866
2015 Outstanding Interest		21,311
Outstanding Taxes and Interest (Prior years)		
-	2014 Taxes & Interest	255,477
-	2013 Taxes & Interest	113,842
-	2012 & Prior & Interest	81,470
Total Outstanding Taxes & Interest - Prior Years		450,789

Accounts Payable

TD Canada Trust Cheque Register By Date

01/09/2015 thru 30/09/2015

Cheque Number	Cheque Date	Payee	Cheque Amount
018866	04/09/2015	001992 SCHOCH, JEAN-PIERRE	1,661.24
018876	11/09/2015	000259 COUNTY OF WELLINGTON	500.00
018877	11/09/2015	000446 GRAND RIVER CONSERVATION AUTH	40,336.00
018878	11/09/2015	000473 HAMILTON CONSERVATION AUTH.	12,000.00
018879	11/09/2015	000514 HYDRO ONE NETWORKS INC	1,770.85
018880	11/09/2015	000661 MANULIFE FINANCIAL	14,259.01
018881	11/09/2015	001945 ONSERVE	2,575.27
018882	11/09/2015	001068 PROGRESSIVE WASTE SOLUTIONS CDA	289.28
018883	11/09/2015	000934 SGS CANADA INC	529.97
018884	11/09/2015	001733 SHRED-IT INTERNATIONAL ULC	57.57
018885	11/09/2015	001039 UNION GAS LIMITED	170.25
018886	11/09/2015	001774 UNISTITCH INC.	318.55
018887	14/09/2015	000969 FCDQ	1,269.80
018888	24/09/2015	000025 ASSOC. OF MUNICIPALITIES OF ON	565.00
018889	24/09/2015	000119 BELL CANADA	1,208.79
018890	24/09/2015	001762 DAVID GUNSON	145.00
018891	24/09/2015	001434 DENNIS LEVER	371.76
018892	24/09/2015	000769 ONT. BUILDING OFFICIALS ASSOC.	791.00
018893	24/09/2015	001993 PRESBYTERIAN CHURCH IN CANADA	831.43
018894	24/09/2015	001210 ROGERS	313.29
018895	28/09/2015	000998 TD VISA	7,806.16
018896	30/09/2015	000021 A.F. POLLUTION ABATEMENT SYSTE	1,078.36
018897	30/09/2015	000023 A.J. STONE CO. LTD.	71.56
018898	30/09/2015	000030 ABELL PEST CONTROL INC.	375.82
018899	30/09/2015	001991 ABOUD & ASSOCIATES INC.	2,960.60
018900	30/09/2015	001847 AIRD & BERLIS LLP	1,492.17
018901	30/09/2015	000128 BENSON TIRE INC.	62.72
018902	30/09/2015	000148 BOUCHER & JONES INC.	6,746.63
018903	30/09/2015	000182 CAMPUS HARDWARE LIMITED	113.90
018904	30/09/2015	000219 CEDAR SIGNS	15.82
018905	30/09/2015	000175 CITY OF CAMBRIDGE	600.00
018906	30/09/2015	000259 COUNTY OF WELLINGTON	440.70
018907	30/09/2015	001994 CREAMER, PAUL	359.84
018908	30/09/2015	000285 DARCH FIRE	197.35
018909	30/09/2015	001323 DILLON CONSULTING	5,321.17
018910	30/09/2015	001819 ESOLUTIONS GROUP	678.00
018911	30/09/2015	000380 FIRE SAFETY CANADA	32.53
018912	30/09/2015	001824 FRENCH, ADAM	55.00
018913	30/09/2015	000621 GLENN LEACHMAN	402.91
018914	30/09/2015	000414 GM BLUEPLAN ENGINEERING LIMITED	14,137.33
018915	30/09/2015	001460 GRAHAM ROSS	44.00
018916	30/09/2015	000448 GREAT-WEST LIFE ASSURANCE CO.	722.62
018917	30/09/2015	000400 GUELPH BUSINESS MACHINES	659.40
018918	30/09/2015	000476 HARDEN ENVIRONMENTAL SERVICES	791.00
018919	30/09/2015	000484 HAWS OVERHEAD DOORS LTD.	405.44
018920	30/09/2015	000486 HAYDEN'S PROPERTY MTCE.	456.52
018921	30/09/2015	000565 JOHN UPTEGROVE	299.29
018922	30/09/2015	000572 K.D.N. PAVEMENT MARKINGS	12,667.30
018923	30/09/2015	000650 M & L SUPPLY	1,428.30
018924	30/09/2015	001529 MICHAEL FOWLER	158.19
018925	30/09/2015	000734 MRC SYSTEMS INC.	4,236.80
018926	30/09/2015	000761 NORTHERN ICE CO. INC.	97.20
018927	30/09/2015	001947 OLDFIELD, LORI	1,415.59

Accounts Payable

TD Canada Trust Cheque Register By Date

01/09/2015 thru 30/09/2015

Cheque Number	Cheque Date	Payee	Cheque Amount
018928	30/09/2015	001516 PARTRIDGE FREELANCE TITLESEARCHING	248.60
018929	30/09/2015	000830 PUROLATOR COURIER LTD.	126.75
018930	30/09/2015	000836 PUSLINCH PIONEER	280.24
018931	30/09/2015	000861 REYNER ELECTRIC CONSTRUCTION INC.	1,375.78
018932	30/09/2015	000687 ROBERT MCFARLANE	337.01
018933	30/09/2015	000900 ROYAL CITY AUTOMOTIVE	18.08
018934	30/09/2015	000905 ROYAL SS TANK & TRUCK LTD	5,046.84
018935	30/09/2015	000915 SAFEDESIGN APPAREL LTD.	22,449.62
018936	30/09/2015	000932 SENTEX COMMUNICATIONS	348.01
018937	30/09/2015	000934 SGS CANADA INC	331.09
018938	30/09/2015	000939 SHOOTER ELECTRIC INC.	1,413.35
018939	30/09/2015	001733 SHRED-IT INTERNATIONAL ULC	57.57
018940	30/09/2015	001987 SIGN ART CENTRE	1,554.88
018941	30/09/2015	001852 SPEARMAN, PAUL	43.00
018942	30/09/2015	000970 STEAMATIC	301.26
018943	30/09/2015	000977 STEVEN GOODE	518.50
018944	30/09/2015	000374 SUSAN FIELDING	113.50
018945	30/09/2015	000988 SWAN DUST CONTROL LTD	280.34
018946	30/09/2015	001076 THE WELLINGTON ADVERTISER	1,385.37
018947	30/09/2015	001963 THRIVE LANDSCAPES	1,400.00
018948	30/09/2015	001016 TOPECO COFFEE & TEA COMPANY	132.11
018949	30/09/2015	001995 URBAN, WALTER	45.20
018950	30/09/2015	000980 WAYNE STOKLEY	47.00
018951	30/09/2015	001430 WELMAR RECREATIONAL PRODUCTS	399.86
018952	30/09/2015	001107 WILSON FIRE SECURITY	146.75
018953	30/09/2015	000514 HYDRO ONE NETWORKS INC	7,600.61
018954	30/09/2015	000717 MINISTER OF FINANCE	2,381.21
018955	30/09/2015	000764 O.M.E.R.S.	24,107.60
018956	30/09/2015	000856 RECEIVER GENERAL	276.54
018957	30/09/2015	001147 RECEIVER GENERAL	49,163.09
018958	30/09/2015	001113 WORKPLACE SAFETY & INSURANCE	4,100.02
018959	30/09/2015	001434 DENNIS LEVER	127.50
Cheque Register Total -			272,451.56

Corporate Financial Report - September 2015

REVENUES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0017-7710	Sale of Flags	-	8	22	75	78	100	78%
01-0017-7770	Other Revenues	50	58	538	525	162	700	23%
01-0017-2310	Mun Tax Assistance	-	1,307	-	11,760	15,680	15,680	100%
01-0017-2320	Host Kilmer (Service Ontario)	-	1,856	-	16,703	22,270	22,270	100%
01-0017-2330	Ontario Hydro	-	1,012	-	9,110	12,147	12,147	100%
01-0017-2340	Greater Toronto Transit	-	580	-	5,217	6,956	6,956	100%
01-0017-2350	Public Works Canada	-	166	-	1,498	1,997	1,997	100%
01-0017-2360	Hydro One	-	-	-	-	-	-	#DIV/0!
01-0017-2400	Grant Guelph Junction Railway	-	444	5,330	3,998	- 0	5,330	0%
01-0017-2500	Puslinch Landfill	-	284	3,351	2,558	60	3,411	2%
01-0017-2600	City of Guelph	-	2,072	24,417	18,644	442	24,859	2%
01-0017-2700	University of Guelph	-	107	1,292	967	- 3	1,289	0%
01-0017-2800	CN Railway	-	95	1,135	851	- 0	1,135	0%
01-0017-2900	CP Railway	-	655	7,854	5,891	0	7,854	0%
01-0017-5110	OMPF	-	33,717	303,450	303,450	101,150	404,600	25%
01-0015-5310	Provincial Aggregate Levy	215,182	17,847	215,182	160,623	- 1,019	214,164	0%
01-0017-7510	Current Taxes	11,371	6,714	51,922	60,422	28,641	80,563	36%
01-0017-7520	Tax Arrears	5,176	8,983	76,284	80,844	31,508	107,793	29%
01-0014-1220	Supplemental Billings	11,461	4,167	66,439	37,500	- 16,439	50,000	-33%
01-0017-7672	Interest on General	2,803	4,546	46,702	40,913	7,848	54,550	14%
01-0017-7675	Interest on Grading	178	127	1,914	1,140	- 394	1,520	-26%
01-0017-7676	Int. Education/County DC's	4	14	79	127	90	169	53%
	Totals	246,226	84,757	805,911	762,815	211,175	1,017,086	21%

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0010-4501	Taxes written off (Twp share only)	4,969	17,832	23,355	160,488	190,629	213,984	89%
01-0010-4700	Conservation Authorities Levy Payment	52,336	12,856	133,008	115,700	21,258	154,266	14%
	Totals	57,305	30,688	156,363	276,188	211,887	368,250	58%

Administration Financial Report - September 2015

REVENUES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0015-1110	Signature of Commissioner and FOI Requests	60	13	440	120	- 280	160	-175%
01-0015-1120	Investigator Fees	-	-	-	-	-	-	0%
01-0015-1130	Engineering and Environmental Fees	-	167	16,992	1,500	- 14,992	2,000	-750%
01-0015-1140	Legal Fees Recovered	-	-	-	-	-	-	0%
01-0015-1150	Recoveries from Staff Events	-	79	-	713	950	950	100%
01-0015-3738	Other recoveries	-	-	-	-	-	-	0%
	Totals	60	259	17,431	2,333	- 14,321	3,110	-460%

CONTRIBUTION FROM WORKING RESERVES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0013-3185	Contribution from Legal Contingency Working Reserve	-	1,166.67	204	10,500	13,796	14,000	0%
01-0013-3195	Contribution from Insurance Contingency Working Reserve	-	833	-	7,500	10,000	10,000	0%
01-0013-3100	Contribution from Operating Carryforward Working Reserve	-	11,639	-	104,747	139,662	139,662	0%
	Totals	-	13,639	204	122,747	163,458	163,662	0%

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0010-4000	FT Wages	20,424	17,699	160,985	159,295	51,408	212,393	24%
01-0010-4001	PT Wages	2,456	3,037	24,652	27,330	11,788	36,440	32%
01-0010-4002	OT Wages	-	-	-	-	-	-	0%
01-0010-4100	FT Benefits	2,807	3,009	29,421	27,077	6,681	36,103	19%
01-0010-4101	PT Benefits	167	267	1,677	2,400	1,522	3,199	48%
01-0010-4102	Manulife Benefits	1,782	1,765	16,042	15,886	5,139	21,181	24%
01-0010-4103	WSIB	163	481	4,773	4,333	1,005	5,777	17%

Administration Financial Report - September 2015

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0010-4200	Office Supplies & Equipment	144	177	695	1,592	1,428	2,123	67%
01-0010-4204	Water Protection	9	10	99	90	21	120	18%
01-0010-4302	Communication (phone, fax, intern)	37	55	- 26	491	681	655	104%
01-0010-4303	Professional Fees - Legal	230	2,383	6,660	21,450	21,940	28,600	77%
01-0010-4305	Professional Fees - Engineering & Environmental	-	2,250	14,031	20,250	12,968	27,000	48%
01-0010-4307	Events and Other	-	583	309	5,250	6,691	7,000	96%
01-0010-4308	Mileage	-	42	467	375	33	500	7%
01-0010-4309	Professional Development	-	1,571	9,395	14,138	9,455	18,850	50%
01-0010-4311	Membership and Subscription Fees	-	709	8,490	6,383	20	8,510	0%
01-0010-4312	Employee Travel - Meals	-	33	110	300	290	400	73%
01-0010-4313	Employee Travel - Accom/Parking	249	83	1,079	750	- 79	1,000	-8%
01-0010-4314	Employee Travel - Airfare	-	42	374	375	126	500	25%
01-0010-4315	Insurance	-	3,478	18,152	31,304	23,587	41,739	57%
01-0010-4316	Advertising	681	238	1,482	2,138	1,368	2,850	48%
01-0010-4317	Water Monitoring	-	417	3,697	3,750	1,303	5,000	26%
01-0010-4320	Contract Services	-	42	-	375	500	500	100%
01-0013-3185	Legal Contingency Working Reserve	-	417	5,000	3,750	-	5,000	0%
01-0013-3195	Insurance Contingency Working Reserve	-	417	5,000	3,750	-	5,000	0%
	Totals	29,149	39,203	312,566	352,831	157,875	470,441	34%

Council Financial Report - September 2015

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0180-4001	PT Wages	7,040	7,040	63,357	63,357	21,119	84,476	25%
01-0180-4101	PT Benefits	84	486	924	4,372	4,905	5,829	84%
01-0180-4102	Manulife Benefits	1,701	1,701	15,698	15,312	4,717	20,415	23%
01-0180-4200	Office Supplies & Equipment	-	6	122	56	- 47	75	-62%
01-0180-4308	Mileage	446	250	3,096	2,250	- 96	3,000	-3%
01-0180-4309	Professional Development	-	384	4,117	3,457	493	4,610	11%
01-0180-4311	Membership and Subscription Fees	-	-	91	-	- 91	-	#DIV/0!
01-0180-4312	Employee Travel - Meals	74	33	308	300	92	400	23%
01-0180-4313	Employee Travel - Accom/Parking	157	417	4,533	3,750	466	5,000	9%
01-0180-4314	Employee Travel - Air Fare	-	42	-	375	500	500	100%
	Totals	9,502	10,359	92,246	93,229	32,059	124,305	26%

Elections Financial Report - September 2015

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0120-4304	Professional Fees - Audit	-	125	-	1,125	1,500	1,500	100%
01-0120-4320	Contract Services	-	-	1,208	-	- 1,208		#DIV/0!
01-0013-3115	Contibution to Elections WR	-	1,167	14,000	10,500	-	14,000	0%
	Totals	-	1,292	15,208	11,625	292	15,500	2%

Finance Financial Report - September 2015

REVENUES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0015-3120	Tax Certificates	720	450	5,280	4,050	120	5,400	2%
01-0015-1170	NSF Fees	40	67	440	600	360	800	45%
01-0015-1180	Invoice Administration Fee	-	250	725	2,250	2,275	3,000	76%
01-0015-1160	Advertising, Legal, and Realtax Fees	-	167	5,861	1,500	- 3,861	2,000	-193%
01-0015-3739	Other Recoveries	-	167	-	1,500	2,000	2,000	100%
01-0017-7780	Garbage bags	872	917	7,395	8,250	3,605	11,000	33%
	Totals	1,632	2,017	19,702	18,150	4,498	24,200	19%

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0100-4000	FT Wages	30,143	18,434	180,427	165,910	40,787	221,214	18%
01-0100-4001	PT Wages	-	-	-	-	-	-	#DIV/0!
01-0100-4002	OT Wages	-	42	-	375	500	500	100%
01-0100-4100	FT Benefits	5,289	3,194	33,885	28,750	4,448	38,333	12%
01-0100-4102	Manulife Benefits	2,042	2,020	18,374	18,183	5,871	24,244	24%
01-0100-4103	WSIB Benefits	873	502	5,261	4,514	758	6,019	13%
01-0100-4199	Computer Software & Hardware Operational Upgrades/Support from IT Consultant	-	250	5,693	2,250	- 2,693	3,000	-90%
01-0100-4200	Office Supplies	443	667	7,585	6,000	415	8,000	5%
01-0100-4201	Hydro	553	436	4,218	3,922	1,012	5,230	19%
01-0100-4202	Heat	17	188	1,538	1,695	722	2,260	32%
01-0100-4215	Cleaning, Maintenance, Building Supplies	47	373	2,663	3,360	1,817	4,480	41%
01-0100-4216	Kitchen Supplies and Equipment	89	256	1,458	2,302	1,612	3,070	52%
01-0100-4222	Outdoor Maintenance of Building	-	125	741	1,125	759	1,500	51%
01-0100-4301	Postage	-	806	5,003	7,256	4,672	9,675	48%
01-0100-4302	Communication (phone, fax, intern)	398	383	3,495	3,450	1,105	4,600	24%

Finance Financial Report - September 2015

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0100-4304	Professional Fees - Audit	-	1,167	12,537	10,500	1,463	14,000	10%
01-0100-4308	Mileage	128	57	139	510	541	680	80%
01-0100-4309	Professional Development	342	415	3,583	3,735	1,397	4,980	28%
01-0100-4311	Membership and Subscription Fees	-	173	1,956	1,553	114	2,070	5%
01-0100-4312	Employee Travel - Meals	-	17	25	150	175	200	88%
01-0100-4313	Employee Travel - Accomodations	1,181	33	1,186	300	- 786	400	-196%
01-0100-4316	Advertising	116	667	7,798	6,000	202	8,000	3%
01-0100-4320	Contract Services	1,462	4,302	23,960	38,715	27,660	51,620	54%
01-0100-4322	Emergency Management	183	160	1,438	1,440	482	1,920	25%
01-0100-4323	Environmental Service - Garbage Bags	-	917	3,322	8,250	7,678	11,000	70%
01-0100-4500	Bank Service Charges	135	219	1,418	1,969	1,207	2,625	46%
01-0100-4503	Debt Interest Repayment	-	1,617	10,948	14,554	8,457	19,405	44%
01-0100-4600	Grants	-	2,715	32,625	24,431	- 50	32,575	0%
01-0012-1200	Principle Repayment	-	8,833	106,000	79,500	-	106,000	0%
	Totals	43,440	48,967	477,273	440,700	110,328	587,601	19%

Building Financial Report - September 2015

REVENUES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0015-3742	Building - Other Recoveries	-	-	3,000	-	- 3,000		#DIV/0!
01-0015-1192	Reproduction of Drawings Fees	50	21	100	188	150	250	60%
01-0017-7250	Residential Building Permits	32,682	16,667	236,248	150,000	- 36,248	200,000	-18%
	Institutional, Commercial & Industrial Building Permits	15,900	4,167	21,840	37,500	28,160	50,000	56%
	Farm Building Permits	-	200	416	1,800	1,984	2,400	83%
	Demolition Permit	300	50	1,110	450	- 510	600	-85%
	Septic System Permit	6,600	1,667	22,500	15,000	- 2,500	20,000	-13%
01-0017-7210	Designated Structures Permit	-	67	1,500	600	- 700	800	-88%
	Tent or Marquee Permit	-	75	1,200	675	- 300	900	-33%
01-0017-7240	Deferral of Revocation of Permit	-	25	300	225	-	300	0%
	Reactivate Abandoned Permit	-	13	-	113	150	150	100%
	Transfer of Permit	-	-	-	-	-	-	#DIV/0!
	Revision to a Permit	1,200	250	4,050	2,250	- 1,050	3,000	-35%
	Alternate Solution Application	-	58	-	525	700	700	100%
	Conditional Permits	-	-	-	-	-	-	#DIV/0!
01-0017-7290	Special Inspection Fee	-	25	900	225	- 600	300	-200%
	Totals	56,732	23,283	293,164	209,550	- 13,764	279,400	-5%

CONTRIBUTION FROM WORKING RESERVES

01-0013-3150	Contribution from Building Reserve Fund	-	7,021	-	49,145	84,248	84,248	100%
	Totals	-	7,021	-	49,145	84,248	84,248	100%

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0020-4000	FT Wages	17,588	15,244	138,600	137,199	44,332	182,932	24%
01-0020-4001	PT Wages	128	183	1,174	1,650	1,026	2,200	47%
01-0020-4002	OT Wages	240	100	240	900	960	1,200	80%
01-0020-4100	FT Benefits	2,817	2,668	25,769	24,014	6,249	32,018	20%
01-0020-4101	PT Benefits	7	16	65	145	129	193	67%

Building Financial Report - September 2015

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0020-4102	Manulife Benefits	1,807	1,755	16,266	15,799	4,799	21,065	23%
01-0020-4103	WSIB	561	447	4,396	4,025	970	5,366	18%
01-0020-4199	Computer Software & Hardware	-	83	1,505	750	505	1,000	-51%
01-0020-4200	Office Supplies	1,335	565	5,619	5,086	1,162	6,781	17%
01-0020-4201	Hydro	280	185	1,841	1,661	374	2,215	17%
01-0020-4202	Heat	17	117	1,158	1,057	252	1,410	18%
01-0020-4203	Fuel	-	680	-	6,116	8,155	8,155	100%
01-0020-4204	Water Protection	4	4	52	36	4	48	-8%
01-0020-4208	Signage	-	8	-	75	100	100	100%
01-0020-4215	Cleaning, Maint & supplies for Bldg	20	155	1,393	1,395	468	1,860	25%
01-0020-4216	Kitchen Supplies and Equipment	40	157	678	1,417	1,212	1,890	64%
01-0020-4220	Vehicle Maintenance	-	158	3,544	1,425	1,644	1,900	-87%
01-0020-4222	Outdoor Maintenance of Building	-	25	317	225	17	300	-6%
01-0020-4301	Postage	-	346	2,146	3,113	2,005	4,150	48%
01-0020-4302	Communication(phone, fax, intern)	193	342	2,066	3,075	2,034	4,100	50%
01-0020-4303	Professional Fees-Legal	683	1,742	2,820	15,675	18,080	20,900	87%
01-0020-4304	Professional Fees - Audit	-	500	5,373	4,500	627	6,000	10%
01-0020-4305	Professional Fees - Engineering	-	167	539	1,500	1,461	2,000	73%
01-0020-4308	Mileage	50	8	413	75	313	100	-313%
01-0020-4309	Professional Development	1,658	661	6,441	5,951	1,494	7,935	19%
01-0020-4311	Membership and Subscription Fees	-	255	2,470	2,295	590	3,060	19%
01-0020-4312	Employee Travel - Meals	-	42	620	375	120	500	-24%
01-0020-4313	Employee Travel - Accomodations	204	242	1,334	2,175	1,566	2,900	54%
01-0020-4315	Insurance	-	1,337	9,616	12,034	6,429	16,045	40%
01-0020-4316	Advertising	50	63	130	563	620	750	83%
01-0020-4318	Vehicle Plates	-	24	-	212	283	283	100%
01-0020-4320	Contract Services	925	1,843	13,022	16,590	9,098	22,120	41%
01-0020-4321	Clothing, Safety Allowance	287	58	422	525	278	700	40%
01-0020-4322	Emergency Management	78	68	616	611	199	815	24%
01-0020-4500	Service Charges	58	55	443	491	212	655	32%
	Totals	29,028	30,304	251,089	272,736	112,560	363,648	31%

Source Water Protection Financial Report - September 2015

REVENUES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0015-5270	Source Protection Municipal Implementation Fund	-	1,250	15,000	11,250	-	15,000	0%
	Totals	-	1,250	15,000	11,250	-	15,000	0%

CONTRIBUTION FROM WORKING RESERVES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0013-3100	Contibution from Operating Carryforward Working Reserve	-	2,018	-	14,125	24,215	24,215	100%
	Totals	-	2,018	-	14,125	24,215	24,215	100%

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0160-4000	FT Wages/Benefits Source Water Protection	-	1,017	-	9,152	12,202	12,202	100%
01-0160-4207	Public Education Costs	-	773	2,587	6,954	6,686	9,272	72%
01-0160-4305	Professional Fees	-	1,478	-	13,305	17,740	17,740	100%
	Totals	-	3,268	2,587	29,411	36,628	39,215	93%

Planning Financial Report - September 2015

REVENUES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0015-1190	Engineering, Environmental, and Legal Fees Recovered	420	3,083	32,885	27,750	4,115	37,000	11%
01-0015-1191	Advertising Fees Recovered	-	250	292	2,250	2,708	3,000	90%
01-0015-3240	Zoning Compliance Letter	300	167	1,500	1,500	500	2,000	25%
01-0015-1200	Minor Variance Application	1,300	458	6,500	4,125	- 1,000	5,500	-18%
01-0015-1205	Agreements	-	-	-	-	-	-	100%
01-0015-1210	Part Lot Control Exemption By-law	-	-	-	-	-	-	#DIV/0!
01-0015-1220	Site Plan Control	4,000	500	8,000	4,500	- 2,000	6,000	-33%
01-0015-1230	Zoning By-law Amendment	-	833	12,000	7,500	- 2,000	10,000	-20%
01-0017-7760	Zoning By-law #19/85	-	-	-	-	-	-	#DIV/0!
01-0015-1240	Zoning By-law Amendment - Aggregate Applications	7,500	-	7,500	-	- 7,500	-	#DIV/0!
01-0015-4100	Business Retention and Expansion Municipal Implementation Fund	-	1,042	35,000	9,375	- 22,500	12,500	-180%
	Totals	13,520	6,333	103,677	57,000	- 27,677	76,000	-36%

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0130-4000	FT Wages	4,673	4,050	36,667	36,454	11,938	48,605	25%
01-0130-4002	OT Wages	721	50	721	450	- 121	600	-20%
01-0130-4100	FT Benefits	931	708	7,012	6,373	1,486	8,498	17%
01-0130-4102	Manulife Benefits	488	480	4,347	4,322	1,416	5,763	25%
01-00130-4103	WSIB	-	118	-	1,063	1,417	1,417	100%
01-0130-4200	Office Supplies	147	21	176	188	74	250	30%
01-0130-4208	Signage	-	21	21	188	229	250	92%
01-0130-4215	Cleaning, Maintenance & Supplies for Building	-	-	-	-	-	-	#DIV/0!
01-0130-4302	Communication (phone, fax, Internet)	84	2	130	19	- 105	25	-420%
01-0130-4303	Professional Fees - Legal	-	417	7,983	3,750	- 2,983	5,000	-60%

Planning Financial Report - September 2015

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0130-4305	Professional Fees - Engineering & Environmental	3,478	3,750	37,294	33,750	7,706	45,000	17%
01-0130-4308	Mileage	-	21	302	188	- 52	250	-21%
01-0130-4309	Professional Development	-	250	2,912	2,250	88	3,000	3%
01-0130-4311	Membership and Subscription Fees	-	38	-	338	450	450	100%
01-0130-4312	Employee Travel - Meals	-	8	-	75	100	100	100%
01-0130-4313	Employee Travel - Accomodations	-	29	-	263	350	350	100%
01-0130-4316	Advertising	416	333	4,069	3,000	- 69	4,000	-2%
01-0130-4317	Professional Fees - Water Monitoring	-	184	336	1,654	1,870	2,205	85%
01-0130-4320	Contract Services	-	292	570	2,625	2,930	3,500	84%
	Totals	10,937	10,772	102,541	96,948	26,722	129,264	21%

By-law Financial Report - September 2015

REVENUES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0015-1000	Lottery Licences	30	17	476	150	- 276	200	-138%
01-0017-7220	Dog Tags and Kennel Licences	50	1,000	11,400	9,000	600	12,000	5%
01-0015-1260	Fence Viewer's Application	-	-	-	-	-	-	#DIV/0!
01-0017-7270	Septic Compliance Letter	75	83	525	750	475	1,000	48%
01-0017-7280	Special Occasion Permit Letters	-	13	100	113	50	150	33%
	Pool Enclosure Permit	700	233	4,200	2,100	- 1,400	2,800	-50%
	Inspection Permit - LCBO	-	17	-	150	200	200	100%
01-0017-7230	Municipal addressing signs	180	67	1,120	600	- 320	800	-40%
01-0015-5240	Ontario Wildlife Damage Compensation	-	125	1,089	1,125	411	1,500	27%
01-0017-7410	Guelph Humane Society Fees	-	150	1,454	1,350	346	1,800	19%
01-0015-1250	Mobile Food Service	-	-	-	-	-	-	100%
01-0015-1270	Engineering, Environmental and Legal Fees Recovered	424	833	7,655	7,500	2,345	10,000	23%
01-0015-1280	Site Alteration Agreement	-	167	3,090	1,500	- 1,090	2,000	-55%
01-0015-3744	By-law - Other Recoveries	-	-	275	-	- 275		#DIV/0!
	Totals	1,459	2,704	31,384	24,338	1,066	32,450	3%

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0140-4000	FT Wages	2,582	2,238	20,601	20,143	6,256	26,857	23%
01-0140-4001	Per Diems	-	167	1,354	1,500	646	2,000	32%
01-0140-4002	OT Wages	-	-	-	-	-	-	#DIV/0!
01-0140-4100	FT Benefits	465	399	3,719	3,592	1,070	4,789	22%
01-0140-4102	Manulife Benefits	306	300	2,757	2,696	838	3,595	23%
01-0140-4103	WSIB	75	64	602	580	171	773	22%
01-0140-4200	Office Supplies	-	21	1	188	249	250	99%
01-0140-4208	Signage	397	108	804	975	496	1,300	38%
01-0140-4303	Professional Fees - Legal	661	1,250	41,363	11,250	- 26,363	15,000	-176%

By-law Financial Report - September 2015

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0140-4305	Professional Fees - Engineering & Environmental	3,291	1,479	19,609	13,313	- 1,859	17,750	-10%
01-0140-4308	Mileage	-	38	315	338	135	450	30%
01-0140-4309	Professional Development	-	100	-	900	1,200	1,200	100%
01-0140-4311	Membership and Subscription Fees	-	52	180	465	440	620	71%
01-0140-4312	Employee Travel - Meals	-	4	-	38	50	50	100%
01-0140-4313	Employee Travel - Accomodations	-	21	-	188	250	250	100%
01-0140-4316	Advertising	-	83	-	750	1,000	1,000	100%
01-0140-4319	Permits	-	17	207	150	- 7	200	-4%
01-0140-4320	Contract Services	-	403	3,127	3,630	1,713	4,840	35%
01-0140-4324	Livestock Loss	-	167	1,059	1,500	941	2,000	47%
	Totals	7,777	6,910	95,698	62,194	- 12,774	82,925	-15%

Public Works Financial Report - September 2015

REVENUES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0015-1290	Oversize-Overweight Load Permits	-	-	-	-	-	-	#DIV/0!
01-0015-3310	Entrance Permit	225	188	2,700	1,688	- 450	2,250	-20%
01-0015-3740	Roads Other Recoveries	-	65	999	585	- 219	780	-28%
01-0015-2000	Third Party Cost Recovery	-	-	-	-	-	-	#DIV/0!
01-0015-2100	Third Party Cost Recovery Administration Fee	-	-	-	-	-	-	#DIV/0!
	Totals	225	253	3,699	2,273	- 669	3,030	-22%

CONTRIBUTION FROM WORKING RESERVES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0013-3170	Public Works Replacement and Restoration of Aging Infrastructure Working Reserve	-	7,083	-	49,583	85,000	85,000	100%
	Totals	-	7,083	-	49,583	85,000	85,000	100%

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0030-4000	FT Wages	33,486	31,041	268,705	279,369	103,787	372,492	28%
01-0030-4001	PT/Seasonal Wages	-	1,503	31,835	13,531	- 13,794	18,041	-76%
01-0030-4002	OT Wages	-	2,725	23,173	24,525	9,527	32,700	29%
01-0030-4100	FT Benefits	5,373	5,276	50,715	47,484	12,597	63,312	20%
01-0030-4101	PT/Seasonal Benefits	-	132	2,767	1,188	- 1,183	1,584	-75%
01-0030-4102	Manulife Benefits	3,834	3,800	34,502	34,196	11,092	45,595	24%
01-0030-4103	WSIB	982	909	9,574	8,177	1,329	10,903	12%
01-0030-4200	Office Supplies	-	42	156	375	344	500	69%
01-0030-4201	Hydro	463	467	5,135	4,200	466	5,600	8%
01-0030-4202	Heat	-	470	3,619	4,230	2,021	5,640	36%
01-0030-4203	Fuel	6,076	7,025	70,325	63,221	13,970	84,295	17%
01-0030-4205	Equipment Maintenance & Supplies	-	171	445	1,538	1,606	2,050	78%

Public Works Financial Report - September 2015

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0030-4208	Signage	14	833	1,550	7,500	8,450	10,000	84%
01-0030-4209	Pavement Markings	11,407	2,467	11,407	22,200	18,193	29,600	61%
01-0030-4210	Railway Maintenance	1,220	6,667	5,623	60,000	74,377	80,000	93%
01-0030-4212	Maintenance Gravel	-	6,667	69,920	60,000	10,080	80,000	13%
01-0030-4213	Calcium	-	3,675	51,612	33,075	- 7,512	44,100	-17%
01-0030-4214	Winter Maintenance	-	15,250	138,686	137,250	44,314	183,000	24%
01-0030-4217	Waste Removal	-	125	-	1,125	1,500	1,500	100%
01-0030-4218	Shop Overhead	365	1,083	4,255	9,750	8,745	13,000	67%
01-0030-4219	Road Maintenance supplies	-	3,117	18,416	28,050	18,984	37,400	51%
01-0030-4220	Vehicle Maintenance	4,601	3,833	23,902	34,500	22,098	46,000	48%
01-0030-4221	Speed Monitor	-	42	-	375	500	500	100%
01-0030-4224	Sidewalk Repairs	-	417	-	3,750	5,000	5,000	100%
01-0030-4302	Communication(phone, fax, intern)	120	213	1,471	1,918	1,086	2,557	42%
01-0030-4305	Professional Fees - Engineering	-	167	1,473	1,500	527	2,000	26%
01-0030-4308	Mileage	-	8	81	75	19	100	19%
01-0030-4309	Professional Development	-	118	991	1,065	429	1,420	30%
01-0030-4311	Membership and Subscription Fees	-	67	787	600	13	800	2%
01-0030-4312	Employee Travel - Meals	-	8	85	75	15	100	15%
01-0030-4315	Insurance	-	7,417	9,422	66,755	79,585	89,006	89%
01-0030-4316	Advertising	238	63	238	563	512	750	68%
01-0030-4318	Vehicle Plates	-	564	15	5,079	6,757	6,772	100%
01-0030-4319	Permits	-	83	-	750	1,000	1,000	100%
01-0030-4320	Contract Services	-	3,267	8,600	29,400	30,600	39,200	78%
01-0030-4321	Clothing, Safety Allowance	142	63	285	563	465	750	62%
01-0030-4326	Bridge Inspections	-	833	4,110	7,500	5,890	10,000	59%
01-0030-4400	Street Lights: Repairs and Hydro Bills	4,011	3,863	34,775	34,763	11,575	46,350	25%
	Totals	72,332	114,468	888,653	1,030,213	484,964	1,373,617	35%

Parks Financial Report - September 2015

REVENUES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0015-2200	Horse Paddock Rental	-	-	-	-	-	-	#DIV/0!
01-0015-2300	Picnic Shelter	75	8	525	75	- 425	100	-425%
01-0015-2400	Aberfoyle/Morrison Ball Park/ Morrison Meadows	-	83	1,022	750	- 22	1,000	-2%
01-0015-2500	Sports Facility User Fees	-	980	13,195	8,824	- 1,430	11,765	-12%
	Totals	75	1,072	14,742	9,649	- 1,877	12,865	-15%

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0110-4000	FT Wages - Parks	-	2,083	6,077	18,744	18,915	24,992	76%
01-0110-4001	PT Wages - Parks	1,787	510	4,845	4,590	1,275	6,120	21%
01-0110-4002	OT Wages - Parks	-	-	-	-	-	-	#DIV/0!
01-0110-4100	FT Benefits - Parks	-	198	550	1,784	1,828	2,379	77%
01-0110-4101	PT Benefits - Parks	59	45	189	403	348	537	65%
01-0110-4103	WSIB	51	75	315	672	581	896	65%
01-0110-4203	Fuel	-	183	-	1,650	2,200	2,200	100%
01-0110-4204	Water Protection	-	167	65	1,500	1,935	2,000	97%
01-0110-4205	Equipment Maintenance and Supplies	39	375	2,239	3,375	2,262	4,500	50%
01-0110-4220	Vehicle Maintenance	-	42	-	375	500	500	100%
01-0110-4222	Outdoor Maintenance	568	833	6,137	7,500	3,863	10,000	39%
01-0110-4308	Mileage	324	42	324	375	176	500	35%
01-0110-4316	Advertising	-	13	-	113	150	150	100%
01-0110-4320	Contract Services	1,811	1,725	13,372	15,525	7,328	20,700	35%
	Totals	4,639	6,290	34,113	56,606	41,361	75,474	55%

ORC Financial Report - September 2015

REVENUES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0015-2600	Ice Rental - Prime	-	3,167	34,103	28,500	3,897	38,000	10%
01-0015-2700	Ice Rental - Non-Prime	-	167	1,613	1,500	387	2,000	19%
01-0015-2800	Arena Summer Rentals	1,025	1,833	11,521	16,500	10,479	22,000	48%
01-0015-2900	Gymnasium Rental	936	1,000	10,921	9,000	1,079	12,000	9%
01-0015-3000	Rink Board and Ball Diamond Advertising	-	29	1,050	263	- 700	350	-200%
01-0015-3100	ORC Drink Machine	63	108	773	975	527	1,300	41%
01-0015-3735	Other Recoveries	-	42	-	375	500	500	100%
	Totals	2,025	6,346	59,982	57,113	16,168	76,150	21%

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0080-4000	FT Wages - ORC	5,408	4,687	42,627	42,183	13,616	56,244	24%
01-0080-4001	PT Wages - ORC	2,224	2,126	18,492	19,130	7,015	25,507	28%
01-0080-4002	OT Wages - ORC	-	100	771	900	429	1,200	36%
01-0080-4100	FT Benefits - ORC	985	830	7,890	7,467	2,067	9,956	21%
01-0080-4101	PT Benefits - ORC	82	187	825	1,680	1,415	2,239	63%
01-0080-4102	Manulife Benefits	621	612	5,532	5,510	1,814	7,346	25%
01-0080-4103	WSIB	221	199	1,818	1,792	571	2,389	24%
01-0080-4200	Office Supplies	147	25	252	225	48	300	16%
01-0080-4201	Hydro	-	1,827	18,701	16,447	3,228	21,930	15%
01-0080-4202	Heat	-	475	4,063	4,279	1,642	5,705	29%
01-0080-4203	Fuel	-	255	1,546	2,295	1,514	3,060	49%
01-0080-4204	Water Protection	15	67	261	600	539	800	67%
01-0080-4205	Equipment Maintenance & Supplies	-	1,083	1,134	9,750	11,866	13,000	91%
01-0080-4208	Signage	-	17	-	150	200	200	100%
01-0080-4215	Bldg-Cleaning, Maint,Supplies Interior	759	833	5,475	7,500	4,525	10,000	45%
01-0080-4216	Drink Machine Supplies	-	42	533	375	- 33	500	-7%
01-0080-4217	Waste Removal	52	50	348	450	252	600	42%
01-0080-4222	Bldg-Cleaning, Maint,Supplies Exterior	360	833	2,336	7,500	7,664	10,000	77%
01-0080-4302	Communication(phone, fax, intern)	161	195	1,560	1,755	780	2,340	33%

ORC Financial Report - September 2015

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0080-4305	Professional Fees - Engineering	-	583	230	5,250	6,770	7,000	97%
01-0080-4308	Mileage	-	42	-	375	500	500	100%
01-0080-4309	Professional Development	145	125	145	1,125	1,355	1,500	90%
01-0080-4311	Membership and Subscription Fees	-	13	137	113	13	150	8%
01-0080-4312	Employee Travel - Meals	-	13	-	113	150	150	100%
01-0080-4315	Insurance	-	1,287	7,358	11,584	8,087	15,445	52%
01-0080-4316	Advertising	-	42	-	375	500	500	100%
01-0080-4320	Contract Services	-	29	-	263	350	350	100%
01-0080-4321	Clothing Safety Allowance	-	13	102	113	48	150	32%
	Totals	11,181	16,588	122,137	149,295	76,924	199,060	39%

PCC Financial Report - September 2015

REVENUES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0015-3110	Archie MacRobbie Hall - Prime	114	1,342	13,880	12,075	2,220	16,100	14%
01-0015-3115	Archie MacRobbie Hall - Non-Prime	- 207	642	8,117	5,775	- 417	7,700	-5%
01-0015-3130	Alf Hales Room	- 763	358	2,110	3,225	2,190	4,300	51%
01-0015-3160	Licensed Events Using Patio	-	50	110	450	490	600	82%
01-0015-3170	Commercial Rentals	-	63	750	563	-	750	0%
01-0015-3180	Bartenders	490	733	5,287	6,600	3,513	8,800	40%
01-0015-3190	Pop, Glasses, & Ice	365	233	1,284	2,100	1,516	2,800	54%
01-0015-3200	Kitchen Facilities	-	283	1,285	2,550	2,115	3,400	62%
01-0015-3220	Advertising Sign	- 126	17	63	150	137	200	69%
01-0015-3736	Other Recoveries	2,152	100	2,551	900	- 1,351	1,200	-113%
01-0015-5250	Recreation Conditional Grants	-	431	-	3,875	5,167	5,167	100%
	Totals	2,026	4,251	35,438	38,263	15,579	51,017	31%

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0070-4000	FT Wages - Recreation	4,205	4,101	32,979	36,910	16,234	49,213	33%
01-0070-4001	PT Wages - Recreation	1,938	2,917	24,404	26,250	10,596	35,000	30%
01-0070-4002	OT Wages - Recreation	-	34	277	308	133	410	32%
01-0070-4100	FT Benefits - Recreation	373	395	2,932	3,557	1,810	4,742	38%
01-0070-4101	PT Benefits - Recreation	51	256	637	2,305	2,436	3,073	79%
01-0070-4102	Manulife Benefits - Recreation	903	897	8,126	8,070	2,635	10,761	24%
01-0070-4103	WSIB	178	203	1,718	1,828	719	2,437	30%
01-0070-4200	Office Supplies	-	25	96	225	204	300	68%
01-0070-4201	Hydro	2,684	1,843	16,364	16,590	5,756	22,120	26%
01-0070-4202	Heat	103	273	2,704	2,453	567	3,270	17%
01-0070-4203	Fuel	-	42	-	375	500	500	100%
01-0070-4204	Water Protection	528	425	2,231	3,825	2,869	5,100	56%
01-0070-4215	Bldg-Cleaning, Maint,Supplies Interior	698	1,667	8,282	15,000	11,718	20,000	59%
01-0070-4216	Kitchen Supplies and Equipment	97	417	2,180	3,750	2,820	5,000	56%
01-0070-4217	Waste Removal	208	200	1,558	1,800	842	2,400	35%

PCC Financial Report - September 2015

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0070-4222	Outdoor Maintenance of Building	1,497	267	2,079	2,400	1,121	3,200	35%
01-0070-4302	Communication(phone, fax, intern)	195	250	2,201	2,250	799	3,000	27%
01-0070-4308	Mileage	-	21	296	188	- 46	250	-18%
01-0070-4309	Professional Development	-	63	751	563	- 1	750	0%
01-0070-4311	Membership and Subscription Fees	-	19	224	169	1	225	1%
01-0070-4312	Employee Travel - Meals	-	13	38	113	112	150	74%
01-0070-4313	Employee Travel - Accomodations	-	38	299	338	151	450	34%
01-0070-4315	Insurance	-	1,439	10,112	12,951	7,156	17,267	41%
01-0070-4316	Advertising	-	292	376	2,625	3,124	3,500	89%
01-0070-4320	Contract Services	838	421	1,509	3,788	3,541	5,050	70%
	Totals	14,497	16,514	122,373	148,627	75,797	198,169	38%

Fire and Rescue Financial Report - September 2015

REVENUES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0015-3241	Tent or Marquee Permit	-	58	-	525	700	700	100%
01-0015-3230	Open Burning Permit and Inspection	260	625	10,540	5,625	- 3,040	7,500	-41%
01-0015-3235	Burning Permit Violations	-	171	3,280	1,538	- 1,230	2,050	-60%
01-0015-3245	Fire Extinguisher Training	-	8	-	68	90	90	100%
01-0015-3260	Fireworks Permits	-	33	300	300	100	400	25%
01-0015-3210	Information/Fire Reports	-	38	75	338	375	450	83%
01-0015-3215	Other Recoveries	-	208	5,824	1,875	- 3,324	2,500	-133%
01-0015-3270	Occupancy Load	-	17	-	150	200	200	100%
01-0015-3280	Fire Safety Plan Review	-	30	720	270	- 360	360	-100%
01-0015-3290	Post Fire Watch	-	34	-	308	410	410	100%
01-0015-3300	Boarding up or Barricading	-	-	-	-	-	-	#DIV/0!
01-0015-3320	Key Boxes	-	8	100	75	-	100	0%
01-0015-3330	Inspections	-	17	100	150	100	200	50%
01-0015-3340	Motor Vehicle Emergency Responses	2,951	4,783	55,487	43,050	1,913	57,400	3%
01-0015-3350	Fire Alarm False Alarm Calls	-	34	410	308	-	410	0%
01-0015-3743	Fire Donations	3,521	-	4,221	-	- 4,221		#DIV/0!
	Totals	6,733	6,064	81,058	54,578	- 8,288	72,770	-11%

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0040-4001	PT Wages - Fire Dept	44,393	29,070	248,686	261,630	100,154	348,840	29%
01-0040-4101	PT Benefits - Fire Dept	2,684	2,552	12,539	22,971	18,089	30,628	59%
01-0040-4102	Group Benefits	723	1,225	13,713	11,025	987	14,700	7%
01-0040-4103	WSIB	838	859	7,545	7,729	2,760	10,306	27%
01-0040-4200	Office Supplies	252	392	4,935	3,525	- 234	4,700	-5%
01-0040-4201	Hydro	648	404	4,812	3,634	33	4,845	1%
01-0040-4202	Heat	17	80	1,194	717	- 239	955	-25%
01-0040-4203	Fuel	-	922	-	8,299	11,065	11,065	100%
01-0040-4204	Water Protection	13	13	134	120	26	160	16%
01-0040-4205	Equipment Maintenance & Supplies	2,511	1,508	24,075	13,575	- 5,975	18,100	-33%

Fire and Rescue Financial Report - September 2015

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0040-4206	Oxygen & Medical Supplies	-	258	3,325	2,325	- 225	3,100	-7%
01-0040-4207	Public Education	-	317	3,955	2,850	- 155	3,800	-4%
01-0040-4215	Cleaning, Maint & supplies for Bldg	173	842	15,900	7,575	- 5,800	10,100	-57%
01-0040-4216	Kitchen Supplies and Equipment	-	100	159	900	1,041	1,200	87%
01-0040-4217	Waste Removal	-	33	183	300	217	400	54%
01-0040-4220	Vehicle Maintenance	16	2,083	19,420	18,750	5,580	25,000	22%
01-0040-4302	Communication(phone, fax, intern)	348	1,058	6,980	9,525	5,721	12,700	45%
01-0040-4308	Mileage	656	625	4,924	5,625	2,576	7,500	34%
01-0040-4309	Professional Development	826	1,583	13,697	14,250	5,303	19,000	28%
01-0040-4311	Membership and Subscription Fees	-	230	2,795	2,067	- 39	2,756	-1%
01-0040-4312	Employee Travel - Meals	-	58	389	525	311	700	44%
01-0040-4313	Employee Travel - Accomodations	90	200	2,529	1,800	- 129	2,400	-5%
01-0040-4315	Insurance	-	1,084	18,366	9,757	- 5,356	13,010	-41%
01-0040-4316	Advertising	-	104	-	938	1,250	1,250	100%
01-0040-4319	Permits	-	44	471	394	54	525	10%
01-0040-4320	Contract Services	696	2,133	17,088	19,200	8,512	25,600	33%
01-0040-4321	Clothing, Safety Allowance	20,488	2,562	31,071	23,055	- 331	30,740	-1%
	Totals	75,373	50,340	458,884	453,061	145,196	604,081	24%

Library Financial Report - September 2015

REVENUES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0010-4224	Library Costs Recovered from County	-	172	-	1,545	2,060	2,060	100%
	Totals	-	172	-	1,545	2,060	2,060	100%

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0010-4221	Library Rent for Historical society	-	376	2,423	3,383	2,087	4,510	46%
01-0010-4223	Library Water Monitoring	207	146	1,256	1,313	494	1,750	28%
	Totals	207	522	3,678	4,695	2,582	6,260	41%

Badenoch Financial Report - September 2015

REVENUES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0015-3741	Badenoch Rental Revenue	-	1	10	8	-	10	0%
	Totals	-	1	10	8	-	10	0%

EXPENDITURES

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0150-4200	Interior Maintenance Costs	-	438	-	3,938	5,250	5,250	100%
01-0150-4204	Water Protection	-	5	31	49	34	65	53%
01-0150-4320	Contract Services	-	13	-	113	150	150	100%
01-0150-4325	Badenoch Comm Ctr Grant	-	83	1,000	750	-	1,000	0%
	Totals	-	539	1,031	4,849	5,434	6,465	84%

Committees Financial Report - September 2015

EXPENDITURES

Recreation Committee

Account	Description	Curr Mnth Actual	Curr Mnth Budget	YTD Actual	YTD Budget	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
01-0075-4001	Per Diems	-	348	1,567	3,135	2,613	4,180	63%
01-0075-4309	Professional Development	-	83	-	750	1,000	1,000	100%
	Totals	-	432	1,567	3,885	3,613	5,180	70%

Heritage Committee

01-0050-4001	Per Diems	-	149	-	1,343	1,790	1,790	100%
01-0050-4200	Office Supplies & Equipment	-	21	33	188	217	250	87%
01-0050-4308	Mileage	-	4	-	38	50	50	100%
01-0050-4309	Professional Development	-	83	-	750	1,000	1,000	100%
	Totals	-	258	33	2,318	3,057	3,090	99%

Planning and Development Advisory Committee

01-0060-4001	Per Diems	-	348	-	3,135	4,180	4,180	100%
01-0060-4308	Mileage	-	13	-	113	150	150	100%
01-0060-4309	Professional Development	-	208	-	1,875	2,500	2,500	100%
	Totals	-	569	-	5,123	6,830	6,830	100%

Expenses Financial Report - September 2015

Department	Curr Mnth Actual Operating Expenditures	Curr Mnth Budget Operating Expenditures	YTD Actual Operating Expenditures	YTD Budget Operating Expenditures	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
Corporate	57,305	30,688	156,363	276,188	211,887	368,250	58%
Administration	29,149	39,203	312,566	352,831	157,875	470,441	34%
Council	9,502	10,359	92,246	93,229	32,059	124,305	26%
Elections	-	1,292	15,208	11,625	292	15,500	2%
Finance	43,440	48,967	477,273	440,700	110,328	587,601	19%
Building	29,028	30,304	251,089	272,736	112,560	363,648	31%
Source Water Protection	-	3,268	2,587	29,411	36,628	39,215	93%
Planning & Development	10,937	10,772	102,541	96,948	26,722	129,264	21%
By-law	7,777	6,910	95,698	62,194	- 12,774	82,925	-15%
Public Works	72,332	114,468	888,653	1,030,213	484,964	1,373,617	35%
Parks	4,639	6,290	34,113	56,606	41,361	75,474	55%
Optimist Recreation Centre	11,181	16,588	122,137	149,295	76,924	199,060	39%
Puslinch Community Centre	14,497	16,514	122,373	148,627	75,797	198,169	38%
Fire and Rescue	75,373	50,340	458,884	453,061	145,196	604,081	24%
Library	207	522	3,678	4,695	2,582	6,260	41%
Badenoch	-	539	1,031	4,849	5,434	6,465	84%
Committee	-	1,258	1,600	11,325	13,500	15,100	89%
Totals	365,368	388,281	3,138,039	3,494,531	1,521,336	4,659,375	33%

Revenues Financial Report - September 2015

Total Revenues

Department	Curr Mnth Actual Operating Revenues	Curr Mnth Budget Operating Revenues	YTD Actual Operating Revenues	YTD Budget Operating Revenues	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
Corporate	246,226	84,757	805,911	762,815	211,175	1,017,086	21%
Administration	60	259	17,431	2,333	- 14,321	3,110	-460%
Elections	-	-	-	-	-	-	#DIV/0!
Finance	1,632	2,017	19,702	18,150	4,498	24,200	19%
Building	56,732	23,283	293,164	209,550	- 13,764	279,400	-5%
Source Water Protection	-	1,250	15,000	11,250	-	15,000	0%
Planning & Development	13,520	6,333	103,677	57,000	- 27,677	76,000	-36%
By-law	1,459	2,704	31,384	24,338	1,066	32,450	3%
Public Works	225	253	3,699	2,273	- 669	3,030	-22%
Parks	75	1,072	14,742	9,649	- 1,877	12,865	-15%
Optimist Recreation Centre	2,025	6,346	59,982	57,113	16,168	76,150	21%
Puslinch Community Centre	2,026	4,251	35,438	38,263	15,579	51,017	31%
Fire and Rescue	6,733	6,064	81,058	54,578	- 8,288	72,770	-11%
Library	-	172	-	1,545	2,060	2,060	100%
Badenoch	-	1	10	8	-	10	0%
Committee	-	-	-	-	-	-	#DIV/0!
Totals	330,711	138,762	1,481,198	1,248,861	183,950	1,665,148	11%

Total Contributions from Working Reserves

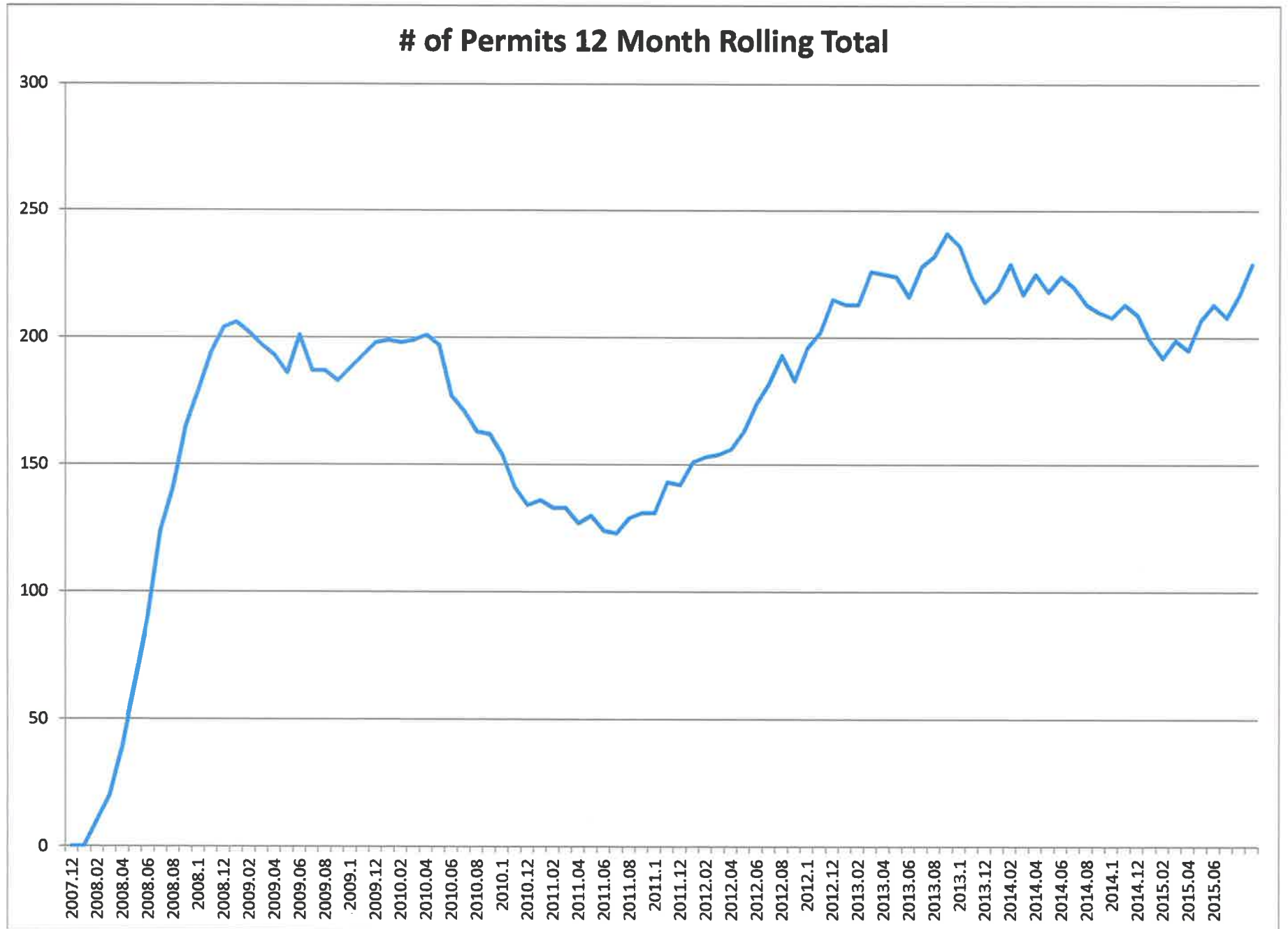
Department	Curr Mnth Actual Operating Revenues	Curr Mnth Budget Operating Revenues	YTD Actual Operating Revenues	YTD Budget Operating Revenues	\$ Budget Remaining	Total 2015 Budget	% Budget Remaining
Administration	-	13,639	204	122,747	163,458	163,662	100%
Building Surplus Reserve Fund	-	7,021	-	49,145	84,248	84,248	100%
Source Water Protection	-	2,018	-	14,125	24,215	24,215	100%
Public Works	-	7,083	-	49,583	85,000	85,000	100%
Totals	-	29,760	204	235,600	356,921	357,125	100%

8.4(a)

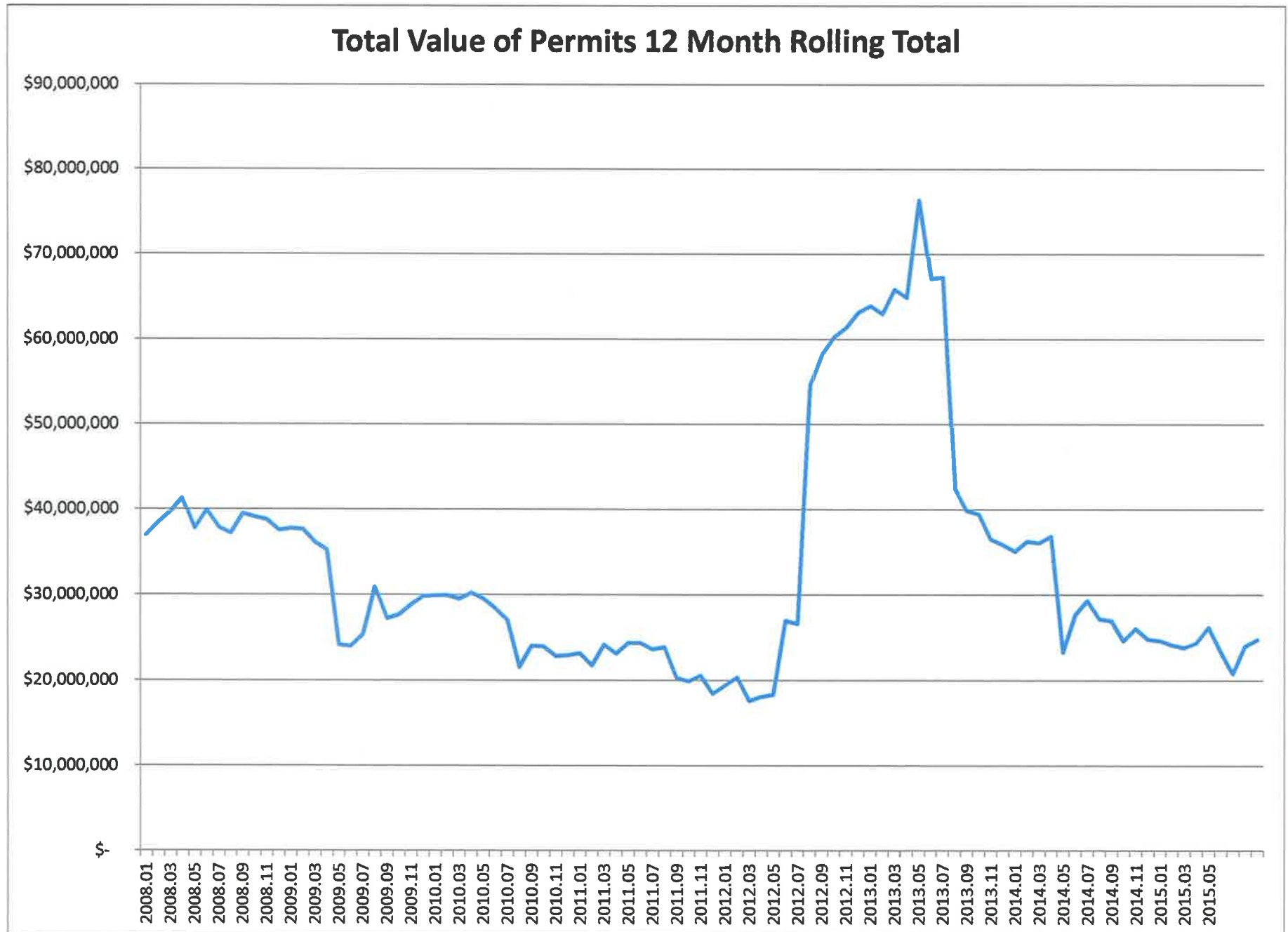
2015 BUILDING REPORT

	<u>VALUE OF CONSTRUCTION</u>		<u>PERMIT FEES COLLECTED</u>		<u>%</u>	<u>PERMITS</u>
	<u>2014</u>	<u>2015</u>	<u>2014</u>	<u>2015</u>	<u>CHANGE</u>	<u>ISSUED</u>
January	\$1,527,500.00	\$1,355,000.00	\$17,727.00	\$13,967.00	89%	7
February	\$1,574,900.00	\$1,069,000.00	\$16,728.10	\$12,381.00	68%	7
March	\$2,755,000.00	\$2,436,000.00	\$31,787.85	\$23,235.95	88%	15
April	\$1,645,500.00	\$2,188,000.00	\$20,197.10	\$31,680.20	133%	16
May	\$791,700.00	\$2,681,000.00	\$10,088.50	\$39,250.30	339%	28
June	\$5,932,650.00	\$3,020,000.00	\$59,978.50	\$31,217.00	51%	30
July	\$3,931,397.00	\$1,416,000.00	\$54,792.00	\$24,362.00	36%	24
August	\$2,079,000.00	\$5,241,000.00	\$25,380.00	\$46,974.60	252%	32
September	\$1,738,000.00	\$2,512,000.00	\$16,321.40	\$28,795.00	145%	29
October	\$0.00	\$0.00	\$0.00	\$0.00	0%	
November	\$0.00	\$0.00	\$0.00	\$0.00	0%	
December	\$0.00	\$0.00	\$0.00	\$0.00	0%	
TOTALS TO DATE		\$21,918,000.00		\$251,863.05		188
2014 COMPARISON		\$21,975,647.00		\$253,000.45		168
Total % CHANGE		100%		100%		112%

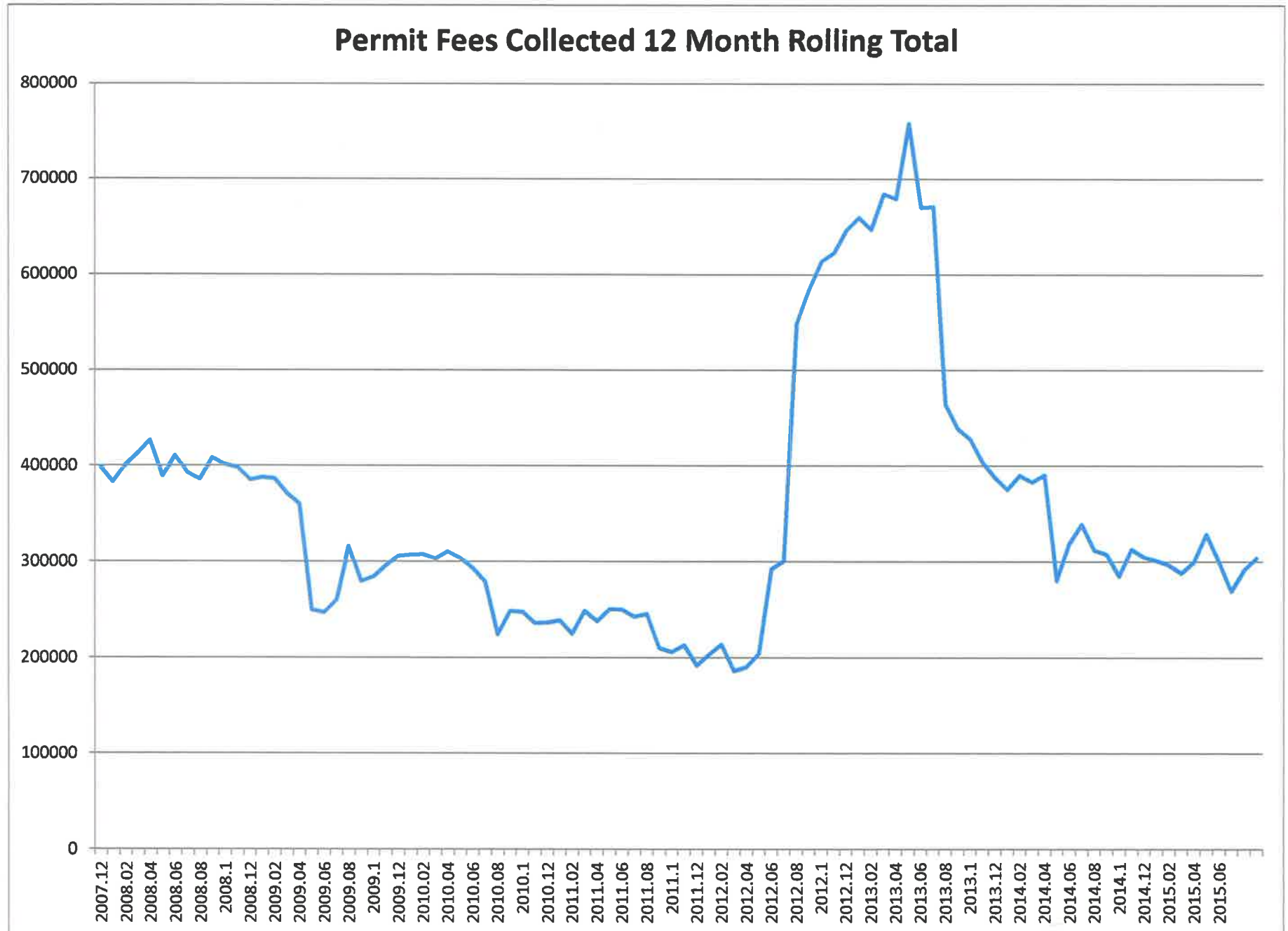
Note: The Graphs Below only Include Septic Permits in 2012 and beyond



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Note: The Graphs Below only Include Septic Permits in 2012 and beyond





COUNTY OF WELLINGTON

PLANNING AND DEVELOPMENT DEPARTMENT
GARY A. COUSINS, M.C.I.P., DIRECTOR
TEL: (519) 837-2600
FAX: (519) 823-1694
1-800-663-0750

ADMINISTRATION CENTRE
74 WOOLWICH STREET
GUELPH, ONTARIO
N1H 3T9

October 14, 2015

Karen Landry, CAO/Clerk
Township of Puslinch
7404 Wellington Road 34
Guelph, Ontario
N1H 6H9

Dear Ms. Landry:

**Re: Zoning By-law Amendment – Application D14/PER
Part Lot 16, Concession 7, Township of Puslinch
424 Maltby Road – Persian Investments Limited
Proposed Industrial Development**

The following comments are in response to new information provided by the proponent based on agency and peer review comments and input received at the second public meeting. We have also prepared, and enclose for Council's consideration, a draft amending by-law. Our earlier planning comments were provided on August 20, 2014 (attached).

Background

The subject property is 42 hectares (104 ac) in area and is located at 424 Maltby Road at Concession Road 7, immediately east of Highway 6/Hanlon Expressway and south of the City of Guelph boundary. The site to be rezoned is approximately 13 hectares (32 acres) and is designated RURAL EMPLOYMENT AREAS, GREENLANDS and CORE GREENLANDS in the County Official Plan. The property is currently within the Agricultural (A) Zone and Natural Environment (NE) Zone.

The purpose of the rezoning application is to permit the development the subject site for employment purposes. A development concept has been submitted and a suggested list of potential land uses has been prepared by the proponent. The intent is to service the site with private water supply and sewage treatment systems. At this time, the proponent has not secured a specific industrial tenant or end user.



Public Meetings

The first public meeting for this rezoning application was held on August 27, 2014. Based on the public concerns raised at the meeting and Council's apprehension with some of the land uses being proposed, the applicant was asked to reconsider their proposal and return at the appropriate time for further consideration. A second public meeting was scheduled on July 7, 2015. Attendance by area residents at this meeting was significantly less and there were no written submissions. The applicant's decision to eliminate some of the earlier listed industrial uses and their submission of additional technical information likely resolved the initial public concerns. At the conclusion of the second public meeting, the applicant agreed to address any outstanding technical issues and submit a final list of preferred land uses to be included in a draft amending by-law.

Protection of Natural Areas

A large portion of the subject property is currently identified as Core Greenlands and Greenlands in the County Official Plan. The Core Greenland areas (wetlands) on the property are currently within the Natural Environment (NE) Zone in the Township's Zoning By-law. The proponent had arranged a site walk of the property with the GRCA, Township and County staff and the Township's consultants. Natural features were reviewed and environmental buffers were discussed. It was determined that additional assessment of natural features (including the woodlands at the southern property limit) would be carried out by the proponent's consultant.

The Dance Environmental supplementary report of August 11, 2015 identified a revised 'protected area' which was supported by the GRCA and the Township's ecological consultant (GWS). Based on the amount of the natural areas on the subject land (including the recommended buffer areas) the 'protected area' is approximately 8.4 hectares (20.7 ac). That provides a developable area of approximately 4.6 ha (11.4 ac). This information is illustrated on Figure 2 found at the end of this report. The zoned area on Schedule A of the draft amending bylaw reflects these protected area and the developable areas as agreed upon by Authority and environmental consultants.

At this time, there are no outstanding environmental concerns. If rezoning is approved, detailed designs, site services, environmental protection and enhancement measures, and conditions of development will be prepared and reviewed through the Township's site plan review process prior to any development.

Traffic and Transportation System

To address traffic concerns raised by the City of Guelph, the proponent's consultant, Salvini Consulting, provided a traffic report on May 4, 2015. Part of Salvini's assessment included traffic generation estimates, review of the IBI Group traffic report prepared for a major development on Maltby Road (in the City), and a review of the comments by the City of Guelph and the Township's engineering consultants. Salvini concluded that the proposed rezoning would not necessitate turning restrictions at the Maltby/Concession Road 7 intersection. Salvini also stated that regardless of the fate of the current Maltby/Hanlon intersection, the connection of Concession Road 7 to Maltby Road should not be closed (a scenario proposed by the City) because it provides emergency access to area properties and would provide the link from Maltby Road to the proposed future Highway 6 interchange to the south. Salvini also recognized that some improvements to Concession Road 7 may be necessary should the eventual industrial uses for the subject property generate heavy truck traffic.

The Township's engineering consultants (GM Blue Plan) provided comments on June 17, 2015 regarding the Salvini traffic review and confirmed that they were "satisfied with the prepared transportation review and recommendations". Further, GM Blue Plan stated that with respect to the location of the proposed driveway at Concession Road 7, the sight lines were adequate for all turning movements. GM Blue Plan concluded that they were "satisfied that the proposed land use can be adequately serviced at the site". As Council is aware, the Township is the road authority for Concession Road 7.

The Ministry of Transportation provided comments on September 11, 2014 and confirmed they had no objection to the proposed rezoning. However, they did advise that prior to any grading or construction, the proponent would be required to submit grading plans, site-servicing plans, and other technical information for MTO review and approval.

MDS Assessment

In order to demonstrate that the proposed industrial rezoning would not impact agricultural uses in the area, this office had requested the applicant to address MDS. Farm data sheets and other information were submitted by the proponent and staff calculated the MDS1 requirements. We can confirm that the proposed rezoning would not impact on the existing livestock operations in the area.

Cultural Heritage Review

At the second public meeting, the proponent's planning consultant had reported that an archaeological assessment was completed and filed with the Ministry of Tourism, Culture and Sport. The assessment confirmed that no archaeological resources were encountered at the site. At the writing of this report, the proponent was awaiting the Ministry's final acceptance of the study.

Proposed Zoning By-law Amendment

The purpose for the subject rezoning application is to:

- implement the policies of the Rural Employment Areas designation of the County Official Plan;
- introduce site specific permitted uses and special provisions including a specific definition of "Self-Storage Facility"; and
- add further land to the existing Natural Environment (NE) Zone as determined through a detailed study of the on-site environmental features.

In their letter of August 18, 2015 the applicant's planning consultant (GSP Group) refined their proposed list of permitted uses by eliminating many of the land uses from their initial list. We have no objection to the removal of some of those uses, but suggest Council consider reinstating 'building or contractors establishment' and 'nursery/commercial greenhouses'. These agricultural-related and service commercial uses require larger than normal industrial lots and benefit from being close to major roads. In our view, these land uses would be in keeping with the direction of the County Official Plan and are appropriate at this location. The attached amending by-law includes these two land uses under the list of permitted uses.

The consultant had also requested the inclusion of 'self-storage facility' and 'veterinary clinic/office' with the permitted uses for the amending by-law. We have no concerns with these two additional uses. A definition of 'self-storage facility' was added as part of the amending by-law (as this use is not currently defined by the Township's Zoning By-law). Further, we have renamed the latter use to "veterinarian's clinic" to be consistent with the wording in the Township's By-law. We have also included the words "no keeping of animals outdoors" after 'veterinarian's clinic' to minimize potential noise impacts on surrounding properties. The version of the amending by-law attached to this report also contains these two additional uses.

As described above, an outcome of the proposed amending by-law is the expanded Natural Environment (NE) Zone on the subject property. This is partly due to the discovery of previously unidentified natural features on the property (e.g. new wetland areas) and because the applicant has included the buffer areas/environmental setbacks as part of the NE zone. The current NE zones in the Zoning By-law only include the natural feature (buffer areas are not added), but this approach does provide an effective means of protecting the site's natural heritage features from encroachment. Accordingly, the proposed amending by-law acknowledges that the setback provisions under Subsection 3(25) of the Zoning By-law would not apply to this specialized IND-8 zone.

If the amending by-law is approved, the land zoned IND-8 would be subject to the Township's Site Plan Control application process. As such, the Township's zoning regulations, development standards, and the Puslinch Design Guidelines will be implemented to provide for the proper and orderly development of the land and to minimize impacts on the environment and on adjacent properties. County Staff will work with Township staff and your consultants through the site plan review process to ensure that matters such as: building design, site services, off-street parking, loading areas, signage, lighting, fencing, storm water management, landscape design, and other features of the development proposal are satisfactorily addressed.

Planning Opinion

We have reviewed the applicant's submissions and technical information, public input, peer review and public agency comments, and other material associated with this rezoning application. Based on this review, it is our opinion that the rezoning application is consistent with Provincial and County planning policies and is appropriate development for the subject land.

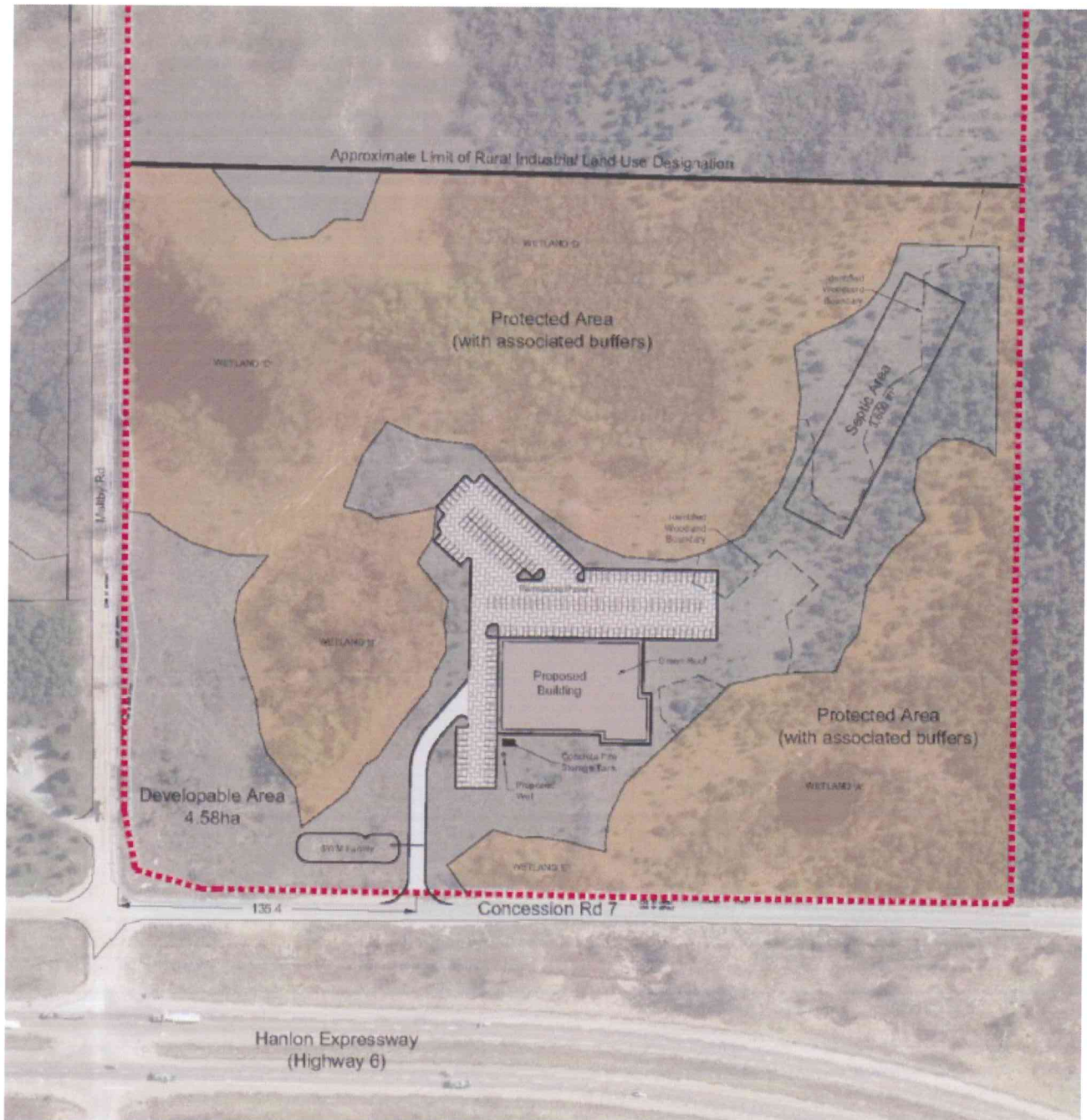
Respectfully Submitted
County of Wellington Planning and Development Department



Aldo L. Salis, BES, MSc, MCIP, RPP
Manager of Development Planning

encl.

Figure 2 - Protected Area and Developable Area at 424 Maltby Road



Source: GSP Group/Dance Environmental (August 2015)

THE CORPORATION OF THE TOWNSHIP OF PUSLINCH

BY-LAW NUMBER _____

**A BY-LAW TO AMEND BY-LAW NUMBER 19/85, AS AMENDED,
BEING THE ZONING BY-LAW OF THE TOWNSHIP OF PUSLINCH**

WHEREAS, the Council of the Corporation of the Township of Puslinch deems it appropriate and in the public interest to amend By-law No 19/85 pursuant to Section 34 of the Planning Act, R.S.O. 1990 as amended:

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF PUSLINCH ENACTS AS FOLLOWS:

1. That Schedule 'A' to By-law 19/85 is hereby amended by rezoning a portion of Part of Lot 16, Concession 7, as illustrated on Schedule 'A' of this By-law as follows:
 - i. From Agricultural (A) to the site specific (IND-8) Zone.
 - ii. From Agricultural (A) to Natural Environment (NE) Zone.
2. That subsection 15 is amended to add the following site specific provision:

IND-8 (424 Maltby Road)

Notwithstanding any provisions of this By-law to the contrary, within the land zoned IND-8 on Schedule "A" hereto, only the following uses are permitted:

(i) Uses Permitted

- building or contractors establishment
- business office or professional office
- dry industrial uses
- medical office/medical clinic
- research establishment/laboratory
- self-storage facility
- service trades
- tree nursery/commercial greenhouses
- veterinarian's clinic (no keeping of animals outdoors)

Also permitted is an administration office, showroom, wholesale outlet, and other uses, buildings, and structures ancillary to an above listed permitted use. Uses or activities which contravene the provisions of subsection 3(22) are prohibited.

(ii) **Special Zone Requirements**

- Outdoor storage areas shall only be located to the rear of a permitted main building and not be visible from a public road or adjacent properties. Unless otherwise provided for in this section, outdoor storage areas shall be in accordance with the provisions of Section 3 (General Provisions) of the Zoning By-law.
- The establishment of the NE zone for the land surrounding the land zoned IND-8, includes the natural heritage features and the approved associated buffer areas. Accordingly, the setback provisions of Section 3(25) do not apply to the land zoned IND-8.
- Unless otherwise provided above, all applicable provisions of Zoning By-law 19/85, as amended, shall apply to the IND-8 Zone.

3. That SECTION 2 – DEFINITIONS, is amended with the addition of the following new definition and the subsequent renumbering of Section 2:

(169) **“SELF-STORAGE FACILITY”** means a building or group of buildings containing separate storage spaces, of similar or varying sizes, available for lease or rent, for the temporary storage of business, commercial, or personal goods and properties.

4. That the subject land as shown on Schedule ‘A’ to this By-law shall be subject to all applicable regulations of Zoning By-law 19/85, as amended.
5. This By-law shall become effective from the date of passage by Council and come into force in accordance with the requirements of the Planning Act, R.S.O. 1990, as amended.

READ THREE TIMES AND FINALLY PASSED
THIS ____ DAY OF _____, 2015.

Dennis Lever, Mayor

Karen Landry, CAO/Clerk

THE CORPORATION OF THE TOWNSHIP OF PUSLINCH

EXPLANATION OF BY-LAW NO. _____

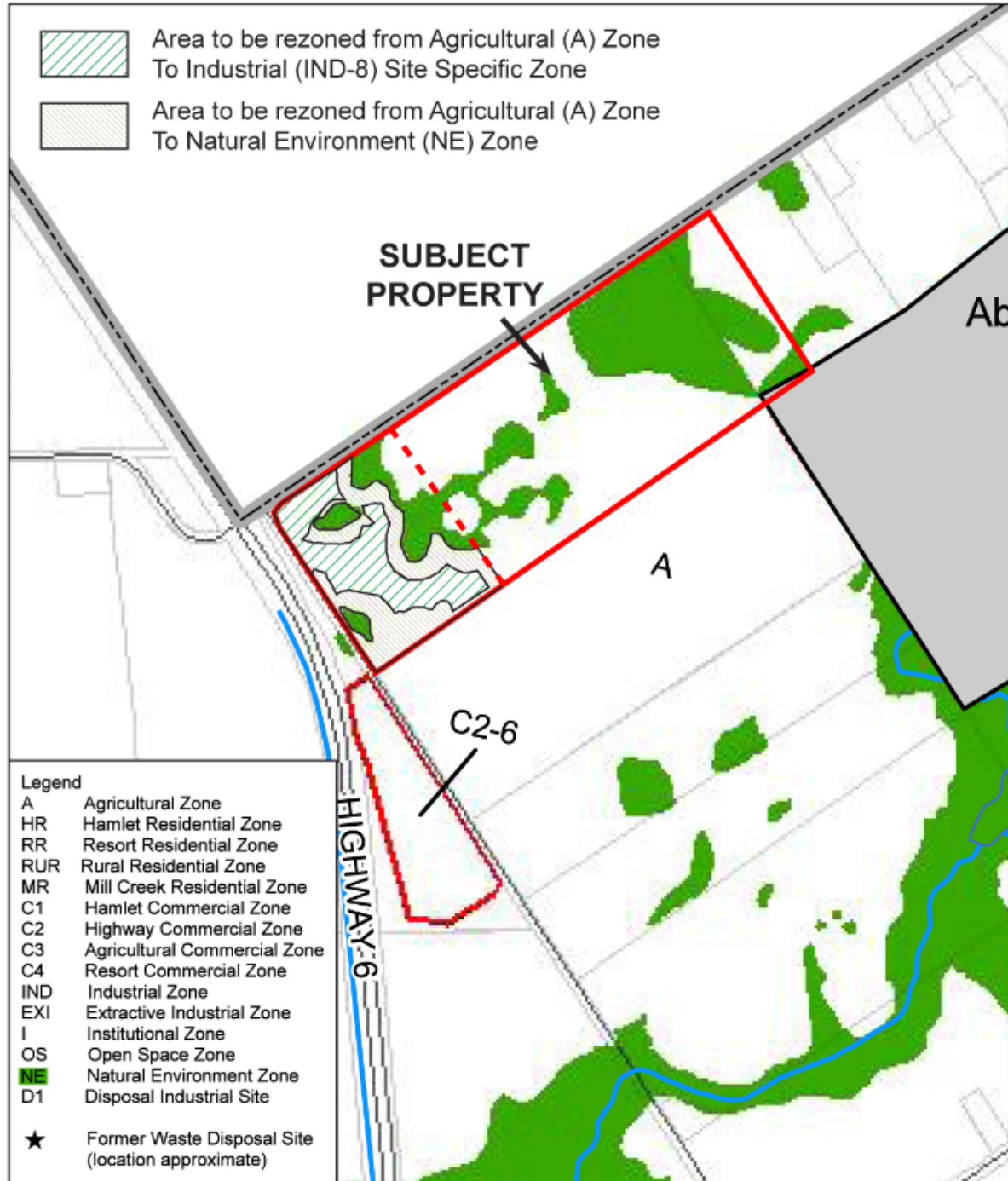
By-law Number _____ amends the Township of Puslinch Zoning By-law 19/85 by rezoning part of Lot 16, Concession 7 from the current Agricultural (A) Zone to a site specific Industrial (IND-8) Zone and Natural Environment (NE) Zone as shown on Schedule 'A' of this By-law.

The purpose of this Zoning By-law Amendment is to:

- Implement the policies of the Rural Employment Areas designation of the County of Wellington Official Plan;
- Introduce site specific permitted uses and special provisions;
- Provide a specific definition of "Self-Storage Facility";
- Add further land to the existing Natural Environment (NE) Zone as determined through a detailed study of the on-site environmental features.

THE CORPORATION OF THE TOWNSHIP OF PUSLINCH

SCHEDULE 'A'





COUNTY OF WELLINGTON

PLANNING AND DEVELOPMENT DEPARTMENT
GARY A. COUSINS, M.C.I.P., DIRECTOR
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FAX: (519) 823-1694
1-800-663-0750

ADMINISTRATION CENTRE
74 WOOLWICH STREET
GUELPH, ONTARIO
N1H 3T9

August 20, 2014

Karen Landry, CAO/Clerk
Township of Puslinch
7404 Wellington Road 34
Guelph, ON N1H 6H9

Dear Ms. Landry:

**Re: Zoning By-law Amendment – Application D14/PER
Part Lot 16, Concession 7, Township of Puslinch
424 Maltby Road – Persian Investments Limited
Proposed Industrial Development**

We have received a copy of the Notice of Public Meeting regarding the above-referenced application and provide the following comments for Council's consideration.

Purpose of the Zone Change

The purpose of this zone change application is to permit the development of a portion of the subject land for industrial purposes. If approved, an industrial zoning would provide for the establishment of dry industrial uses and a limited amount of service commercial uses (i.e. uses that do not require significant consumption of water or generate significant quantities of effluent). Natural areas on the property (identified as part of the County OP Greenlands and zoned Natural Environment) will remain unchanged.

At this time, an application to sever the proposed industrial lands from the balance of the subject property (designated Secondary Agricultural) has not been filed. It is our understanding that the owners wish to proceed with a rezoning application and continue to market the property for potential development. If it is necessary to subdivide the property as a result of a purchaser's industrial proposal, an application for consent will be filed at that time.



County Official Plan

According to Schedule A7 – PUSLINCH, the Official Plan designation for the subject 42 hectare (104 ac) property is SECONDARY AGRICULTURAL, RURAL INDUSTRIAL, CORE GREENLANDS and GREENLANDS. The area proposed for industrial zoning is approximately 13 hectares (32 acres) and is within the RURAL INDUSTRIAL, CORE GREENLANDS and GREENLANDS designations. This area of the property is situated on the western end of the property with frontage along Concession Road 7 and Maltby Road. This area of land is currently zoned Agricultural and Natural Environment Zone.

The RURAL INDUSTRIAL designated lands at Maltby Road and Highway 6 are also subject to the policies of Section 9.8.3 of the County Official Plan referred to as the "Puslinch Industrial Policy". These special policies establish the Highway 6 (Hanlon Expressway) area as a secondary industrial area (after the 401/Wellington Road 46 industrial/commercial corridor). It also gives the east side of the Hanlon priority of development over the west side lands. The policy limits land fragmentation pending review and approval of a detailed concept plan is developed in cooperation with the City of Guelph. A preliminary meeting with City staff to discuss the development of the subject land was held in June 2012.

The policies of Section 9.8.3 together with the policies of the Rural Industrial designation support the development of a range of industrial land uses and various service-oriented commercial land uses. The policies promote those land uses which generally require or benefit from sites with access to major roads and locations that provide large rural sites. Complementary commercial uses such as restaurants, professional offices, and automotive uses are also encouraged.

Development Concept

It is proposed that the development of the subject land be located on the southwestern part of the property outside of the Greenlands system. The areas that are currently zoned Natural Environment (NE) Zone at this location are to remain unchanged. Development setbacks to the natural heritage features are to provide additional environmental protection. Site services are individual and private water supply and sewage treatment systems. The proponent has not secured a specific industrial tenant or end user at this time. Instead, a development concept has been prepared and a suggested list of land uses have been proposed in a draft amending by-law prepared by their consulting planners.

Technical Studies and Reports

Technical studies have been submitted by the proponent and include: planning, functional servicing, environmental, geotechnical, and hydrogeological. Comments filed by the Grand River Conservation Authority, dated July 22, 2014, indicate that additional review and site verification is required by the applicant. County staff has reviewed the Planning Justification Report prepared by the GSP Group and we are generally satisfied with the conclusions. However, the report has not addressed agricultural impacts and more specifically compatibility regarding livestock buildings (minimum distance separation requirements). Further, a cultural heritage and archaeological assessment has not been prepared as required by Provincial and County planning policy.

Outstanding Technical Concerns

We would recommend that the applicant: follow-up with additional environmental assessment as required by the Conservation Authority in their July 22, 2014 letter; address the matters we have noted above; and respond to any comments or concerns raised at the public meeting by Council, the public, and peer review comments (at the time of writing this report, comments from the Township's peer reviewer were not available). We would also recommend that County staff and the Township's ecologist review the woodland boundary on the property as suggested by the GRCA.

We trust that these initial comments are of assistance to the Township. This office will provide supplementary comments following our review of any other written submissions and the resolution of outstanding matters.

Yours truly,



Aldo L. Salis, M.Sc., MCIP, RPP
Manager of Development Planning

cc. G. Scheifele, GWS
N. Garland, GRCA



REPORT PD-2015-026

TO: Mayor and Members of Council

FROM: Robert Kelly, Chief Building Official

MEETING DATE: October 21, 2015

SUBJECT: Conditional Building Permit Agreement - Release of Securities –
Jeffrey Born and Vicki Dickson – Con 10 PT Lot 15 RP 61R5385
Part 2 PT - 4614 Concession 11, Puslinch

RECOMMENDATIONS

That Report PD-2015-026 Conditional Building Permit Agreement release of securities - Jeffrey Born and Vicki Dickson – Con 10 PT Lot 15 RP 61R5385 Part 2 PT - 4614 Concession 11, Puslinch be received; and

That Council approves the release of the securities in the amount of \$20,000.00.

DISCUSSION

Purpose

The subject property 4614 Concession 11 is an agricultural property that is an active farm. The owners of the property redeveloped their residence by building an addition to their dwelling, then demolishing the former dwelling and replacing it with an attached garage. The property has a livestock operation and the owners had to remain on site during the construction of their new dwelling. The site is located on the west side of Concession Rd 11, North of Maltby Rd. It has a lot area of approximately 22.5 Hectares.

The applicant is requesting Council grant the release of the securities held in the amount of:

- Security \$20,000.00

Background

The applicant sought to obtain a building permit for an addition to their single family dwelling. During the review of the building permit application, it was determined that although the application was for an addition, the subject construction would constitute a second dwelling; thus creating a zoning conflict during construction.

The conditional building permit agreement required the applicant to:

- Post security in the amount of \$20,000.00 for the purposes noted in the financial implications section of this Report
- To obtain before occupancy and not later than October 28, 2015 all approvals prerequisite to the issuance of a building permit
- To remove the “Subject Construction” and restore the lands by December 31, 2015, if all necessary approvals have not been obtained by October 28, 2015
- To only occupy one dwelling during the subject construction
- To register the agreement on title to the lands at their cost

The work has all been completed to the Township Building Department’s satisfaction.

Conditional Building Permit Agreement

The Townships Building Enforcement Inspector has confirmed that the work has been completed in accordance with the approved plans.

Applicable Legislation and Requirements

Township of Puslinch Zoning By-law 19/85
Building Code Act 1992

Attachments

None



REPORT PW-2015-004

TO: Mayor and Members of Council

FROM: Don Creed, Director of Public Works and Parks

DATE: October 21, 2015

SUBJECT: Costing of Paved Shoulders and Edge Line Painting

RECOMMENDATIONS

That Report PW-2015-004 regarding Costing of Paved Shoulders and Edge Line Painting be received.

DISCUSSION

Purpose

The purpose of Report PW-2015-004 is to provide Council with a cost estimate for including paved shoulders and edge line painting for future capital projects.

Background

Council held a special meeting on December 22, 2014 for the purpose of setting goals and objectives for the 2014 – 2018 Council term. The following information being provided was one of the goals and objectives identified in this meeting.

Cost Estimates for Paved Shoulders and Edge Line Painting

Currently paved roads have an asphalt width of between 6.5 and 7 metres, most of these roads have room for up to an additional .5 metre of asphalt on each side of the roadway. The cost for the extra .5 meters per side is estimated at \$13,000.00 per kilometre of road. Edge line painting would cost an additional \$595.00 per kilometre and would require re-painting on an annual or biannual basis.

Total cost is \$13,595.00 per kilometre.

FINANCIAL IMPLICATIONS

Funding would be required through the approval of the budget for future capital road projects.

APPLICABLE LEGISLATION AND REQUIREMENTS

Not Applicable



REPORT PW-2015-005

TO: Mayor and Members of Council

FROM: Don Creed, Director of Public Works and Parks

DATE: October 21, 2015

SUBJECT: Authorizing Speed Limits By-Law 53/12

RECOMMENDATIONS

That Report PW-2015-005 regarding Authorizing Speed Limits By-Law 53/12 be received; and

That Council enact a By-law to extend the current 60 km/hr speed zone easterly by 1.2 km on Concession 1 in Crieff and to repeal By-law 53/12; and

That staff provide a copy of Authorizing Speed Limits By-law to the Ontario Provincial Police.

DISCUSSION

Purpose

The purpose of this Report is to seek approval from Council to repeal By-Law 53/12 and enact a consolidated by-law that includes a change in the current distance of the 60 km/hr speed zone on Concession 1 in Crieff.

Concession 1- Crieff

Concession 1 in Crieff currently has a 60 km/hr speed, residents to the east of the current speed zone have expressed concerns regarding safety and have formally requested for the speed zone extension. The Transportation of Canada Guidelines for Speed Limits recommends the extension to the current speed zone. Staff recommends granting the request made by the residents in the area to extend the current 60 km/hr speed zone by 1.2 km to the east.

Financial Implications

The costs associated with implementing the change to the current speed zone is estimated at \$700.00 for signage and will be funded from account 01-0030-4208 – Signage

Applicable Legislation and Requirements

Section 128 of the *Highway Traffic Act* authorizes the council of a municipality to pass a by-law to prescribe a rate of speed different from the rate set out in the legislation that is not greater than 100 km/hr and may prescribe different rates of speed for different times of day.

The *Highway Traffic Act* prescribes that the rate of speed is:

- 50 km/hr on a highway within a local municipality or within a built-up area
- 80 km/hr on a highway not within a built-up area that is within a local municipality that had the status of a Township on December 31, 2002 and, but for the enactment of the *Municipal Act, 2001*, would have had the status of a Township on January 1, 2003, if the municipality is prescribed by regulation.

Attachments

1. TAC Automated Speed Limit Guidelines Form
2. Letter of request from the residents of the area on Concession 1

Schedule "A" to Report PW-2015-005



Automated Speed Limit Guidelines FORM A - Automated Speed Limit Guidelines Spreadsheet

Version:
10-Apr-09

Name of Corridor:	Concession 1		
Segment Evaluated:	Sideroad 25	to	Concession 7
Geographic Region:	Ontario		
Road Agency:	Township of Puslinch		
Road Classification:	Collector	Length of Corridor:	1,200 m
Urban / Rural:	Rural	Design Speed: (Required for Freeway, Expressway, Highway)	80 km/h
Divided / Undivided:	Undivided	Current Posted Speed: (For information only)	80 km/h
Major / Minor:	Major	Prevailing Speed: (85th Percentile - for information only)	80 km/h
# Through Lanes	1 lane	Policy: (Maximum Posted Speed)	80 km/h
Per Direction:			

		RISK	Score
A1	GEOMETRY (Horizontal)	Lower	2
A2	GEOMETRY (Vertical)	Medium	4
A3	AVERAGE LANE WIDTH	Medium	2
B	ROADSIDE HAZARDS	Medium	6
C1	PEDESTRIAN EXPOSURE	Higher	3
C2	CYCLIST EXPOSURE	Higher	3
D	PAVEMENT SURFACE	Medium	6
E1	NUMBER OF INTERSECTIONS WITH PUBLIC ROADS	Number of Occurrences	0
	STOP controlled intersection	0	
	Signalized intersection	0	
	Roundabout or traffic circle	0	
	Crosswalk	0	
	Active, at-grade railroad crossing	0	
	Sidestreet STOP-controlled or lane	0	
E2	NUMBER OF INTERSECTIONS WITH PRIVATE ACCESS DRIVEWAYS	Number of Occurrences	8
	Left turn movements permitted	19	
	Right-in / Right-out only		
E3	NUMBER OF INTERCHANGES	Number of Occurrences	0
	Number of interchanges along corridor	0	
F	ON-STREET PARKING	N/A	0

Total Risk Score:

34

**Recommended Posted
Speed Limit (km/h):**

As determined by road characteristics

60

As determined by policy

80

The recommended posted speed limit may be checked against the prevailing speeds of the roadway and the road's safety performance.

Comments:

Extend the existing 60km zone for 1.2km east towards Concession 7

Schedule "B" to Report PW-2015-005

August 27, 2015

Attention: Don Creed, Road Superintendent, Township of Puslinch

Subject: Residents request to extend the 60K zone on the 1st Concession

The 1st Concession intersects with Townline Road Cambridge/Puslinch to the west and Hwy 6 at its most eastern intersection. Both Hwy 6 and Townline are posted at 60 km.. Whereas the 1st is 80 with the exception a small section where it is 60 through Crieff. The residents along the 1st Concession from the 7th up to the marker of the 60k zone would like to bring to your attention our concerns about the rate of speed on this section of the 1st.

We would like to have your office consider our request to extend the 60k from the 7th.

Our thoughts are below as to why we believe this section of the 1st should also be posted at 60 km

The road between these points (7th to the current 60k marker) is almost all downhill or uphill based on which direction one is heading. Heavily tree line with deep ditches

An estimated 15 new houses have been built in the last 15 years. Many driveways could be considered "Hidden". We have more kids along this section and therefore more school bus stops.

Shoulders on the 1st allow a motorist to pull over with the passenger side front and rear wheels on the shoulder thus blocking the lane as most of the vehicle is still on the pavement in a parked situation.

The road in this section is marked with a single yellow line. We assume officials have marked the 1st accordingly due to the thought that passing is dangerous on roads marked accordingly.

The 1st is also a popular and regular route for bike enthusiasts including tournament riders to single riders enjoying the sport. They struggle up the hill and possibly not aware of traffic coming behind them. They are using the road as there are no bike lanes for their safety.

The 401 and Moriston road congestion has commuters finding alternate ways to get to their destinations. They know the Gore is posted at 60k its entire length. They have found the 1st and regularly travel 90-100 kmh.

Walking along this section on the 1st is considered dangerous. A walker is just a foot away from a passing motorist. Hopefully a walker and a motorist are making eye contact so everyone will be safe. It is scary with a 80 plus kmh vehicle passing that close to you.

With regards to mail deliveries, newspaper and flyers, we are concerned for the safety of the deliverymen. Their vehicles are mostly still on the road when they pull up to the mailbox. The delivery times vary from a.m. to p.m. and often they are still delivering to the mail boxes during the afternoon rush hour. It's an accident waiting to happen. Eastbound and westbound vehicles have to yield. An aggressive driver who is not yielding to the oncoming motorist could easily cause an accident in this situation. The homeowner often puts themselves in harm's way too when they drive up to the mail box for their mail in the same manner as the delivery person.

Farm machinery transits our section of the 1st regularly and a tractor and attachment often can utilize most of the eastbound and the westbound lane through this section.

Deer are abundant along this section of the 1st. There are no deer signs in this section. There are no street lights and the road has slightly more than a foot of curb adjacent to the deep ditches. Our point in the deer come out of the bush and are onto the road is seconds. A motorist at a high rate of speed cannot brake in this situation. Just last week a deer was killed at a regular deer crossing section of the 1st.

Internet shopping has stepped up commercial household deliveries. Every day it is common to see Purolator, Canpar, FedEx and UPS making their daily rounds.

Given we are zoned agriculture and residential, there is the ability for residents to operate approved commercial business from our homes. This zoning has increased truck deliveries to our neighbourhood. Transport trucks in some situations are too long to get into driveways and must deliver from the roads. These deliveries can happen any time of the day and including rush hours.

We believe the points of concern we have brought to your attention will support our request to have an extension to the current 60k zone and thereby ensuring the improved safety for all users and residents of this section of the road.

We are available to discuss the matter with you in greater detail at your earliest convenience.

Regards

On behalf of residents on the 1st Concession.

Al and Judy Carpenter and Glen and Bev Rogers

D. Danylyk 7205 Concession 1
Teresa Peters. 7208 Concession One, RR#2.
Glen Rogers 7208 Concession One RR#2
Lynne Shindler 7205 - CONCESSION ONE, RR#2

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Al and Judy Carpenter and Glen and Bev Rogers

Judy Carpenter 7223

Al and Judy Carpenter 7223.

A.M. Jamieson - 7230

Andar Joubert - 7280

Doug McDonald # 7209

Gladys McDonald # 7209

Jack & Glen 7201

Michelle 7201

Glen Henderson 7225

Henderson 7225

Glen Rogers 7226

Bev Rogers 7226

Tyler 7234

D Russell 7234