

PLANNING & DEVELOPMENT ADVISORY COMMITTEE JULY 13, 2021 7:00 p.m.

Register in advance:

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AGENDA

COMMITTEE OF ADJUSTMENT:

- 1. CALL THE MEETING TO ORDER
- 2. ROLL CALL
- 3. OPENING REMARKS
- 4. DISCLOSURE OF PECUNIARY INTEREST
- 5. APPROVAL OF MINUTES
 - June 8, 2021
- **6. APPLICATIONS FOR MINOR VARIANCE OR PERMISSION** under section 45 of the Planning Act to be heard by the Committee this date:
- **Minor Variance Application D13-CUL Stuart and Karen Cullen –** 6944 Concession 1, Front Part Lot 18, Concession 1, Township of Puslinch.

Requesting relief of Zoning By-law #23-2018, as amended, from Section 4.16. – General Provisions MDSI New Non-Farm Uses, to provide relief from the Minimum Distance Separation I (MDS I) setback requirement to permit approximately a reduced Minimum Distance Separation Type I of 223 meters (a difference of 53 meters) instead of 276 meters.



PLANNING & DEVELOPMENT ADVISORY COMMITTEE JULY 13, 2021

7:00 p.m.

Minor Variance Application D13-FEL – Jaqueline Fell and Brent Wilson – 4030 Highway 6, Rear Part Lot 37, Concession Gore Township of Puslinch.

Requesting relief of Zoning By-law #23-2018, as amended, from Section 4.17.1 (a) and (b) Buildings and Structures, Section 4.17.4 Non-Conforming Uses, Section 4.33 Temporary Residence During Construction and Section 5.2.13 Parking of Recreational Vehicles and Boats.

The purpose and effect of the application is to provide relief from:

- 1. Section 4.17.1 (a) Buildings and Structures to have a reduced side yard setback from the existing 3.23 meters to 1.68 m;
- 2. Section 4.17.1 (b) to increase the height from the existing 5.18 meters to 8.23 meters;
- 3. Section 4.17.4 Non-Conforming uses to have legal non-conforming status;
- 4. Section 4.33 Temporary Residence During Construction to permit the use of a temporary residence during the construction of the primary residential home in the commercial zone on a lot that is not vacant.; and
- 4. Section 5.2.13 Parking of Recreational Vehicles and Boats to permit the parking of a recreational vehicle in a commercial zone for a period of one year from the occupancy of the principal building.
- **6(c)** Minor Variance Application D13-ROB Will Roberts and Vanessa Forster 24 Gilmour Road, Front Part Lot 23, Concession 8, Township of Puslinch.

Requesting relief of New Comprehensive Zoning By-law # 23-2018, as amended, from Section 4.24.1 (a) and (b) Shipping Containers in Residential Zones.

The purpose and effect of the application is to provide relief from Section 4.24.1 (a) and (b) to allow for shipping containers on the property for a time period not to exceed 1 year.

7. OTHER MATTERS

- None
- 8. ADJOURNMENT OF COMMITTEE OF ADJUSTMENT



PLANNING & DEVELOPMENT ADVISORY COMMITTEE JULY 13, 2021

7:00 p.m.

AGENDA

Addendum

9(a) Property Standards Enforcement Appeals - Jeff Bunn, Deputy Clerk, will provide an overview to the Committee of its role in in the appeal of Property Standards Orders

PLANNING & DEVELOPMENT ADVISORY COMMITTEE

- 1. CALL THE MEETING TO ORDER
- 2. OPENING REMARKS
- 3. ROLL CALL
- 4. DISCLOSURE OF PECUNIARY INTEREST
- 5. APPROVAL OF MINUTES
 - June 8, 2021
- 6. APPLICATION FOR SITE PLAN URBAN DESIGN REVIEW
- **Site Plan Application D11-KAU Manu and Pooja Kaushik –** 10-32 Telfer Glen Street, Plan 802 Part Block 42, Township of Puslinch.

The purpose and effect of this application is to review the site plan application with respect to the Township's Urban Design Guidelines for the proposed medical office and pharmacy on a vacant lot zoned as Core Mixed Use.

- 7. ZONING BY-LAW AMENDMENT
- **Zoning By-Law Application D14/STU- John Stubbs and Mary Lake** 4363 Wellington Road 35, Concession 2 Front Part Lot 16 INC RP;61R1736 Parts 1 & 2 INC RP;61R3284 Part 1 Part South of Highway 401, Township of Puslinch.

The proposed Zoning By-law Amendment is to rezone the Retained Parcel from Agricultural to a Specialized Agricultural to prohibit a residential dwelling and to prohibit livestock in the barn. A surplus farm residence severance was applied for with the County and this is required to satisfy Conditions 5 & 8 of Approved Application B111-20.

7(b) Zoning By-Law Application D14/XUE- James and Wanda Xuereb – 4290 Victoria Road South, Concession 8 Rear Part Lot 28, Township of Puslinch.

The proposed Zoning By-Law Amendment is to rezone the current Agricultural (A) and Natural Environment (NE) to Agricultural (A) with special use provisions to permit a total of 10 storage containers with a maximum area of 51 m² each whereby 4 of the containers



PLANNING & DEVELOPMENT ADVISORY COMMITTEE JULY 13, 2021

7:00 p.m.

are rented out for profit/gain and an accessory building whereby 50% of the space is used to store and maintain motorized personal vehicles. No change to the NE portion of the lands is proposed.

- 8. LAND DIVISION
 - None
- 9. OTHER MATTERS
- **9(a)** Property Standards Enforcement Appeal
- 10. CLOSED MEETING
 - None
- **11. NEXT MEETING** Tuesday, August 10, 2021 @ 7:00 p.m.
- 12. ADJOURNMENT



MINUTES

1. CALL THE MEETING TO ORDER

The June 8, 2021 Committee of Adjustment Meeting was held on the above date and called to order at 7:00 p.m. via electronic participation.

2. ROLL CALL

MEMBERS IN ATTENDENCE

Councilor John Sepulis, Chair Paul Sadhra Dan Kennedy Dennis O'Connor Deep Basi

MEMBERS ABSENT

None

STAFF IN ATTENDANCE

Lynne Banks, Development and Legislative Coordinator Courtenay Hoytfox, Clerk Jeff Bunn, Deputy Clerk Zachary Prince, Senior Planner, County of Wellington Joanna Salsberg, Planner, County of Wellington

3. **OPENING REMARKS**

The Chair welcomed those attending the meeting to the Committee of Adjustment and informed the attendees that Township Staff would present the application, then the applicant would have the opportunity to present the purpose and details of the application and provide any further relevant information. Following this, the public can obtain clarification, ask questions and express their views on the proposal. The members of the Committee can then obtain clarification, ask questions and express their views on the proposal. All application decisions are subject to a 20 day appeal period.

4. DISCLOSURE OF PECUNIARY INTEREST

None

5. APPROVAL OF MINUTES

Moved by: Dennis O'Connor

Seconded by: Deep Basi

That the Minutes of the Committee of Adjustment meeting held Tuesday, May 11, 2021 be adopted.

CARRIED

- **6.** <u>APPLICATIONS FOR MINOR VARIANCE OR PERMISSION</u> under section 45 of the Planning Act to be heard by the Committee this date:
- **Minor Variance Application D13-HUT James and Sharon Hutton –** 6547 Wellington Road 34, Rear Part Lots 2 and 3, Concession 2, Township of Puslinch.

Requesting relief of Zoning By-law #23-2018, as amended, from Section 4.2(b)(i) - Accessory Apartments, to permit an accessory apartment to be located 74 meters from the single detached dwelling on the lot instead of a maximum of 15 meters, as required.



- Lynne Banks advised the Committee that staff was requesting that the application be deferred
 to allow for staff to located and review old building permits and drawings relating to the
 accessory structure as well as to allow the applicant's agent to address mapping concerns with
 the GRCA. She further noted that the agent and the applicant were in agreement with the
 deferral.
- The Committee voted unanimously to defer the application until the June 14, 2021 Committee of Adjustment meeting.

That Application D13/HUT requesting relief from provisions of Zoning By-Law #023/2018, as amended, from Section 4.2(b)(i) - Accessory Apartments, to permit:

An accessory apartment to be located 74 meters from the single detached dwelling on the lot instead of a maximum of 15 meters, as required.

Is deferred until both the applicant's agent and Township and County staff have more time to locate and review old building permits and drawings relating to the accessory structure as well as for the agent to discuss concerns with the GRCA regarding the Natural Environment area of the property on the GRCA mapping.

CARRIED

6(b) Minor Variance Application D13-JON – Andrew, Paul & Wendy Jones – 4553 Watson Road South, Part Lot 17, Concession 10, Township of Puslinch.

Requesting relief of Zoning By-law #23-2018, as amended, from Section 4.16.2 General Provisions MDS II New or Expanding Livestock Facilities and Manure Storage facilities.

The purpose and effect of the application is to provide relief from the Minimum Distance Separation II (MDS II) setback requirement to permit a reduced Minimum Distance Separation Type II of approximately 65 meters instead of 93 meters (Type A) (a difference of 28 meters).

- Pierre Chauvin, agent for the applicant, provided an overview of the application.
- Lynne Banks advised the Committee that there were attendees at the meeting that would like to address the committee on the application.
- Darryl Boucard expressed concerns regarding the location of the new structure and if any more barns are planned for the future.
- Pierre Chauvin advised that the structure being built is a "run-in" shelter for the horses to have shelter during inclement weather and MDS does not apply to the shelter. He also noted that the property is zoned agricultural and is approved to have farm structures on it.
- Bobby Hayes asked if there is any way to prevent additional livestock from being added and added that he has concerns regarding manure runoff contaminating the aquifer in the area.
- Zachary Prince advised if livestock was added to the barn, the owner would be required to apply
 for either a minor variance or a zoning by-law amendment and advised the a zoning by-law
 amendment would require approval from Township Council.
- Paul Sadhra asked how much livestock the existing barn can handle and what is the maximum capacity for livestock.
- Zachary Prince advised that the currently the square footage allows for 2 horses and 100 chickens which is amount of the livestock currently in the barn.
- Dan Kennedy asked if the owner can change the combination of animals housed in the barn.
- Zachary Prince advised that the MDS is based on nutrient units and can have different combinations of animals to reach the maximum amount permitted by the MDS calculations.
- Dennis O'Connor asked if it is high due to poultry manure.
- Zachary Prince advised that it is due to the number of chickens and location of storage.
- Dennis O'Connor asked if the manure is being stored outdoors.



- Zachary Prince advised that it is currently stored outdoors and if it is moved inside the barn, the MDS calculations will change. He also noted that the Committee can place a condition in the Decision as that the manure is to be stored inside.
- Dennis O'Connor provided a brief overview of manure storage requirements and noted that a condition should be put in the Decision for indoor storage of manure only.
- Pierre Chauvin advised that indoor storage would be costly to the owner and asked if a container with a lid would be allowed to permit the outdoor storage of manure in a metal container with a lid on top.
- Deep Basi asked if the owner has any future plans to expand the barn or move it.
- Pierre Chauvin advised that there are no future plans.
- John Sepulis asked if the owner obtained a building permit to build the barn.
- Pierre Chauvin advised that he doesn't know if one was obtained.
- John Sepulis asked how large the manure pile was.
- Pierre Chauvin advised that he wasn't aware that the manure was being stored at outside the barn and that the owner would agree to have the manure stored in a container with a lid.
- Dennis O'Connor made a motion to require the manure be stored enclosed in a metal container with a lid.
- Four members voted in favour of the motion and one member voted to decline.
- There were no further questions or comments.

That Application D13/JON requesting relief from provisions of Zoning By-Law #023/2018, as amended, to permit:

Requesting relief of Zoning By-law #23-2018, as amended, from Section 4.16.2 General Provisions MDS II New or Expanding Livestock Facilities and Manure Storage facilities.

The purpose and effect of the application is to provide relief from the Minimum Distance Separation II (MDS II) setback requirement to permit a reduced Minimum Distance Separation Type II of approximately 65 meters instead of 93 meters (Type A) (a difference of 28 meters).

Is approved with the following condition(s).

That the owner provide covered storage for the manure to protect it from the elements.

CARRIED

Minor Variance Application D13-SLA – Mark & Karen Slade - 17 Calfass Road, Lot 30, Concession 7, Township of Puslinch.

Requesting relief of New Comprehensive Zoning By-law # 23-2018, as amended, from Section 4.17.1(b) and Section 12.4 to increase the size of an existing garage.

- Mark Slade, owner of the property, provided an overview of the application and advised that
 there were two issues regarding the property. The first is that he is required to consolidate both
 side-by-side parcels into one parcel. The second is that there is a Natural Environment Zone on
 his property and the addition is located within this zone.
- Lynne Banks advised the Committee the two parcels have been consolidated into one parcel and that the owner has provided the Township with a copy of the registered documents. She also noted that Conservation Halton has advised that they have been working with the owner and are in support of the minor variance request.
- There were no comments from the public.
- Deep Basi asked if the owner has GRCA approval.
- Lynne Banks advised that it is not in their jurisdiction, but with Conservation Hamilton and the owner has its approval.



• There were no further questions or comments.

That Application D13/SLA requesting relief from provisions of Zoning By-Law #023/2018, as amended, to permit:

In the matter of Section 45 of the *Planning Act*, as amended, and New Comprehensive Zoning By-law #023-2018, as amended, and an application for a minor variance requesting relief to increase the size of an existing garage.

Is approved with no condition(s).

CARRIED

6(d) Minor Variance Application D13-SAV – James Savoie – 596 Arkell Road, Part Lot 3, Plan 131, Part 1 on Reference Plan 61R-9995, Township of Puslinch.

Requesting relief of New Comprehensive Zoning By-law # 23-2018, as amended, from Section 4.17.1(b) to increase the size of an existing residential dwelling.

- James Savoie provided an overview of the application.
- Dan Sloot, attendee, advised that he had no comment.
- There were no further questions or comments from the public.
- There were no questions or comments from the Committee.

That Application D13/SAV requesting relief from provisions of Zoning By-Law #023/2018, as amended, to permit:

Requesting relief of New Comprehensive Zoning By-law # 23-2018, as amended, from Section 4.17.1(b) to increase the size of an existing residential dwelling.

Is approved with no condition(s).

CARRIED

7. OTHER MATTERS

None

8. ADJOURNMENT

Moved by: Deep Basi Seconded by: Dennis O'Connor

The Committee of Adjustment meeting adjourned at 8:06 p.m.

CARRIED



General Information:

Township of Puslinch

7404 Wellington Road 34 Pustinch, ON, N0B 2J0

> T: (519) 763 – 1226 F: (519) 763 – 5846 www.puslinch.ca

Minor Variance or Permission Application

1. Applicant Information: Registered Owner's Name(s): Stuart Michael Cullen & Karen Lynn Cullen Address: 6944 Concession Road 1 Puslinch City: NOB 2J0 Postal Code: E-mail Address: Telephone Number: Fax: Black, Shoemaker, Robinson & Donaldson Limited Applicant (Agent) Name(s): 257 Woodlawn Road, Unit 101 Address: Guelph City: N1H 8J1 Postal Code: E-mail Address: Telephone Number: Fax:

Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property.

	of Nova Scoti ick Street, 10 Ontario						
Send correspor	ndence to: C	Owner: x	Agent	x C	ther:		_
2. Provide a de	escription o	f the "entire	" property:				
Municipal addre	ess: 6944 C	oncession R	load 1				
Concession:	Gore			Lot:	Part Lot	: 17	
Registered Plan	n Number:						
Area: 38.09	ha	Depth:	1033.77	m	Frontage:_	209.47	m
69.4	ac		3,392	ft		687.2	ft
Width of road a Reason for A 3. Please ind application	Application	n:	he Plannin	ıg Act ı	under whic	h this	
Section 45(height, etc.)		o a change	to a by-law	standa	rd (e.g. setb	acks, fron	tage,
Section 45 conforming		to a change	e to or exp	pansion	of an exist	ing legal	non-
4. What is the (please spe				that is	being appl	ied for?	
Seeking relief to Section 4.16.1 MDS calculated new lot. The pexisting barn.) of the by-la on requires a	ıw. ı separation (of 276 metre	es from (Classy Lane	Stables to	the

Jord grootmando 1004	icts the new lot to the westerly side of the property.
6. What is the current (Official Plan and zoning status?
	n: Secondary Agricultural
Zoning Designation:	Agricultural (A)
'. What is the access t	to the subject property?
rovincial Highway:	
ontinually maintained n	nunicipal road: 🗶
easonally maintained n	nunicipal road:
Other: (please spec	cify below)
s. What is the name of subject property?	of the road or street that provides access to the
Concession Road 1	
. If access is by water used or to be used a	only, please describe the parking and docking facilities and the approximate distance of these facilities from the earest public road.
subject land to the n	·
subject land to the n	

Existing and Proposed Service:

10. Indicate the applicable water supply and sewage disposal:

Water Supply/Sewage Disposal:	Existing:	Proposed:
Municipal Water:		
Communal Water:		
Private Well:	x	x
Other Water Supply:		
Municipal Sewers:		
Communal Sewers:		
Private Septic:	x	x
Other Sewage Disposal:		
11. How is storm drainage provided? Storm Sewers: Ditches: Swales: Other means: (explain below)		

Existing Subject and Abutting Property Land Uses, Buildings and their Locations:

12. What is the	existing	use	of:
-----------------	----------	-----	-----

The subject property?	Vacant land	

The abutting properties? <u>Classy Lane Stables, Sunrise Equestrian, hobby Farm, rural re</u>sidential paddocks and agricultural fields

13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)

Type of Building(s)/ structures	Detached res this time - wi	sidential dwell	ing -design not determ lance with by-law requ	mined at uirements
Main Building height	m	ft.	m	ft.
*Percentage lot coverage	m²	ft.	m	ft.
*Number of parking spaces				
*Number of loading spaces				
Number of floors				
Total floor area	m²	ft ²	m ²	ft²
Ground floor area (exclude basement)	m²	ft²	m²	ft²

14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)

In accordance with by	law			
Front Yard	m	ft.	m	ft.
Rear Yard	m	ft.	m	ft.
Side Yards	m	ft.	m	ft.

15. What are the dates of acquisition and construction of subject property and bullding property?
Date of acquisition of subject property: September 4th, 2009
Date of construction of buildings property: barn-house -
16. How long have the existing uses continued on the subject property?
17. Has the owner previously applied for relief in respect of the subject property?
Yes No x
If the answer is yes, please indicate the file number and describe briefly:
Other Related Planning Applications:
18. Has an application for any of the following on the subject lands?

Planning Application:	Yes:	No:	File Number:	Approval Authority:	Subject Lands	Purpose:	Status:
Official Plan Amendment		x					
Zoning By- Law Amendment		x	4				
Plan of Subdivision		x					
Consent (Severance)	x		Concurrent Application	Wellington County	Part	Rural Residential	In process
Site Plan		x					
Minor Variance	x		Current application	Township of Puslinch	x	Relief from MDS 1	

Authorization for Agent/Solicitor to act for Owner:

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written

Township of P	Puslinch		County/	/Region	of
Wellington	do	hereby auti	norize		
/Black, Shoemaker, Robinson & Don	aldson	o act as my	agent in t	his appl	icati
	1	26	May 2	2021	
Signature of Owner(s)			7 Da	ate	
Affidavit:					
I (we) Nancy Shoemaker					of th
City of G	uelph		County/	Region	of
Wellington	sol	emnly decla	re that all	the state	eme
contained in this application are true,	and I, (we), I	make this so	lemn decl	laration	
contained in this application are true, conscientiously believing it to be true, as if made under oath and by virtue of	, and knowing	g that it is of	the same	force a	
conscientiously believing it to be true	, and knowing	g that it is of	the same	force a	
conscientiously believing it to be true,	, and knowing	g that it is of	the same	force a	ED _ ir
conscientiously believing it to be true, as if made under oath and by virtue obefore me at the <u>City</u>	, and knowing	g that it is of	the same	force a	ED _ ir
conscientiously believing it to be true, as if made under oath and by virtue obefore me at the <u>City</u> County/Region of <u>Wellington</u>	, and knowing	g that it is of	the same	force a	ED _ ir
conscientiously believing it to be true, as if made under oath and by virtue obefore me at the <u>City</u> County/Region of <u>Wellington</u>	, and knowing	g that it is of	the same	Force and DECLAR	ED _ ir
conscientiously believing it to be true, as if made under oath and by virtue of before me at the City County/Region of Wellington March May , 2021	, and knowing	g that it is of	the same CE ACT. Dthis1 May 31	force and DECLAR	ED _ ir
conscientiously believing it to be true, as if made under oath and by virtue obefore me at the <u>City</u> County/Region of <u>Wellington</u>	, and knowing	g that it is of	the same CE ACT. Dthis1 May 31	Force and DECLAR	ED
conscientiously believing it to be true as if made under oath and by virtue of before me at the City County/Region of Wellington March May , 2021 Signature of Owner or authorized	, and knowing	g that it is of OA EVIDENC Guelph	the same CE ACT. Dthis1 May 31	PECLAR DECLAR DIVA	ED _ i

Kerry Francis Hillis, a Commissioner, etc., Francis of Ontario, for Black, Shoemaker, Robinson & Donaldson Limited Expires March 28, 2022

Agreement to Post Sign and Permit Site Visits:

A form is included in the Zoning By-law Amendment application to agree to erect a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits.

The applicant is required to erect and maintain a sign on the proposed lands within one week of the application being deemed complete by staff and to remove the sign when the application has been given final approval. The sign shall be a minimum of 1.2×1.2 metres on posts 0.5 metres above grade and include the following wording to be approved by Township staff:

A PROPOSAL HAS BEEN MADE
ON THIS SITE FOR: (50 mm text height)
A ZONING BY-LAW AMENDMENT TO xxx (100 mm text height)
FOR FURTHER INFORMATION
PLEASE CONTACT THE TOWNSHIP OF PUSLINCH 7404 WELLINGTON ROAD 34
(519) 763 - 1226 (30-50 mm text height)

For Administrative Purposes Only:

Signature of Municipal	Employee	Date	<u> </u>
Application deemed com	plete:		
File Number:			*
Date Application Filed:			
Date Fee Received:	11	_	
Application fee of	\$	received by the municipality	

Personal Information on this form is collected under the authority of the Planning Act. The Information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.



May 31, 2021

Ms. Lynne Banks Development Coordinator Township of Puslinch 7404 Wellington Road 34 Puslinch, Ontario NOB 230

Dear Ms. Banks:

Re: Applications for Minor Variance

6944 Concession Road 1

Owner: Stuart Michel Cullen and Karen Lynn Cullen

Please find enclosed an "Application for Minor Variance" for the above-noted property. Also enclosed is a cheque payable to the Township of Puslinch in the amount of \$1,241.00 to cover the Township's processing fees. Finally, I have included a sketch illustrating the MDS 1 setbacks for a proposed new lot at the above-noted location, as well as an air photo of the proposal.

The owners of 6944 Concession Road 1 are applying to the County of Wellington for a consent to sever a lot from the southwest corner of their property.

Attached are the Farm Data sheets and MDS calculations for all barns within 500 metres of the proposed severance.

The purpose of the minor variance is to seek a reduction in the MDS 1 calculation from the required 276 metres to 223 metres from the Classy Lane Stables barns. The County and the Ministry is working with Classy Lane Stables on a nutrition management strategy. The owner has indicated that manure is transferred weekly from the farm. Between the location of the manure storage on this property over 500 metres from the proposed new lot and the fact that the manure is removed weekly, this should ensure that the new owners will not be impacted by odour associated with the Classy Lane Stables operation.

Should you require any additional information in support of this application, please call me.

Yours very truly

BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED

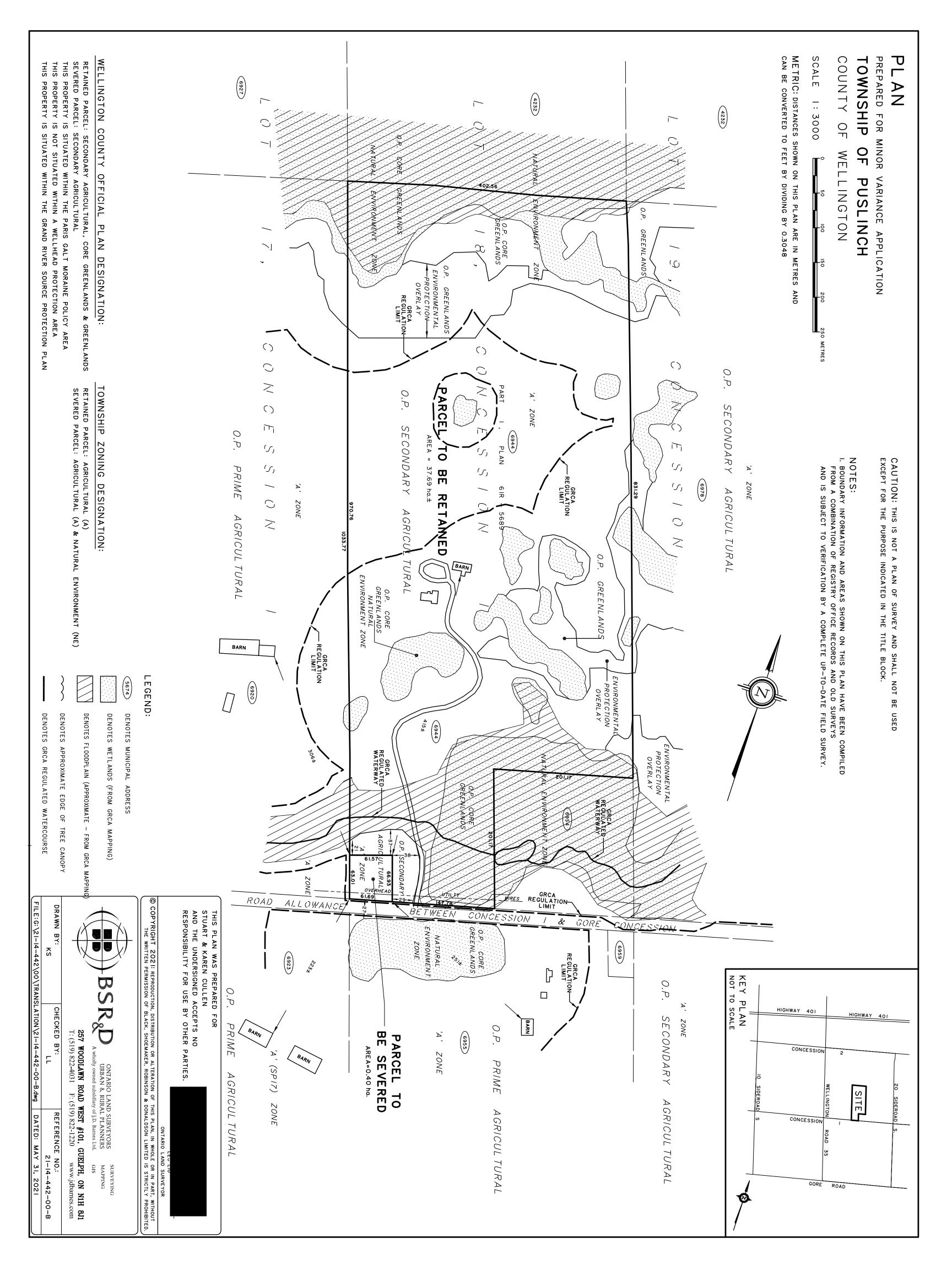
Nancy Shoemaker, BAA, RPP

Attachments

Copy:

Stuart and Karen Cullen

Project: 21-14-442





Prepared By: Nancy Shoemaker, Planner, Black, Shoemaker, Robinson & Donaldson

Description:

6920 Concession Road 1, Puslinch

Application Date:

Tuesday, May 11, 2021

Municipal File Number:

Proposed Application:

Lot creation for a maximum of three non-agricultural use lots

Type A Land Use

Applicant Contact Information

Nancy Shoemaker Black, Shoemaker, Robinson & Donaldson

Limited

257 Woodlawn Road West, Unit 101 Guelph, ON, Canada N1H 8J1 Phone #1: 519-822-4031 Email: nancy@bsrd.com

Location of Subject Lands

County of Wellington, Township of Puslinch

PUSLINCH, Concession: 1, Lot: 17

Roll Number:

2301000004097000000

Calculation Name:

Farm 1

Description:

6920 Conession Road 1, Puslinch

Farm Contact Information

Lynne Sunrise Therapeutic 6920 Concession Road 1 Puslinch, ON, Canada

Phone

Location of existing livestock facility or anaerobic digester

County of Wellington, Township of Puslinch

PUSLINCH, Concession: 1, Lot: 17

Roll Number: 2301000004097000000

Total Lot Size: 42 ha

The barn area is an estimate only and is intended to provide users with an indication of whether the number of livestock entered is reasonable.

Manure Type	Type of Livestock/Manure	Existing Maximum Number	Existing Maximum Number (NU)	Estimated Livestock Barn Area
Solid	Horses, Large-framed, mature; > 680 kg (including unweaned offspring)	2	2.9	60 m²
Solid	Horses, Medium-framed, mature; 227 - 680 kg (including unweaned offspring)	7	7.0	163 m²
Solid	Horses, Small-framed, mature; < 227 kg (including unweaned offspring)	2	1.0	33 m²

Existing Manure Storage: V3. Solid, outside, no cover, >= 30% DM

Design Capacity (NU):

10.9

Potential Design Capacity (NU):

21.7

(Manure Type) (Encroaching Land Use)

Factor A Factor B (Odour Potential) (Size)

Factor D

Factor E

Building Base Distance F'

(minimum distance from livestock barn)

(actual distance from livestock barn)

X 203.43 X 0.7

0.7 X

110 m (360 ft)

306 m (1004 ft)

Storage Base Distance 'S'

(minimum distance from manure storage) (actual distance from manure storage)

110 m (360 ft)

306 m (1004 ft)

Preparer Information

Nancy Shoemaker

Planner

Black, Shoemaker, Robinson & Donaldson

257 Speedvale Avenue West, Unit 101 Guelph, ON, Canada N1H 8J1 Phone #1: 519-822-4031 Email: nancy@bsrd.com

Signature of Preparer:

Nancy Shoemaker, Planner

NOTE TO THE USER:

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Page 1 of 1

AgriSuite 3.4.0.18

Date Prepared: May 11, 2021 2:45 PM

576650



Worksheet 1

Prepared By: Nancy Shoemaker, Planner, Black, Shoemaker, Robinson & Donaldson

Description:

6923 Concession Road 1, Puslinch

Application Date:

Monday, May 17, 2021

Municipal File Number:

Proposed Application:

Lot creation for a maximum of three non-agricultural use lots

Type A Land Use

Applicant Contact Information

Nancy Shoemaker Black, Shoemaker, Robinson & Donaldson

257 Woodlawn Road West, Unit 101 Guelph, ON, Canada N1H 8J1 Phone #1: 519-822-4031

Email: nancy@bsrd.com

Location of Subject Lands

County of Wellington, Township of Puslinch PUSLINCH, Concession: GORE, Lot: 17

Roll Number:

2301000004054000000

Calculation Name:

Farm 1

Description:

6923 Concession Road 1, Puslinch

Farm Contact Information

Ross Buurma 6923 Concession Road 1 Puslinch, ON, Canada

Phone #1

Location of existing livestock facility or anaerobic digester

County of Wellington, Township of Puslinch PUSLINCH, Concession: GORE, Lot: 17 Roll Number: 2301000004054000000

Total Lot Size: 43 ha

The barn area is an estimate only and is intended to provide users with an indication of whether the number of livestock entered is reasonable.

Manure Type	Type of Livestock/Manure	Existing Maximum Number	Existing Maximum Number (NU)	Estimated Livestock Barn Area
Solid	Horses, Medium-framed, mature; 227 - 680 kg (including unweaned offspring)	44	44.0	1,022 m²
Solid	Horses, Medium-framed, mature; 227 - 680 kg (including unweaned offspring)	44	44.0	1,022 m²
Solid	Horses, Medium-framed, mature; 227 - 680 kg (including unweaned offspring)	44	44.0	1,022 m²

Existing Manure Storage: No storage required (manure is stored for less than 14 days)

Design Capacity (NU):

132.0

Potential Design Capacity (NU):

396.0

Factor A Factor B (Odour Potential) (Size)

Factor D (Manure Type) (Encroaching Land Use)

Factor E

Building Base Distance F'

(minimum distance from livestock barn) (actual distance from livestock barn)

0.7 X 511.13 X 0.7 X 1.1

276 m (904 ft)

223 m (732 ft)

Storage Base Distance 'S' (minimum distance from manure storage)

No storage present

Date Prepared: May 17, 2021 10:45 AM 182519

AgriSuite 3.4.0.18

Page 1 of 2



Worksheet 1

Prepared By: Nancy Shoemaker, Planner, Black, Shoemaker, Robinson & Donaldson

Preparer Information

Nancy Shoemaker
Planner
Black, Shoemaker, Robinson & Donaldson
257 Speedvale Avenue West, Unit 101
Guelph, ON, Canada N1H 8J1
Phone #1: 519-822-4031

Email: nancy@bsrd.com

Signature of Preparer:		Date:	
	Nancy Shoemaker, Planner		

NOTE TO THE USER:
The Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA) has developed this software program for distribution and use with the Minimum Distance Separation (MDS) Formulae as a public service to assist farmers, consultants, and the general public. This version of the software distributed by OMAFRA will be considered to be the official version for purposes of calculating MDS. OMAFRA is not responsible for errors due to inaccurate or incorrect data or information; mistakes in calculation; errors arising out of modification of the software, or errors arising out of incorrect inputting of data. All data and calculations should be verified before acting on them.

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Page 2 of 2



Worksheet 1

Prepared By: Nancy Shoemaker, Planner, Black, Shoemaker, Robinson & Donaldson

Description:

6944 Concession Road1, Puslinch

Application Date:

Tuesday, May 11, 2021

Municipal File Number:

Proposed Application:

Lot creation for a maximum of three non-agricultural use lots

Type A Land Use

Applicant Contact Information

Nancy Shoemaker Black, Shoemaker, Robinson & Donadson Limited

257 Woodlawn Road West, Suite 101 Guelph, ON, Canada N1H 8J1 Phone #1: 519-822-4031

Email: nancy@bsrd.com

Location of Subject Lands

County of Wellington, Township of Puslinch

PUSLINCH, Concession: 1, Lot: 18

Roll Number:

2301000004095750000

Calculation Name:

Farm 1

Description:

6944 Concession Road 1, Puslinch

Farm Contact Information

Stuart & Karen Cullen 6944 Concession Road 1 Puslinch, ON, Canada Phone

Location of existing livestock facility or anaerobic digester

County of Wellington, Township of Puslinch PUSLINCH, Concession: 1, Lot: 18

Roll Number: 2301000004095750000

Total Lot Size: 38 ha

The barn area is an estimate only and is intended to provide users with an indication of whether the number of livestock entered is reasonable.

Manure Type	Type of Livestock/Manure	Existing Maximum Number	Existing Maximum Number (NU)	Estimated Livestock Barn Area
Solid	Horses, Large-framed, mature; > 680 kg (including unweaned offspring)	2	2.9	60 m²

Existing Manure Storage: V3. Solid, outside, no cover, >= 30% DM

Design Capacity (NU):

2.9

Potential Design Capacity (NU):

Factor A Factor B

(Odour Potential)

0.7

Factor D

Factor E

Building Base Distance F' (minimum distance from livestock barn)

(Size) (Manure Type) (Encroaching Land Use) 150 X 0.7 X 1.1 81 m (265 ft) (actual distance from livestock barn) 415 m (1362 ft)

Storage Base Distance 'S'

(minimum distance from manure storage) (actual distance from manure storage)

81 m (265 ft)

415 m (1362 ft)

Preparer Information

Nancy Shoemaker Planner Black, Shoemaker, Robinson & Donaldson 257 Speedvale Avenue West, Unit 101 Guelph, ON, Canada N1H 8J1 Phone #1: 519-822-4031 Email: nancy@bsrd.com

Signature of Preparer:

Nancy Shoemaker, Planner

Date:

11 202

NOTE TO THE USER:
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acting on them.



Worksheet 1

Prepared By: Nancy Shoemaker, Planner, Black, Shoemaker, Robinson & Donaldson

Description:

6955 Concession Road 1

Application Date:

Tuesday, May 11, 2021

Municipal File Number:

Proposed Application:

Lot creation for a maximum of three non-agricultural use lots

Type A Land Use

Applicant Contact Information

Location of Subject Lands

Nancy Shoemaker Black, Shoemakr, Robinson & Donaldson Limited

257 Woodlawn Road West, Suite 101

Guelph, ON, Canada N1H 8J1 Phone #1: 519-822-4031 Email: nancy@bsrd.com

County of Wellington, Township of Puslinch

PUSLINCH, Concession: 1, Lot: 18

Roll Number:

2301000004055000000

Calculation Name:

Farm 1

Description:

6955 Concession Road 1, Puslinch

Farm Contact Information

Richard & Debbie Paddock 6955 Concession Road 1 Puslinch ON Canada Phone #

Location of existing livestock facility or anaerobic digester

County of Wellington, Township of Puslinch PUSLINCH, Concession: 1, Lot: 18

Roll Number:

2301000004055000000

Total Lot Size: 38 ha

The barn area is an estimate only and is intended to provide users with an indication of whether the number of livestock entered is reasonable.

Manure Type	Type of Livestock/Manure	Existing Maximum Number	Existing Maximum Number (NU)	Estimated Livestock Barn Area
Solid	Beef, Cows, including calves to weaning (all breeds), Confinement [Livestock barn is currently unoccupied]	50	50.0	465 m²
Solid	Horses, Large-framed, mature; > 680 kg (including unweaned offspring) [Livestock barn is currently unoccupied]	10	14.3	302 m²

Existing Manure Storage: V3. Solid, outside, no cover, >= 30% DM

0.7

Design Capacity (NU):

64.3 192.9

Potential Design Capacity (NU):

Factor B X 397.35 X

Factor D

X

1.1

Factor E

Building Base Distance F'

Factor A (Odour Potential) (Size)

0.7

(Manure Type) (Encroaching Land Use) (minimum distance from livestock barn)

214 m (703 ft)

(actual distance from livestock barn) 251 m (823 ft)

Storage Base Distance 'S'

(minimum distance from manure storage) (actual distance from manure storage)

214 m (703 ft)

251 m (823 ft)

Preparer Information

Nancy Shoemaker Planner Black, Shoemaker, Robinson & Donaldson 257 Speedvale Avenue West, Unit 101 Guelph, ON, Canada N1H 8J1 Phone #1: 519-822-4031 Email: nancy@bsrd.com

Signature of Preparer:

Nancy Shoemaker, Planner

2021 Date:

NOTE TO THE USER:

NOTE TO THE USER:

The Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA) has developed this software program for distribution and use with the Minimum Distance Separation (MDS) Formulae as a public service to assist farmers, consultants, and the general public. This version of the software distributed by OMAFRA will be considered to be the official version for purposes of calculating MDS. OMAFRA is not responsible for errors due to inaccurate or incorrect data or information; mistakes in calculation; errors arising out of modification of the software, or errors arising out of incorrect inputting of data. All data and calculations should be verified before acting on them.

> Date Prepared: May 11, 2021 1:59 PM 953136

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FARM DATA SHEET Minimum Distance Separation I (MDSI)

Friends of Sunrise Limited (FOSL) - PROPERTY

NOTE TO FARM OWNER(S)

By filling out this form you will help to ensure that new land uses will be located a suitable distance from your livestock operation. Feel free to contact the County Planning office with any questions.

Contact Information Email	Telephone
Civic Address 6920 Conc 1	Municipality Township of Publines
Lot Part Lot 17 Concession	Conc 1 Division
Lot Size (where livestock facility is located)	hectares 102 acres
	Executive Director Date Apr 5/2
Signature of Livestock Facility Owner	EXECUTIVE DIRECTOR DATE THE
Please provide the size of the barns located of livestock capacity.	on the property. This information is used to verify maximum (ft²)m² (ft²)m² (ft²)m²
anure Storage Types Solid manure: 18% dry matter, or m	nore Liquid manure: <18% dry matter
Solid, inside, bedded pack Transported	CF- L1 Solid, outside, no cover, 18%- <30% dry matter, w
Solid, inside, bedded pack Transported	Solid, outside, no cover, 18%- <30% dry matter, w uncovered liquid runoff storage
Solid, inside, bedded pack Transported	Solid, outside, no cover, 18%- <30% dry matter, w uncovered liquid runoff storage Liquid, outside, with a permanent floating cover
Solid, inside, bedded pack Transported Solid, outside, covered Site Weekly	Solid, outside, no cover, 18%- <30% dry matter, w uncovered liquid runoff storage Liquid, outside, with a permanent floating cover M1 Liquid, outside, no cover, straight-walled storage
Solid, inside, bedded pack Transported Solid, outside, covered SHE WEEKLY Solid, outside, no cover, 230% dry matter	Solid, outside, no cover, 18%- <30% dry matter, w uncovered liquid runoff storage Liquid, outside, with a permanent floating cover
Solid, inside, bedded pack Solid, outside, covered Solid, outside, no cover, ≥30% dry matter Solid, outside, no cover, 18% - <30% dry matter, with	Solid, outside, no cover, 18%- <30% dry matter, w uncovered liquid runoff storage Liquid, outside, with a permanent floating cover M1 Liquid, outside, no cover, straight-walled storage

Animal Typ of Material		Housing Capacity (maximum)	Manure Storage Type (select from list)
Beef Cattle	Cows, including calves to weaning (all breeds)		
	Feeders (7 – 16 months)		
NA	Backgrounders (7 – 12.5 months)		
	Shortkeepers (12.5 – 17.5 months)		
Dairy Cattle	Milking-age cows (dry or milking)		
	Large-framed; 545 – 658 kg (e.g. Holsteins)		
	Medium-framed; 455 – 545 kg (e.g. Guernseys)		
	Small-framed; 364 – 455 kg (e.g. Jerseys)		
NIA	Heifers (5 months to freshening)		
	Large-framed; 182 – 545 kg (e.g. Holsteins)		
	Medium-framed; 148 – 455 kg (e.g. Guernseys)		
VI	Small-framed; 125 – 364 kg (e.g. Jerseys)		
	Calves (0 – 5 months)		
I	Large-framed; 45 – 182 kg (e.g. Holsteins)		
ſ	Medium-framed; 39 – 148 kg (e.g. Guernseys)		
	Small-framed; 30 – 125 kg (e.g. Jerseys)		
	Large-framed, mature; >681 kg (e.g. draft or draft cross breeds including unweaned offspring)	2	Va
	Medium-framed, mature; 227 – 680 kg (e.g. saddle, riding and racing breeds ncluding unweaned offspring)	7	Va
	mall-framed, mature; <227 kg (e.g. ponies and miniatures including nweaned offspring)	2	Va

FARM DATA SHEET (continued) Minimum Distance Separation I (MDSI)

Animal Typ of Material	e Description	Housing Capacity	Manure Storage Type (select from list)
Swine	Sows with litter, dry sows or boars	(maximum)	C.Siectaronnia
1 00	Breeder gilts (entire barn designed specifically for this purpose)		1
NIA	Weaners (7 – 27 kg)		
61	Feeders (27 – 136 kg)		
Sheep	Ewes & rams (for meat lambs; includes unweaned offspring & replacements)		
NIA	Ewes & rams (dairy operation; includes unweaned offspring & replacements)		
	Lambs (dairy or feeder lambs)		1
Goats	Does & bucks (for meat kids; includes unweaned offspring and replacements)		
NIA	Does & bucks (for dairy; includes unweaned offspring & replacements)		
ļ	Kids (dairy or feeder kids)		
Chickens	Layer hens (for eating eggs; after transfer from pullet barn)		
1	Layer pullets (day-olds until transferred into layer barn)		
NA	Broiler breeder growers (males/females transferred out to layer barn)		
	Broiler breeder layers (males/females transferred in from grower barn)		
	Broilers on any length of cycle		
Turkeys	Turkey poults (day-old until transferred to grow out turkey barn)		
	Turkey breeder layers (males/females transferred in from grower barn)		
. ,	Breeder toms		
1/19	Broilers (day-olds to 6.2 kg)		
` '	Hens (day-olds up to 6.2 to 10.8 kg; 7.5 kg is typical)		
	Toms (day-olds to over 10.8 to 20 kg; 14.5 kg is typical)		
	Turkeys at any other weights, or if unknown (by floor area)		
Veal Vol	Milk-fed		
Veal NA	Grain-fed		
	Please refer to Factor Table 1 of The Minimum Distance Separation (MDS)		
	Document for complete list of animal types		
MA			
	Use the volume of the manure storages		
manure			
	A livestock barn that does not currently house any livestock, but that housed		
	ivestock in the past and continues to be structurally sound and reasonably apable of housing livestock.*		
	NOTE: This should only be used where the initiation of the state of th	1	

*NOTE: This should only be used where obtaining information from the farm operator(s) and/or owner(s) was not possible (see Implementation Guideline 20 for more information).

QUESTIONS? PLEASE CONTACT

County of Wellington
Planning and Development Department
74 Woolwich Street, Guelph
ON N1H 3T9

P 519.837.2600 x2170

F 519.923.1694



FARM DATA SHEET

Minimum Distance Separation I (MDSI)

County of Wellington

DECTE TO FARM OWNER(S)

By filling out this form you will help to
ensure that new land uses will be located
a suitable distance from your livestock
operation. Feel free to contact the County
Planning office with any questions.

Own	er(s) of Livestock Fac	ility	1055	Suurma			
	ct Information						
Email	The second secon			felephone	_		
	Address	923		Municipality	-Pusta		
Lot			Concession	1		Division	
		ere livestock idelity is located)		acre		March 30/2	
Signat	ure of Livestock Faci						
BARN(S	SIZE Please provid livestock capa	e the size of th city	e barns located	on the property 12 It²/m²	. This information	is used to veri	fy maximum ft²/m²
Manure S	torage Types Solid	тапиге: 18 %	dry matter, or r	nore Liquid	manure: <18% dr	y matter	
V1 s	olid, inside, bedded pa	ick		LI	Solid, outside, r	no cover, 18%-	<30% dry matter, with
-	olid, outside, covered		,		uncovered liqui		
V3) S	olid, outside, no cover,	≥30% dry mat	ter 🚜	1.2			ent floating cover
V4 50	olid, outside, no cover,	18% - <30% d	ry matter, with	M1			ght-walled storage
	vered liquid runoff sto			M2	Liquid, outside,		
	juid, inside, undernea			H1	Liquid, outside,	no cover, slope	ed-sided storage
	uid, outside, with a po	ermanent, tigh	t-fitting cover			11-11-11-11-1	
Animal To of Materi						Housin Capacit	y Storage Type
Beef Cattle	Cows, including	calves to wear	ning (all breeds)			
	Feeders (7 – 16 t						
	Backgrounders (7 – 12.5 monti	hs)				
	Shortkeepers (12						
airy Cattle							
	Large-frame	d; 545 – 658 l	g (e.g. Holsteir	ns)			
	Medium-fra	med; 455 – 54	5 kg (e.g. Guer	nseys)			
	Small-frame	d; 364 – 455 k	g (e.g. Jerseys)				
	Heifers (5 months	to freshening	2)				
	Large-framed	1; 182 – 545 k	g (e.g. Holstein	is)			
	Medium-fran	ned; 148 - 45	5 kg (e.g. Guer	nseys)			
	Small-framed	: 125 - 364 kg	g (e.g. Jerseys)				
	Calves (0 - 5 mont	hs)					
			(e.g. Holsteins)	0			
	Medium-fram						
1	Small-framed,			San Francisco			
es	Large-framed, matu	ire; >681 kg (raft cross breed	ds including		
ŀ	Medium-framed, m		SU halaa ca	Idla cidina ana	racing broads		
1	including unweaned		ION KR (C'R' 24)	ione, Humig and	taring preeds	44 PC1	im V3
T	Small-framed, matur unweaned offspring	re; <227 kg (e	.g. ponies and	míniatures inc	luding		

* transported off site weekly.

of Ma	al Type Description terial	Housing Capacity	Manure Storage Type (select from lost)
Swine	Sows with litter, dry sows or boars		
-1	Breeder gilts (entire barn designed specifically for this purpose)		
1	Weaners (7 – 27 kg)		
<u> </u>	Feeders (27 – 136 kg)		
Sheep	Ewes & rams (for meat lambs; includes unweaned offspring & replacements)		
1	Ewes & rams (dairy operation; includes unweaned offspring & replacements)		
1	Lambs (dairy or feeder lambs)		
Goats	Does & bucks (for meat kids; includes unweaned offspring and replacements)		
1	Does & bucks (for dairy; includes unweaned offspring & replacements)		
	Kids (dairy or feeder kids)		
Chickens	Layer hens (for eating eggs; after transfer from pullet barn)		
1	Layer pullets (day-olds until transferred into layer barn)		
1	Broiler breeder growers (males/females transferred out to layer barn)		
1	Broiler breeder layers (males/females transferred in from grower barn)		
Broilers on any length of cycle			
Turkeys	Turkey poults (day-old until transferred to grow out turkey barn)		
	Turkey breeder layers (males/females transferred in from grower barn)		
	Breeder toms		
	Broilers (day-olds to 6.2 kg)		
	Hens (day-olds up to 6.2 to 10.8 kg; 7.5 kg is typical)		
	Toms (day-olds to over 10.8 to 20 kg: 14.5 kg is typical)	- 12	
	Turkeys at any other weights, or if unknown (by floor area)		
'eal	Milk-fed		
	Grain-fed		
ther	Please refer to Factor Table 1 of The Minimum Distance Separation (MDS) Document for complete list of animal types		
nure	Use the volume of the manure storages		
tock	A livestock barn that does not currently house any livestock, but that housed livestock in the past and continues to be structurally sound and reasonably capable of housing livestock.*		

*NOTE: This should only be used where obtaining information from the farm operator(s) and/or owner(s) was not possible (see Implementation Guideline 20 for more information).

(UESTIONS? LEASE CONTACT

unty of Wellington nning and Development Department Woolwich Street, Guelph N1H 3T9

519.837.2600 x2170 519.923.1694



FARM DATA SHEET Minimum Distance Separation I (MDSI)

County of Wellington

NOTE TO FARM OWNER(S)

By filling out this form you will help to ensure that new land uses will be located a suitable distance from your livestock operation. Feel free to contact the County Planning office with any questions.

Owner(s) of L	ivestock Facility Stuart and Ka	ren Cullen				
Contact Inforn	nation					
Email		Telephone				
Civic Address	6944 Concession 1	Municipality	Puslinch			
Lot	Front PT Lot 18 RP Concession	- 1 viame panty	1 43111011	Division		
		<u> </u>		DIVISION	-	
Lot Size (wile		_ nectares <u>9</u>	4 acres			
Signature of I	Livestock Facility Owner			Date	10th	Мау
BARN(S) SIZE	Please provide the size of the barns located livestock capacity. 3240 ft	on the property ft²/m²				I
Manure Storage	Types Solid manure: 18% dry matter, or r	more Liquid	manure: <18% dry	matter		
V1 Solid, ir	nside, bedded pack	1.1	Solid, outside, no	cover 18%-	<30% (dry matter with
•	the contract of the contract o					ary maccar, when
		L2				nating cover
				•		•
		M2			_	•
V5 Liquid,	inside, underneath slatted floor	H1				
V6 Liquid,	outside, with a permanent, tight-fitting cover					Ü
Animal Type	Description	1 of 1 ps -		Housin	ng	Manure
of Material						Storage Type
				(maximu	m)	(select from list)
Beef Cattle	Cows, including calves to weaning (all breed	ds)				
	Feeders (7 – 16 months)					
l .	Backgrounders (7 – 12.5 months)					
	Shortkeepers (12.5 – 17.5 months)					
Dairy Cattle	Milking-age cows (dry or milking)					
	Large-framed; 545 – 658 kg (e.g. Holsto	eins)				
	Medium-framed; 455 – 545 kg (e.g. Gu	iernseys)				
	Small-framed; 364 – 455 kg (e.g. Jersey	ys)				
	Heifers (5 months to freshening)					
	Large-framed; 182 – 545 kg (e.g. Holste	eins)				
	Small-framed; 125 – 364 kg (e.g. Jersey	ys)				
	Calves (0 – 5 months)					
	anure Storage Types Solid manure: 18% dry matter, or more Solid, outside, covered liquid runoff storage Solid, outside, no cover, 230% dry matter, with a permanent, tight-fitting cover Itquid, inside, with a permanent, tight-fitting cover Itquid, outside, no cover, sloped-sided storage Itquid, inside, with a permanent, tight-fitting cover Itquid, outside, no cover, sloped-sided storage Itquid, inside, outside, no cover, sloped-sided storage Itquid, inside, underneath slatted floor Itquid voutside, no cover, sloped-sided storage Itquid, inside, underneath slatted floor Itquid voutside, with a permanent, tight-fitting cover Itquid, inside, underneath slatted floor Itquid voutside, with a permanent, tight-fitting cover Itquid, inside, underneath slatted floor Itquid voutside, with a permanent, tight-fitting cover Itquid, inside, underneath slatted floor Itquid voutside, with a permanent, tight-fitting cover Itquid, inside, underneath slatted floor Itquid, inside, undea					
	Medium-framed; 39 – 148 kg (e.g. Gue	rnseys)				
Horses			eds including			
			J	2		v3
	Medium-framed, mature; 227 - 680 kg (e.g.	saddle, riding a	nd racing breeds			
	Small-framed, mature; <227 kg (e.g. ponies	and miniatures i	ncluding			
			-		,	

Animal Type of Material	Description	Housing Capacity (maximum)	Manure Storage Type (select from list)
Swine	Sows with litter, dry sows or boars	(
	Breeder gilts (entire barn designed specifically for this purpose)		
	Weaners (7 – 27 kg)		
	Feeders (27 – 136 kg)		
Sheep	Ewes & rams (for meat lambs; includes unweaned offspring & replacements)		
	Ewes & rams (dairy operation; includes unweaned offspring & replacements)		
	Lambs (dairy or feeder lambs)		
Goats	Does & bucks (for meat kids; includes unweaned offspring and replacements)		
	Does & bucks (for dairy; includes unweaned offspring & replacements)		
	Kids (dairy or feeder kids)		
Chickens	Layer hens (for eating eggs; after transfer from pullet barn)		
	Layer pullets (day-olds until transferred into layer barn)		
	Broiler breeder growers (males/females transferred out to layer barn)		
	Broiler breeder layers (males/females transferred in from grower barn)		
	Broilers on any length of cycle		
Turkeys	Turkey poults (day-old until transferred to grow out turkey barn)		
Turkeys	Turkey breeder layers (males/females transferred in from grower barn)		
	Breeder toms		
	Broilers (day-olds to 6.2 kg)		
	Hens (day-olds up to 6.2 to 10.8 kg; 7.5 kg is typical)		
	Toms (day-olds to over 10.8 to 20 kg; 14.5 kg is typical)		
	Turkeys at any other weights, or if unknown (by floor area)		
Veal	Milk-fed		
	Grain-fed		
Other	Please refer to Factor Table 1 of The Minimum Distance Separation (MDS) Document for complete list of animal types		
Imported manure	Use the volume of the manure storages		
Unoccupied livestock barns	A livestock barn that does not currently house any livestock, but that housed livestock in the past and continues to be structurally sound and reasonably capable of housing livestock.*		

^{*}NOTE: This should only be used where obtaining information from the farm operator(s) and/or owner(s) was not possible (see Implementation Guideline 20 for more information).

QUESTIONS? PLEASE CONTACT

County of Wellington
Planning and Development Department
74 Woolwich Street, Guelph
ON N1H 3T9

- P 519.837.2600 x2170
- F 519.923.1694

Farm Data Sheet MDSI

Additional Information

Owner: Richard & Debble Paddock

Lot 18, Concession 1, Puslinch ON NOB-2JO

The barn on this property is 75' wide x 50' deep and has an upper level for hay / straw / grain and implement storage and a lower level to house cattle or horses. The barn is empty at the moment but the form has been completed with estimates for planning purposes.



FARM DATA SHEET Minimum Distance Separation I (MDSI)

County of Wellington

NOTE TO FARM OWNER(5)
By filling out this form you will help to ensure that new land uses will be located a sultable distance from your livestock operation. Feel free to contact the County Planning office with any questions.

	nformation				Ī
Email		phone			
Civic Ad	183 A.	icipalit	yH	uslinch	
Lot		1_		Division	
Lot Size	(where livestock facility is located) hecta	res _	94 a	cres	
Signatur	e of Livestock Facility Owner			Date	April 11/
BARN(S) S	Please provide the size of the barns located on the p livestock capacity	roperty ft ¹ /m ²	y. This informati	on is used to verify n	naximum 'm²
Manure Sto	rage Types Solid manure: 18% dry matter, or more	Liquid	manure: <18%	dry matter	
V1 Soli	id, inside, bedded pack	П	Solid, outside	, no cover, 18%- <30	% dry matter, wit
	d, outside, covered	_		uld runoff storage	
V3 Soli	d, outside, no cover, ≥30% dry matter	L2	,	e, with a permanent	floating cover
V4 Solid	d, outside, no cover, 18% - <30% dry matter, with	M1	Liquid, outside	e, no cover, straight-	walled storage
		M2	Liquid, outside	e, roof, but with ope	n sides
		H1	Liquid, outside	e, no cover, sloped-si	ided storage
	d, outside, with a permanent, tight-fitting cover e Description				
of Material Beef Cattle	Cows, including calves to weaning (all breeds)			Capacity (moximum)	Storage Typ
Jeer Dattie	Feeders (7 – 16 months)	-		50	V3
	Backgrounders (7 – 12.5 months)				+
	Shortkeepers (12.5 - 17.5 months)				
airy Cattle	Milking-age cows (dry or milking)	_			+
	Large-framed; 545 - 658 kg (e.g. Holsteins)				-
	Medium-framed; 455 – 545 kg (e.g. Guernseys)				
	Small-framed; 364 – 455 kg (e.g. Jerseys)				
	Heifers (5 months to freshening)				
	Large-framed; 182 – 545 kg (e.g. Holsteins)				
	Medium-framed; 148 - 455 kg (e.g. Guernseys)				
N.	Small-framed, 125 - 364 kg (e.g. Jerseys)				-
ĺ	Calves (0 – 5 months)				
- 1	Large-framed; 45 – 182 kg (e.g. Holsteins)				
1	Medium-framed; 39 - 148 kg (e.g. Guernseys)	-			
	Small-framed; 30 – 125 kg (e.g. Jerseys)				
t	Large-framed, mature; >681 kg (e.g. draft or draft cross l	hi oade	including		
ses			menume	1.0	1 12
ses	inweaned offspring)	41000		10	I V 3
- 4.1	unweaned offspring)		-	10	V3
H	unweaned offspring) Medium-framed, mature; 227 – 680 kg (e.g. saddle, ridini		-	10	W3
Į.	unweaned offspring)	g and r	acing breeds	10	٧3

Page 1 of 2 December 2019 VER

FARM DATA SHEET (continued) Minimum Distance Separation I (MDSI)

County of Wellington

Sows with litter, dry sows or boars Breeder gilts (entire barn designed specifically for this purpose) Weaners (7 - 27 kg) Feeders (27 - 136 kg) Ewes & rams (for meat lambs; includes unweaned offspring & replacements) Ewes & rams (dairy operation; includes unweaned offspring & replacements) Lambs (dairy or feeder lambs) Does & bucks (for meat kids; includes unweaned offspring and replacements) Does & bucks (for dairy; includes unweaned offspring & replacements) Kids (dairy or feeder kids) Layer hens (for eating eggs; after transfer from pullet barn) Broiler breeder growers (males/females transferred out to layer barn) Broiler breeder layers (males/females transferred in from grower barn)		
Breeder gilts (entire barn designed specifically for this purpose) Weaners (7 - 27 kg) Feeders (27 - 136 kg) Ewes & rams (for meat lambs; includes unweaned offspring & replacements) Ewes & rams (dairy operation; includes unweaned offspring & replacements) Lambs (dairy or feeder lambs) Does & bucks (for meat kids; includes unweaned offspring and replacements) Does & bucks (for dairy; includes unweaned offspring & replacements) Kids (dairy or feeder kids) Layer hens (for eating eggs; after transfer from pullet barn) Layer pullets (day-olds until transferred into layer barn) Broiler breeder growers (males/females transferred out to layer barn)		
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Layer pullets (day-olds until transferred into layer barn) Broiler breeder growers (males/females transferred out to layer barn)		
Broiler breeder growers (males/females transferred out to layer barn)		
Broiler breeder layers (males/females transferred in from grower barn)		
Broilers on any length of cycle		
Turkey poults (day-old until transferred to grow out turkey barn)		
urkey breeder layers (males/females transferred in from grower barn)		
reeder toms		
roilers (day-olds to 6,2 kg)		
ens (day-olds up to 6.2 to 10.8 kg; 7.5 kg is typical)		
oms (day-olds to over 10.8 to 20 kg; 14.5 kg is typical)		
rkeys at any other weights, or if unknown (by floor area)		
Milk-fed		
ain-fed		
ase refer to Factor Table 1 of The Minimum Distance Separation (MDS) cument for complete list of animal types		
the volume of the manure storages		
vestock barn that does not currently house any livestock, but that housed stock in the past and continues to be structurally sound and reasonably		
	Ik-fed Jin-fed Jin-	Ik-fed Jin-fed Jin-

^{*}NOTE: This should only be used where obtaining Information from the farm operator(s) and/or owner(s) was not possible (see Implementation Guideline 20 for more Information).

QUESTIONS? PLEASE CONTACT

County of Wellington Planning and Development Department 74 Woolwich Street, Guelph ON N1H 3T9

P 519.837.2600 x2170

F 519.923.1694

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PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department in

our capacity as planning consultants for the Township

MEETING DATE: July 13, 2021

TO: Lynne Banks, Development and Legislative Coordinator

Township of Puslinch

FROM: Joanna Salsberg, Planner

County of Wellington

SUBJECT: MINOR VARIANCE APPLICATION D13/CUL (Stuart & Karen Cullen)

6944 Concession Road 1
Part Lot 18, Concession 1

ATTACHMENTS: 1 – Aerial with MDS setbacks

2 - Planning Review Letter

We have reviewed the application for minor variance and provide the following comments. These comments are offered with the benefit of a site visit on June 25, 2021.

Planning Opinion

The purpose of this application is to seek relief from the Minimum Distance Separation I (MDS I) regulations of the Township Zoning By-law to facilitate a future vacant, rural residential lot severance application (B39-21). The applicant has submitted this minor variance application in advance of a decision from the Land Division Committee on the consent application.

The applicant requires a setback reduction to the livestock operation located at 6923 Concession Road 1, known locally as Classy Lane Stables. The subject minor variance application would seek relief from Section 4.16.1 of the Zoning By-law and the MDS I setback requirement of 319 m (1,046.6 ft) to allow a reduced setback of 223 m (731.6 ft).

Classy Lane Stables currently contains five existing barns and it is understood that a sixth barn is being constructed. Classy Lane Stables has indicated that manure is transferred weekly from the farm and therefore the site is not considered to have permanent manure storages as directed under Guideline #4 of the MDS Document.

Planning staff notes that the applicant has identified a setback requirement of 276 m (905.5 ft) and this has been reflected in the application notice. However, after additional review of the development proposal planning has identified that the setback requirement is required to be 319 m (1,046.6 ft). Planning staff have calculated the MDS setbacks, as required under Guideline #19, which is based on the combined design capacity of all livestock barns on a lot even if they are separated by a substantial distance on the lot. MDS I setbacks are measured as the shortest distance between the proposed lot line and either the surrounding livestock occupied portions of the livestock barns and manure storages.

Guideline #43 of the MDS Guideline document (Publication 853) contains direction on reducing MDS I setbacks and states that setbacks should not be reduced except in limited site specific circumstances. The intent of the MDS Document is to minimize land use conflicts related to odour by separating incompatible uses. The subject property contains environmental features that limit appropriate locations for the proposed severed parcel which make achieving the required MDS I setback difficult. The Classy Lanes

livestock facility also transfers manure off the site weekly, and the temporary storage space is located more than 500 m from the proposed severed lot.

The minor variance application would maintain the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property. We consider the request minor and have no concerns with the application.

Section of the By-law	Required	Proposed	Relief
			Requested
4.16.1 - Minimum	Notwithstanding any other yard or setback	223 m	96 m
Distance Separation –	provisions of this By-law to the contrary, no	(731.6 ft)	(315.0 ft)
New Non-Farm Uses	residential, institutional, commercial, industrial or	instead of	
	recreational use, located on a separate lot and	the required	
	permitted within the Agricultural (A) Zone or any	319 m	
	other zone in which agricultural uses are	(1,046.6 ft)	
	permitted, shall be erected or altered unless it		
	complies with the Minimum Distance Separation I		
	(MDS I) setback from a livestock facility, calculated		
	using the Formulas published by the Province of		
	Ontario, as may be amended from time to time.		

Our discussion of this application relative to the four tests under the Planning Act is as follows:

Four Tests	Discussion
That the requested variance is minor in nature	 The subject proposal identified livestock facilities on three neighbouring properties, and a facility on the proposed retained parcel. MDS I setback requirements can be met for three of the four properties. The required MDS I setback cannot be met for the equestrian operation at 6923 Concession Rd 1, known locally as Classy Lanes Stables. The Classy Lane operation contains five existing barns throughout the site, and one barn for which they received minor variance approval for in May 2021 (D13-BUU). The nutrient management strategy submitted with the D13-BUU variance provided more detailed information than the submitted farm data sheet and this information was considered by planning staff to consider the worst case scenario. The MDS I calculation using the total of 286 stalls for medium-framed horses on the property resulted in a required
	 Five of the six barns located on the property are within 500 m of the proposed severed lot. Guideline #19 requires that MDS I calculations shall be based on the combined design capacity for all livestock barns on a lot, even if they are unoccupied livestock barns, or separated by a substantial distance on a lot. MDS I setbacks are measured as the shortest distance between the proposed lot line and either the surrounding livestock occupied portions of the livestock barns and manure storages. The farm contact has indicated that manure is transferred weekly from Classy Lanes Stables. The applicant has indicated that the temporary storage space for the manure at Classy Lanes Stables is located greater than 500 m from the proposed severed lot.

Section 8.2 of the MDS Document states that MDS I setbacks should not be reduced except in limited site specific circumstances that meet the intent of the document. The intent of MDS I setbacks is to reduce odour conflicts by separating incompatible land uses and to avoid and/or limit negative impacts on future modifications to agricultural operations including their ability to expand. Guideline #43 of the MDS document provides for the consideration of MDS I relief. There is not a more suitable location on the subject property available for the proposed severed lot that could meet the required MDS I setback due to environmental features including a regulated watercourse, flood plain, provincially significant wetland, wetlands, and significant woodlands. The applicant does qualify for one rural residential lot severance. It is noted that the dwelling proposed on the vacant lot will likely become the closest dwelling to the barns located closest to Concession 1; however, there is a dwelling located on 6895 Concession 1 that would also impact future livestock expansion on a portion of the property. That the intent and The subject lands are zoned as Agricultural Zone (A) and Natural purpose of the **Zoning** Environment Zone (NE). The proposed severed lot is fully within the A Zone. By-law is maintained A single detached dwelling is a permitted use within the A Zone. Section 4.16.1 requires that no residential use located on a separate lot and permitted within the Agricultural (A) Zone or any other zone in which agricultural uses are permitted, shall be erected or altered unless it complies with the MDS I setback from a livestock facility. That the general intent The subject property is designated as Secondary Agricultural, Core and purpose of the Greenlands, and Greenlands within the Official Plan. The features Official Plan is identified on the subject property include flood plain, regulated maintained watercourse, Provincially Significant Wetlands, wetlands, significant woodlands. The proposed severed lot is located within the Secondary Agricultural designation, and is outside of Greenland and Core Greenland System. As the lands are within the Secondary Agricultural designation and the subject lands have not been severed after March 1, 2005, one residential lot can be considered. Section 10.4.7 requires that the appropriate provincial minimum distance separation formula will be applied to all new lot creation. That the variance is The subject property is surrounded primarily by existing agricultural desirable and parcels with farm dwellings. appropriate Under the County of Wellington Official Plan, the subject property is development and use of eligible for a residential lot severance which has triggered the submission the land, building or of this minor variance application. structure As the Classy Lanes livestock facility stores manure for less than 14 days before transferring manure to an off-site location, the manure storage on the site is not considered to be permanent storage as per Guideline #4. The applicant also indicated that manure is stored greater than 500 m from the proposed severed lot. These factors mitigate the potential for odour

conflict between incompatible land uses.

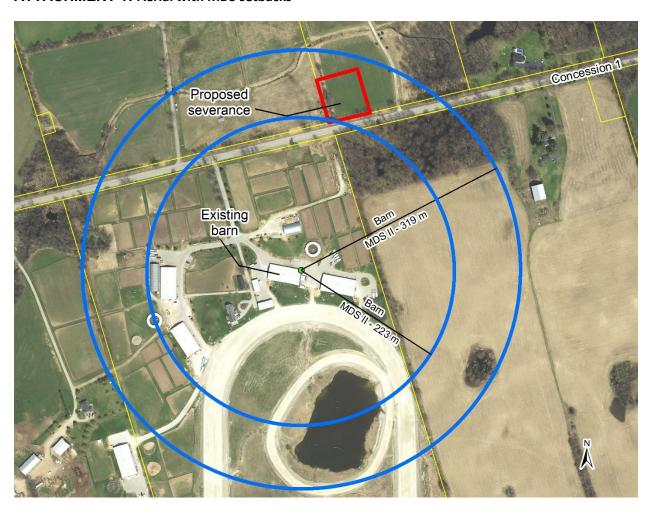
• The proposed lot could impact future expansions of the Classy Lanes property, as well as other agricultural operations including the barns located on the proposed retained lot. However, it is noted that there is a dwelling located at 6895 Concession 1.

In conclusion, planning staff is of the opinion that the requested variance application **meets the four tests** of the *Planning Act*. I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application

Respectfully submitted
County of Wellington Planning and Development Department

Joanna Salsberg Planner

ATTACHMENT 1: Aerial with MDS setbacks



Minor Variance Application - Entry #2134

Registered Owner's Name Jacqueline Fell **Registered Owner's Address** 4030 Highway 6 Puslinch, ON N0B 2J0 **Registered Owner's Email Address Registered Owner's Phone Number Registered Owner's Fax Empty Applicant (Agent) Name CAROLYN ANTHONY Applicant (Agent) Address Applicant (Agent) Email Applicant (Agent) Phone Number Applicant (Agent) Fax Empty** Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property Jacqueline Fell **Brent Wilson** 4030 Highway 6, Puslinch, ON N0B 2J0

Send correspondence to
Owner
Agent
Other
Empty
Municipal Address
4030 Highway 6
Puslinch, ON
N0B 2J0
Concession
Gore
Lot
37
Registered Plan Number
71193-0123
Area in Hectares
.2333
Area in Acres
.5765
Depth in Meters
86.185
Depth in Feet
282'-9"
Frontage in Meters
27.9604
Frontage in Feet
91'-6"
Width of road allowance (if known)
Empty
Please indicate the Section of the Planning Act under which this application is being made

Section 45(2) relates to a change to or expansion of an existing legal non- conforming use
What is the nature and extent of the relief that is being applied for?
The use of the property existed as solely residential prior to the passing of the current by-law and needs to be granted legal non-confirming status to proceed with renovations.
Sketch of the nature and extent of the relief that is being applied for
4030-HWY-6-PRICING-2021.04.28pdf.pdf
Why is it not possible to comply with the provisions of the by-law?
The use of the property existed as solely residential prior to the passing of the current by-law and needs to be granted legal non-confirming status to proceed with renovations.
Sketch for why is it not possible to comply with the provisions of the by-law
4030-HWY-6-PRICING-2021.04.28pdf.pdf
Official Plan Designation
?
Zoning Designation
Commercial
What is the access to the subject property?
What is the access to the subject property? Provincial Highway
Provincial Highway
Provincial Highway Other Access
Other Access Empty
Other Access Empty What is the name of the road or street that provides access to the subject property?
Other Access Empty What is the name of the road or street that provides access to the subject property? Highway 6 If access is by water only, please describe the parking and docking facilities used or to be used and the
Other Access Empty What is the name of the road or street that provides access to the subject property? Highway 6 If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.
Other Access Empty What is the name of the road or street that provides access to the subject property? Highway 6 If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road. Empty
Other Access Empty What is the name of the road or street that provides access to the subject property? Highway 6 If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road. Empty Municipal Water
Other Access Empty What is the name of the road or street that provides access to the subject property? Highway 6 If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road. Empty Municipal Water Empty
Other Access Empty What is the name of the road or street that provides access to the subject property? Highway 6 If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road. Empty Municipal Water Empty Communal Water

Other Water Supply
Empty
Municipal Sewers
Existing
Communal Sewers
Empty
Private Septic
Existing
Other Sewage Disposal
Existing
How is storm drainage provided?
Ditches
Swales
Other Means of Storm Drainage
Empty
What is the existing use of the subject property?
Commercial
What is the existing use of the abutting properties?
Commercial
Main Building Height in Meters
7.22
Main Building Height in Feet
23'8-1/4"
Percentage Lot Coverage in Meters
5.8
Percentage Lot Coverage in Feet
5.8
Number of Parking Spaces
2

Number of Loading Spaces	
Empty	
Number of Floors	
2	
Total Floor Area in Square Meters	
193.05	
Total Floor Area in Square Feet	
2078	
Ground Floor Area (Exclude Basement) in Square Meters	
96.6	
Ground Floor Area (Exclude Basement) in Square Feet	
1040	
Front Yard in Meters	
9.84	
Front Yard in Feet	
32'-3 3/8"	
Rear Yard in Meters	
70.63	
Rear Yard in Feet 231'-8 11/16"	
Side Yard (1) in Meters 1.68	
Side Yard (1) in Feet 5'-6 1/8"	
Side Yard (2) in Meters	
9.96	
Side Yard (2) in Feet	
22'10"	
Date of acquisition of subject property	

March 31, 2016
Date of construction of buildings property
August 9, 2021
How long have the existing uses continued on the subject property?
1965
Has the owner previously applied for relief in respect of the subject property?
No
Please indicate the file number and describe briefly
Empty
Planning Application: Official Plan Amendment
No
Official Plan Amendment: File Number
Empty
Official Plan Amendment: Approval Authority
Empty
Official Plan Amendment: Subject Lands
Empty
Official Plan Amendment: Purpose
Empty
Official Plan Amendment: Status
Empty
Planning Application: Zoning By-Law Amendment
No
Zoning By-Law Amendment: File Number
Empty
Zoning By-Law Amendment: Approval Authority
Empty
Zoning By-Law Amendment: Subject Lands
Empty

Zoning By-Law Amendment: Purpose Empty
Zoning By-Law Amendment: Status
Empty
Planning Application: Plan of Subdivision No
Plan of Subdivision: File Number Empty
Plan of Subdivision: Approval Authority Empty
Plan of Subdivision: Subject Lands
Empty
Plan of Subdivision: Purpose
Empty
Plan of Subdivision: Status
Empty
Planning Application: Consent (Severance)
No
Consent (Severance): File Number
Empty
Consent (Severance): Approval Authority
Empty
Consent (Severance): Subject Lands
Empty
Consent (Severance): Purpose
Empty
Consent (Severance): Status
Empty
Planning Application: Site Plan

No
Site Plan: File Number
Empty
Site Plan: Approval Authority
Empty
Site Plan: Subject Lands
Empty
Site Plan: Purpose
Empty
Site Plan: Status
Empty
Planning Application: Minor Variance
No
Minor Variance: File Number
Empty
Minor Variance: Approval Authority
Empty
Minor Variance: Subject Lands
Empty
Minor Variance: Purpose
Empty
Minor Variance: Status
Empty
The agent is different than the owner
The Agent/Solicitor is different than the owner
Owner's Name
JACQUELINE FELL
Owner's Address

4030 HIGHWAY 6 Concession 4 PUSLINCH, ON N0B 2J0

I authorize this person to act as my agent in this application

CAROLYN ANTHONY

Signature of Owner



Name

CAROLYN ANTHONY

Address



Affidavit

I solemnly declare that all the statements contained in this application are true, and I, (we), make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the CANADA EVIDENCE ACT.

Signature of Owner or authorized solicitor or agent



Signature of Commissioner

Empty

Please select your Minor Variance Type

Minor Variance Type 1 - \$ 733.00

Convenience Fee (1.75%)

\$ 12.83

Convenience Fee (1.75%)

Empty

Total

\$ 745.83



Township of Puslinch

Sworn (or Affirmed or Declared) remotely by

of (City, Town, etc.) of

in the (County, Regional Municipality, etc.) of

before me at the (City, Town, etc.) of

in the (County, Regional Municipality, etc.) of

on

(date) in accordance with O.Reg. 431/20, Administering Oath or Declaration Remotely

Commissioner for Taking Affidavits Township of Puslinch County of Wellington



Sealed by: The Corporation of the Township of Puslinch

Sworn (or Affirmed or Declared) remotely by

of (City, Town, etc.) of

in the (County, Regional Municipality, etc.) of

before me at the (City, Town, etc.) of

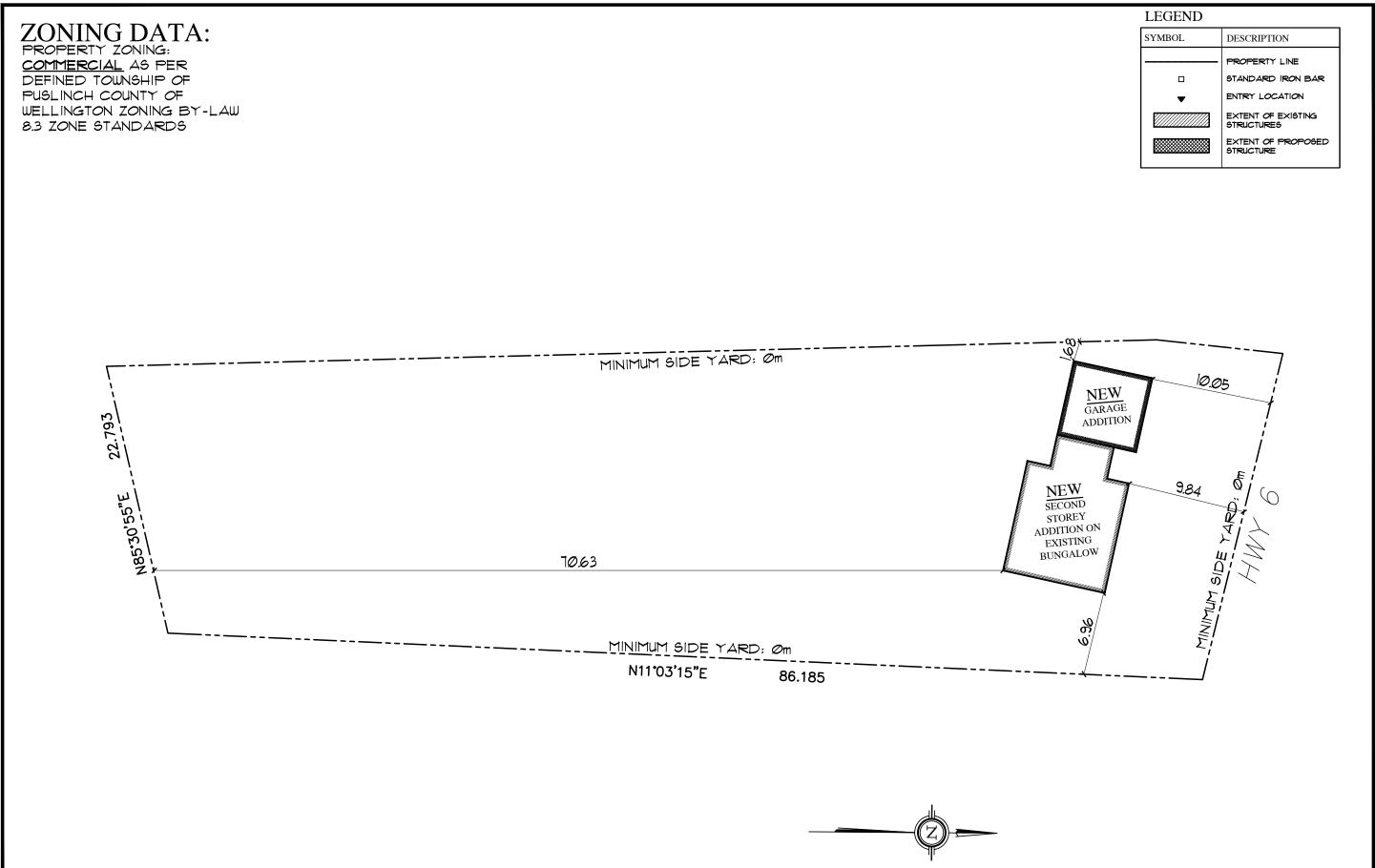
in the (County, Regional Municipality, etc.) of

on (date) in accordance with O.Reg. 431/20, Administering Oath or Declaration Remotely

Commissioner for Taking Affidavits Township of Puslinch County of Wellington



Sealed by: The Corporation of the Township of Puslinch





o qualified, and the firm priote classes/categories.

CIN: 41224 al BCIN: 44620 Signed:

Design
of the
is regis
Firm BC

PLOTTED: MAY 23, 2019
SCALE: 1:300
DRWN BY: BLR
DATE: MAY 23,2019

4030 HIGHWAY 6 RENO/ADDITION PSULINCH, ON

PSULINCH, ON
PSULINCH, ON
GENERAL POOL & GARAGE LOCATION

SHEET No: OF

ONT. BLDG. CODE REQUIREMENTS

STAIRS, HAND RAILS, GUARDS & LANDINGS OBC 9.8

HEADROOM, RISE &RUN

UNIFORM RISE AND RUN IN ANY ONE FLIGHT OF STAIRS MIN. RISE 4 7/8" MAX. RISE 7 7/8" MIN. RUN 8 1/4" MAX. RUN MIN. TREAD 9 1/4" MAX. TREAD 14" MIN. HEADROOM 6'-5" MAX. NOSING

HAND RAILS

HEIGHT

-BETWEEN 31" \$38" AT STAIRS

-BETWEEN 35" \$42" AT LANDINGS REQUIRING A GUARD

ATTACHED

-AT 11 3/4" MAX, FROM EACH END AND 3'-11" MAX, 0/c

GUARDS (CONSTUCTED IN ACCORDANCE WITH SB-7)

REQUIRED

-WHEN WALKING SURFACE IS OVER 23 5/8" ABOVE AN ADJACENT SURFACE -WHEN SURFACE WITHIN 3'-11" OF A WALKWAY IS SLOPED MORE THAN I in 2 INTERIOR HEIGHT EXTERIOR HEIGHTS

-MIN, 35" FOR GREATER THAN 23 5/8" ABOVE GRADE

-MIN, 35"

- -MIN. 42" FOR GREATER THAN 5'-11" ABOVE GRADE
- ALL FLOORS WITH CERAMIC TILE TO BE REINFORCED AS PER OBC 9.30.6
- SMOKE DETECTORS ARE REQUIRED ON EACH FLOOR LEVEL AND MUST BE HARD WIRED AND INTERCONNECTED. OBC 9.10.19.2 / 9.10.19.3 / 9.10.19.4
- RANGE HOODS TO BE VENTED TO THE EXTERIOR WITH NON-COMBUSTIBLE PIPING. OBC 9.32.3.10(6)
- DRYER EXHAUST DUCTS SHALL BE CONSTUCTED OF CORROSION RESISTANT MATERIAL OBC 6.2.3.8.(1) SO ENTIRE DUCT CAN BE CLEANED
- PROVIDE AIR BARRIER IN ACCORDANCE TO OBC 9.25.3
- MIN. HEADROOM UNDER DUCTS AND BEAMS IN BASEMENTS IS 6'-5", OBC T-9.5.3.1
- ATTIC VENT AREA IS 1/300 OF INSULATED AREA AND 1/150 FOR CATHEDRAL CEILINGS AND ROOF SLOPES LESS THAN 2/12 OBC 9.19.1.2
- REINFORCEMENT SHALL BE INSTALLED IN THE MAIN BATHROOM TO FACILITATE FUTURE:
 - -24" HORAZONTAL GRAB BAR 6" ABOVE THE TANK OF A WATER CLOSET AND -36" HORAZONTAL GRAB BAR 33" ABOVE THE FLOOR IN A SHOWER AND NO MORE THAN 4" FROM THE END OF THE SHOWER OPPOSITE THE SHOWER HEAD, OBC 9,5,2,3

CONTRACTOR NOTES:

GENERAL NOTES:

PROVIDE DOUBLE JOIST FRAMING OR BLOCKING at 3'-11" O.C. UNDER ALL PARALLEL WALLS ABOVE AND AROUND STAIRS AND BASEMENT WINDOWS.

NOTE:

PROVIDE BUILT-UP WOOD STUD POST EQUAL TO STUD DEPTH x WIDTH OF BEAM, AT BOTH ENDS OF STEEL OF WOOD BEAM.

NOTE:

GENERAL CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO BLR DRAFTING & DESIGN BEFORE PROCEEDING WITH ANY WORK, ANY ALTERATIONS OR REVISIONS MUST BE REPORTED TO BLR DRAFTING & DESIGN BEFORE PROCEEDING WITH ANY WORK.

NOTE RE SPECIFICATIONS:

FOR STANDARD FRAMING NOTES, CODE REQUIREMENTS AND TYPICAL CONSTRUCTION ASSEMBLIES REFER TO SPECIFICATION SHEETS

FRAMING NOTES

- WHEN POSSIBLE, BEAMS SUPPORTING ONLY ROOF MEMBERS SHOULD BE SET SUCH THAT THE BOTTOM OF THE BEAM IS 5/8" ABOVE THE BOTTOM OF CEILING JOISTS.
- 2. PROVIDE DOUBLE FLOOR JOISTS OR SOLID BLOCKING AT 3'-11" O/C UNDER WALLS RUNNING PARALLEL TO FLOOR JOISTS. OBC 9,23,9,8
- ALL BEAMS, POINT LOADS AND LINTELS TO BE SUPPORTED FULL WIDTH TO FOUNDATION WALL, FOOTING OR BEAM.
- 2x2 CROSS BRIDGING LOCATED NOT MORE THAN 6"-11" FROM EACH SUPPORT OR OTHER ROWS OF BRIDGING IS REQUIRED. OBC 9.23.9.4(2)
- 5. HIP AND VALLEY RAFTERS SHALL BE NOT LESS THAN 2" GREATER IN DEPTH THAN COMMON RAFTERS. OBC 9.23.13.6(1)
- UNLESS OTHERWISE EXCEPTED BY OBC 9,23,13,8 RIDGES SHALL 6. BE SUPPORTED AT 3'-11" o/c, OBC 9.23.13.8(3)
- ALL NAILING AND FASTENING IS TO BE DONE IN ACCORDANCE WITH SCOPE OF WORK FOR FRAMING AND ALL PARTS OF OBC 9.23,3

STRUCTURAL SPECIFICATIONS

- STRUCTURAL STEEL SHALL CONFORM WITH CAN/CSA-SIG. OBC 43.4.1
- ALL BEAMS TO HAVE AT LEAST 3 1/2" END BEARING. MASONARY LINTELS TO HAVE AT LEAST 6" END BEARING. OBC 9.23.8.1 / 9.20.5.2(4)
- WELDING OF STRUCTURAL STEEL SHALL BE UNDERTAKEN BY A FABRICATOR APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CLAUSE 23.3 OF CAN/CSA-SIG.1, OBC A-4,3,4,1
- ALL WOOD SHALL BE SPF No.2 OR BETTER.

INDEX TO DRAWINGS:

(PROPOSED)

1 of 13 **COVER SHEET**

2 of 13 FRONT ELEVATION

3 of 13 RIGHT SIDE ELEVATION

4 of 13 | REAR ELEVATION

5 of 13 LEFT SIDE ELEVATION

6 of 13 BASEMENT LAYOUT

7 of 13 MAIN FLOOR LAYOUT

SECOND FLOOR LAYOUT

9 of 13 ROOF PLAN

10 of 13 | MAIN FLOOR ELECTRICAL PLAN

11 of 13 SECOND FLOOR ELECTRICAL PLAN

BUILDING CROSS-SECTIONS 12 of 13

WALL-SECTIONS 13 of 13

S1 of S1 | SITEPLAN

(EXISTING)

DEMOLITION PLAN: FRONT ELEVATION

DEMOLITION PLAN: RIGHT SIDE ELEVATION

D3 of 7 DEMOLITION PLAN: REAR ELEVATION

D4 of 7 DEMOLITION PLAN: LEFT SIDE ELEVATION

D5 of 7 DEMOLITION PLAN: BASEMENT LAYOUT

D6 of 7 DEMOLITION PLAN: MAIN FLOOR LAYOUT

D7 of 7 **DEMOLITION PLAN: ROOF LAYOUT**

S1 of S1 SITEPLAN

DESIGN LOADS

ROOF:

FLOORS: DEAD LOAD = 0.5 kPa (10 PSF)

LIVE LOAD = 2.0 kPa (40 PSF)

PARTITIONS: DEAD LOAD = 1.0 kPa (20 PSF)

DEAD LOAD = 0.6 kPa (12 PSF)

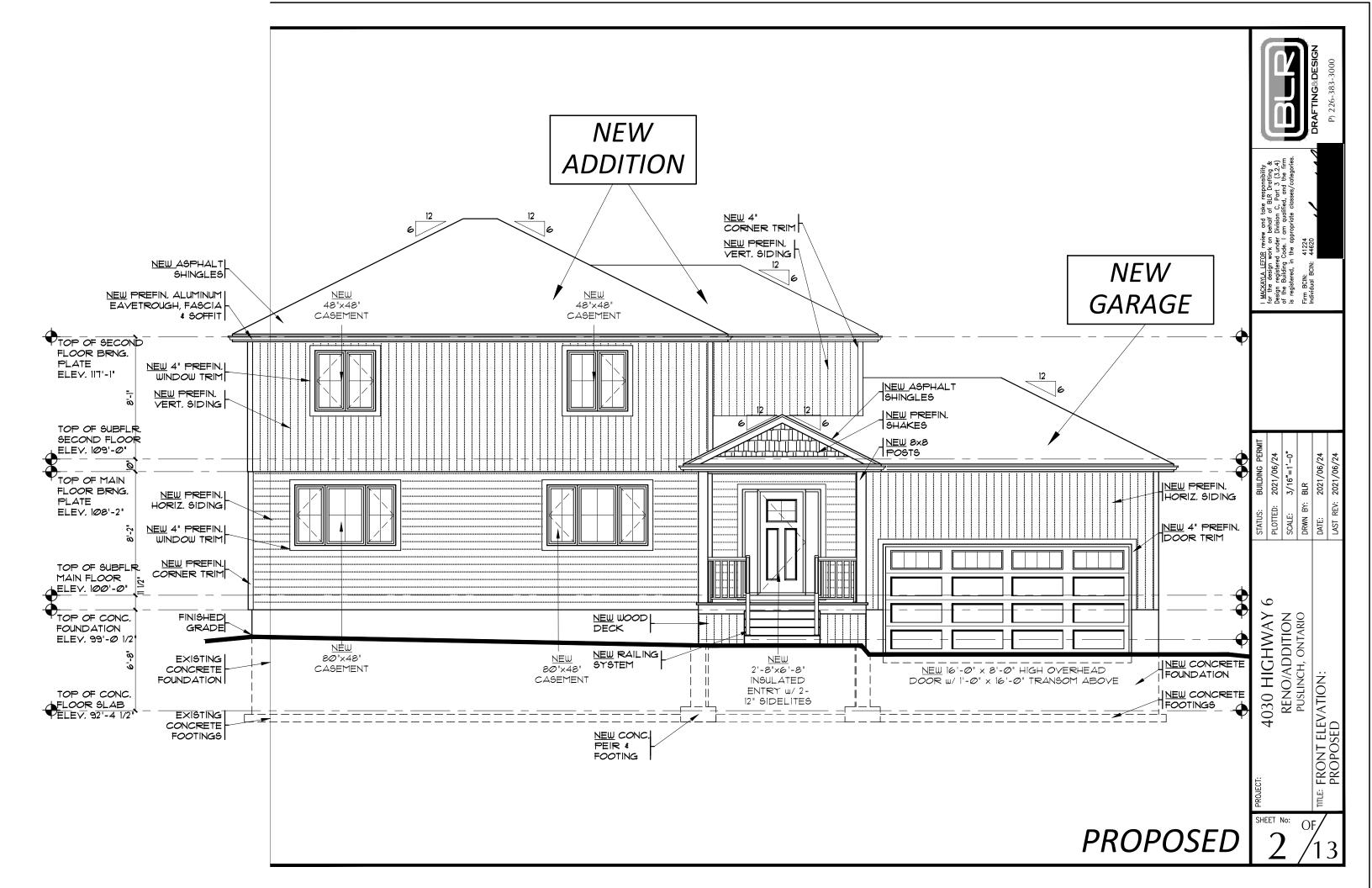
SNOW LOAD = 2.0 kPa (42 PSF)

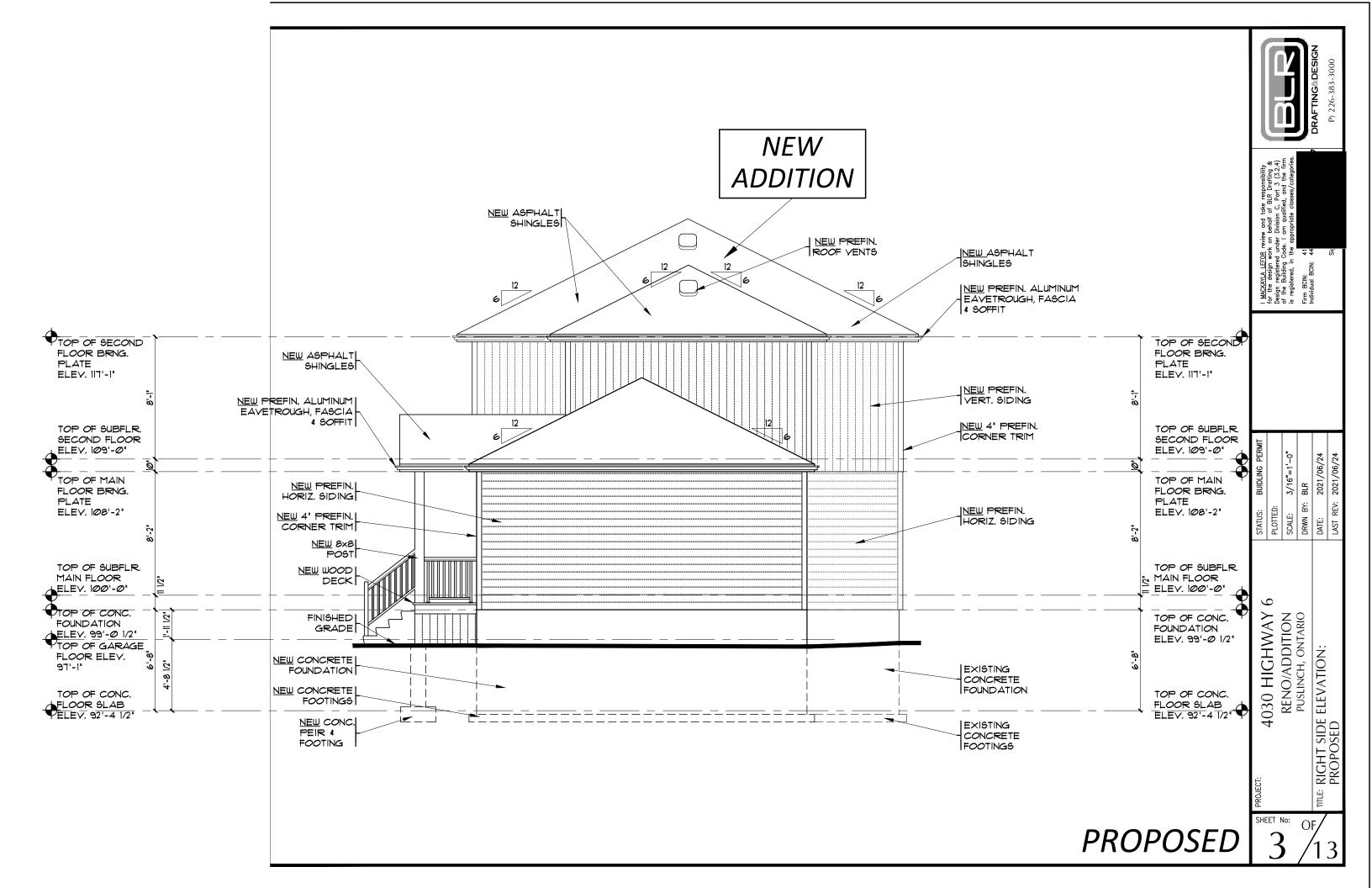
9 HIGHWAY RENO/ADDITION PUSLINCH, ONTARIO 4030 I

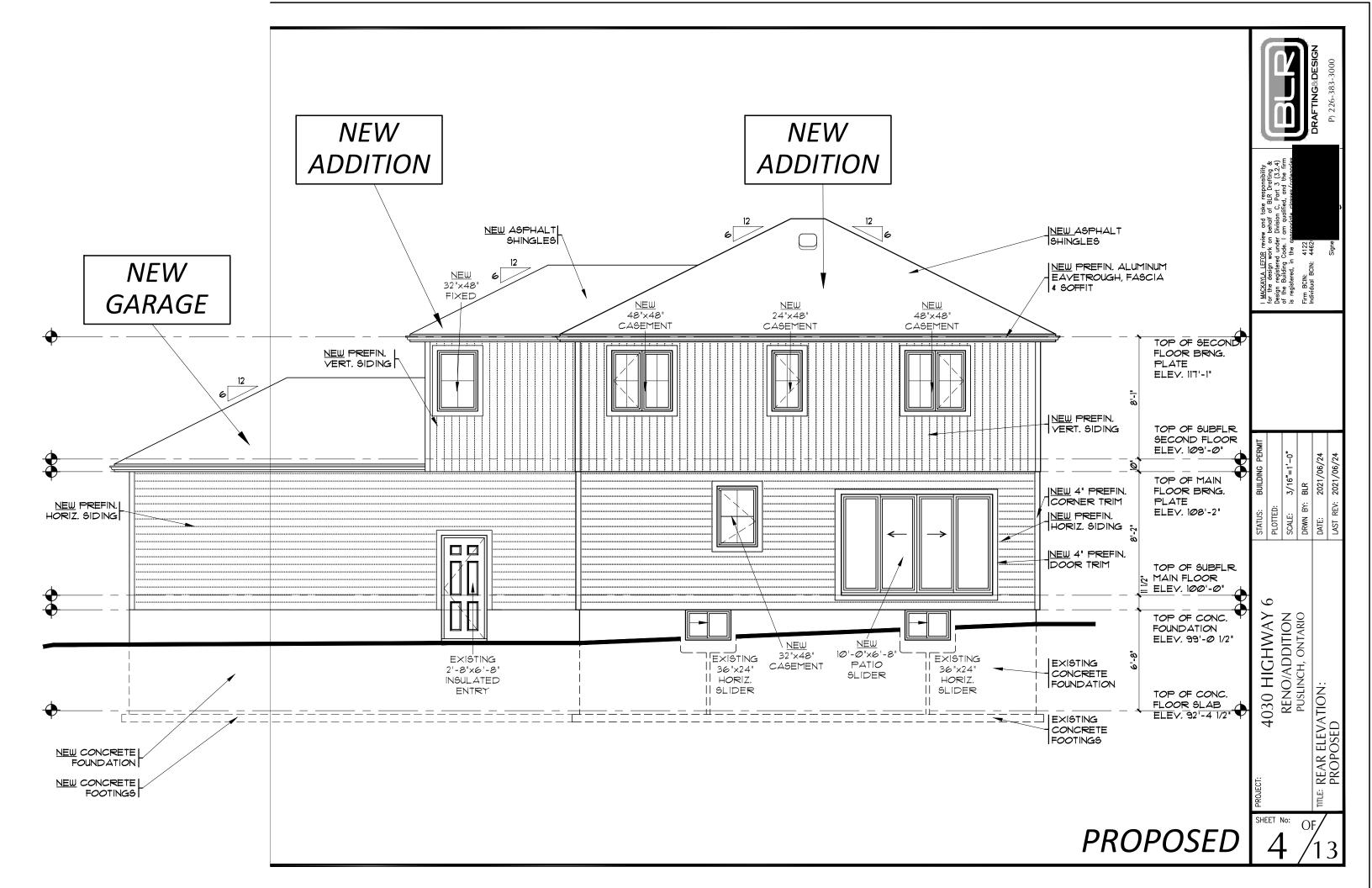
COVER PAGE

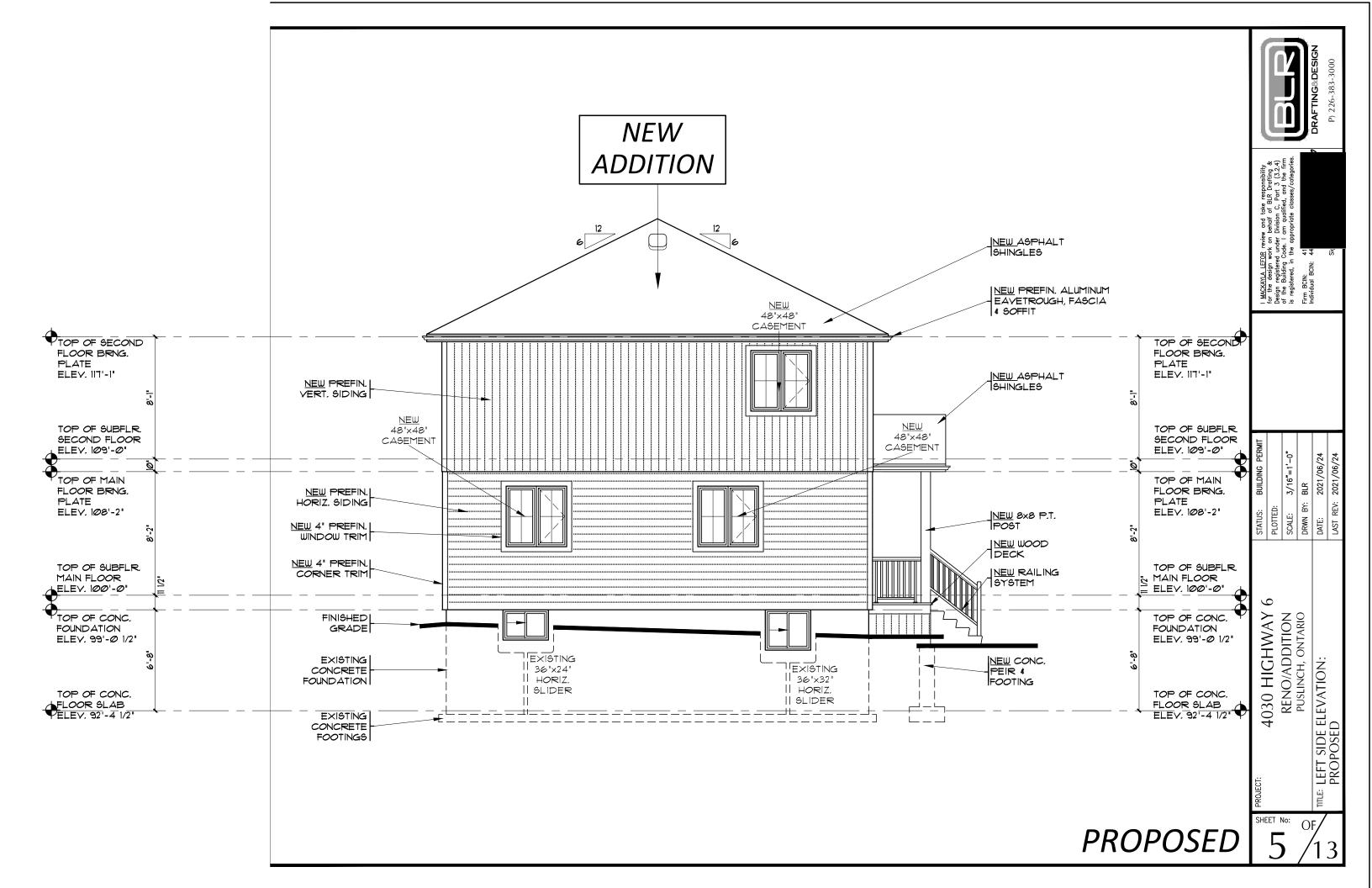
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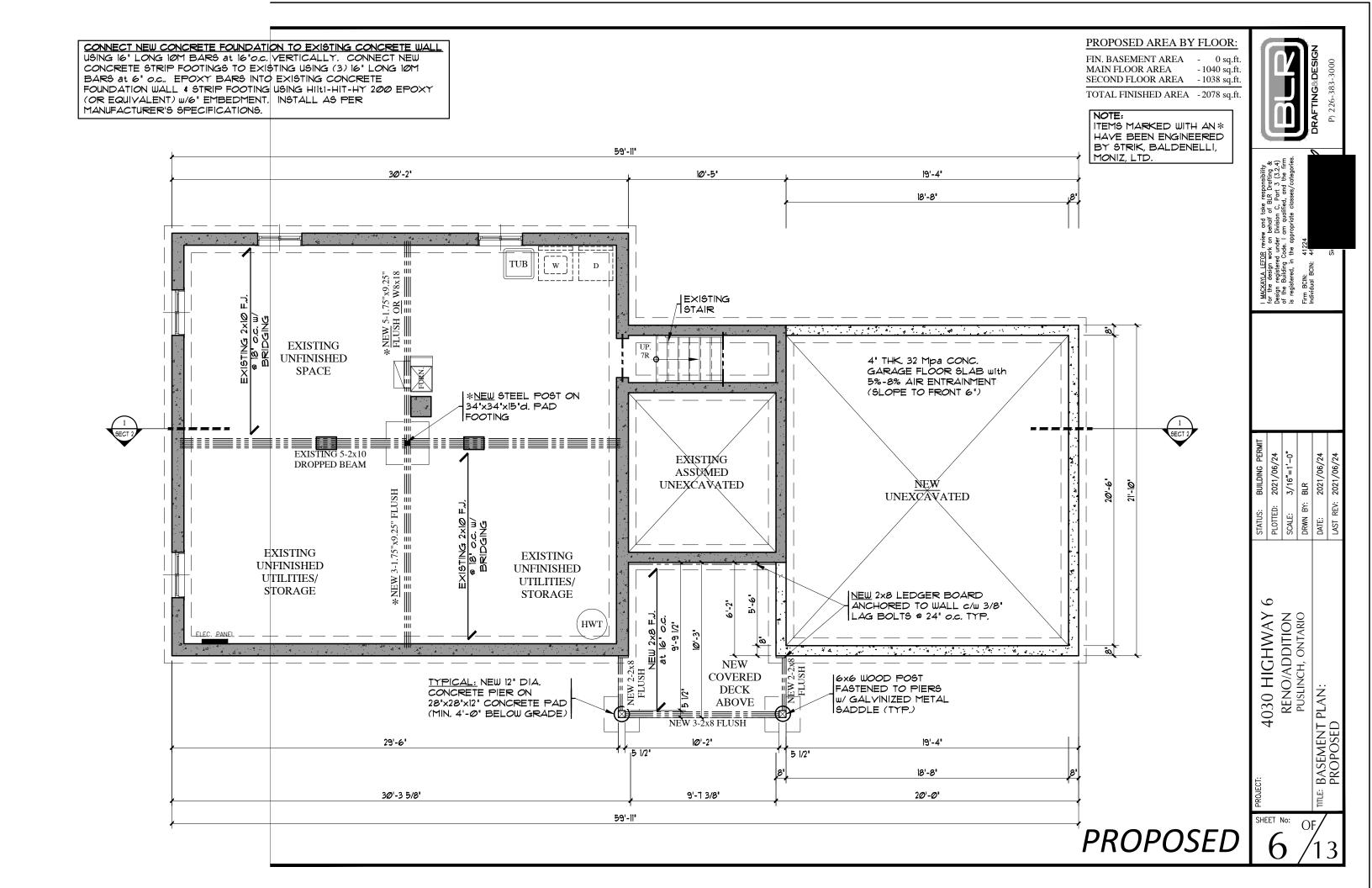
SHEET No: OF

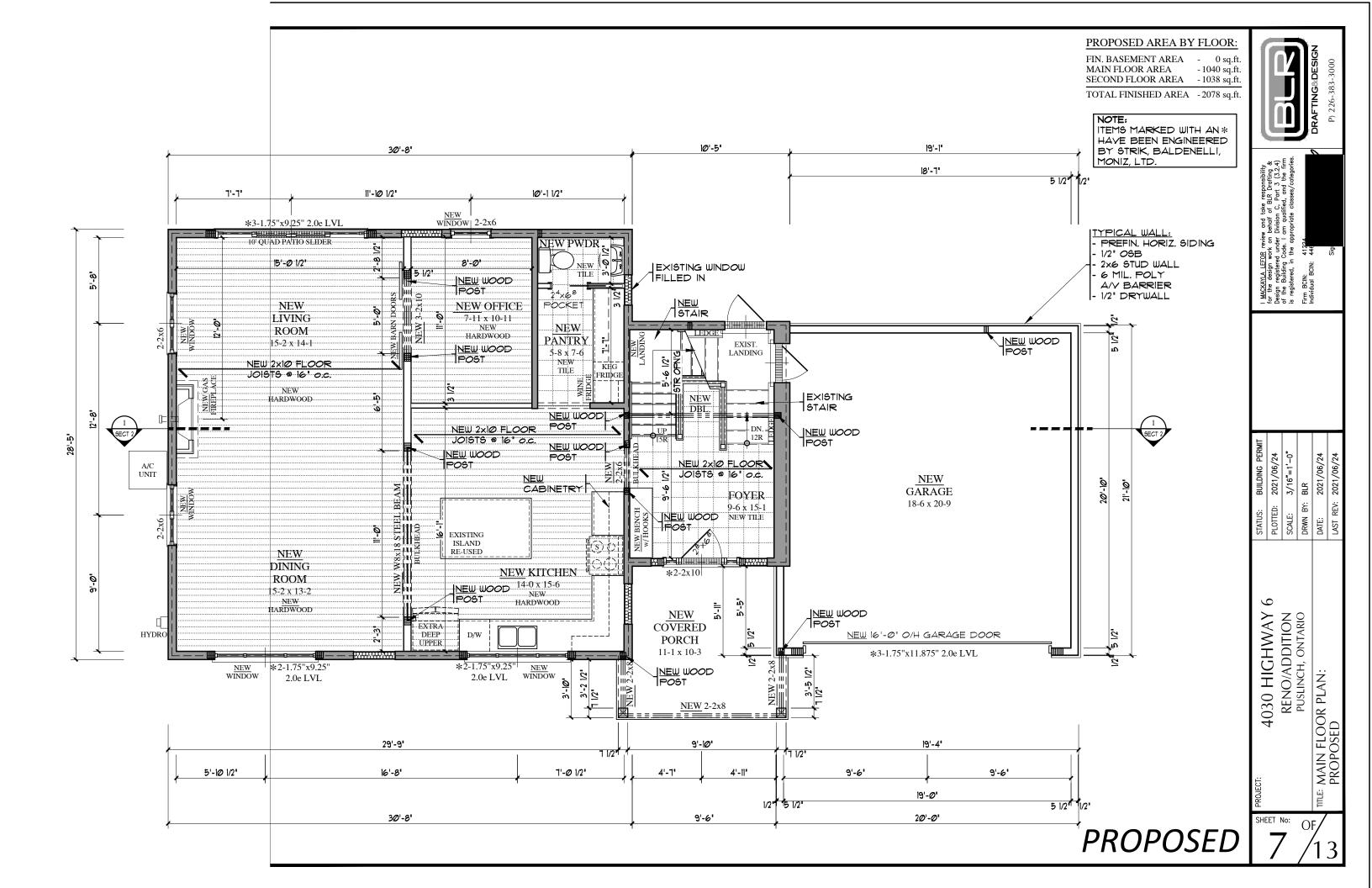


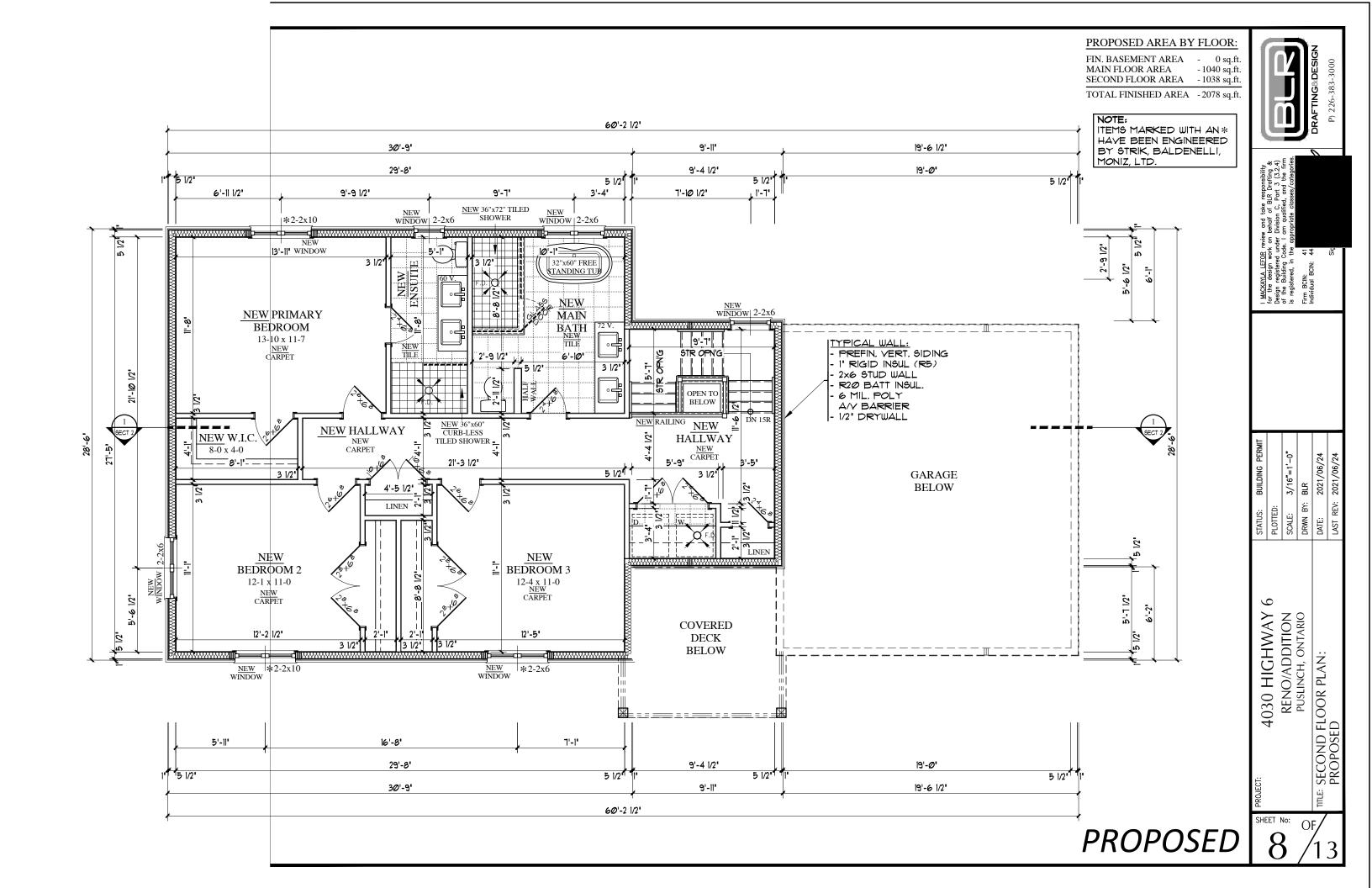


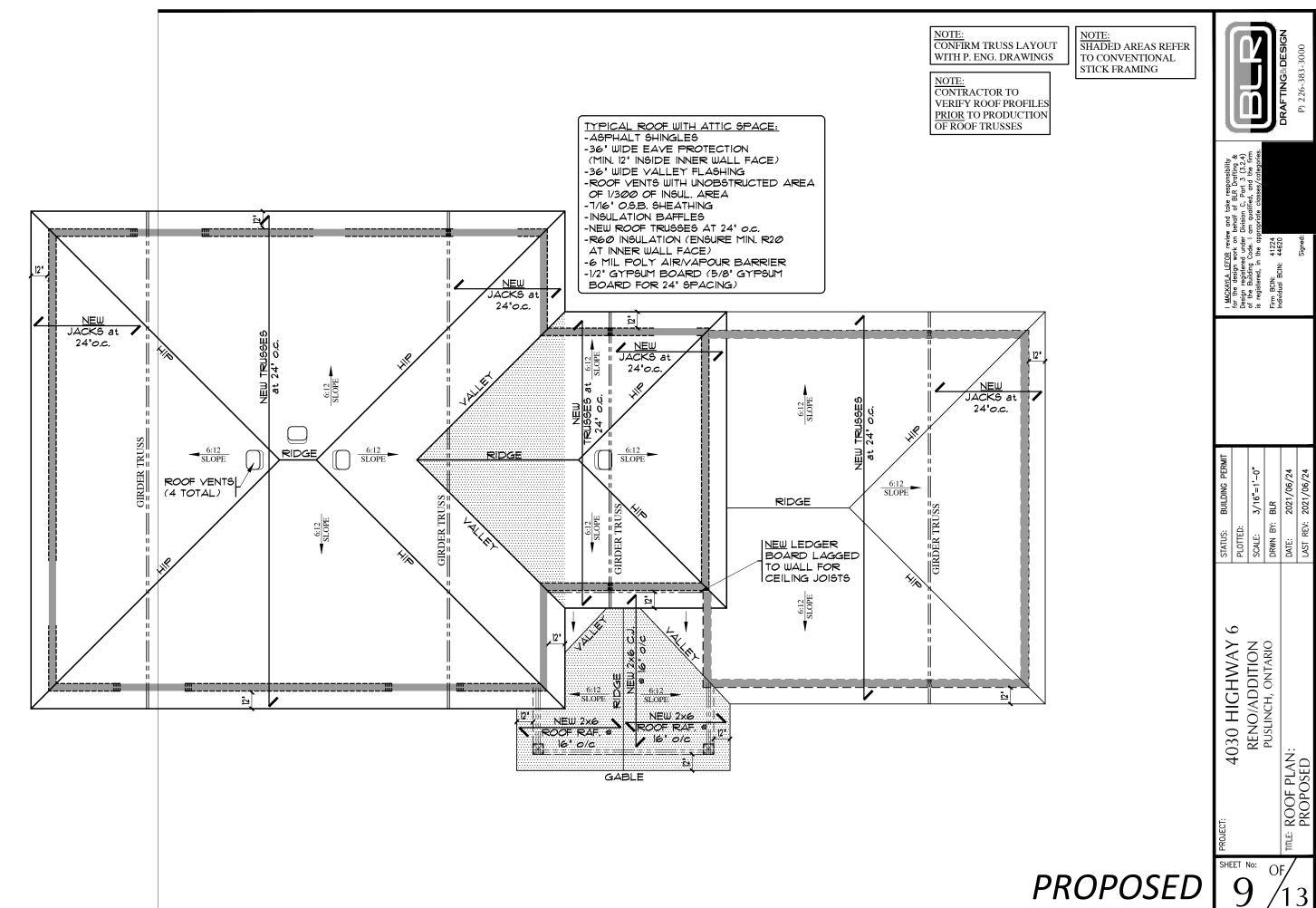


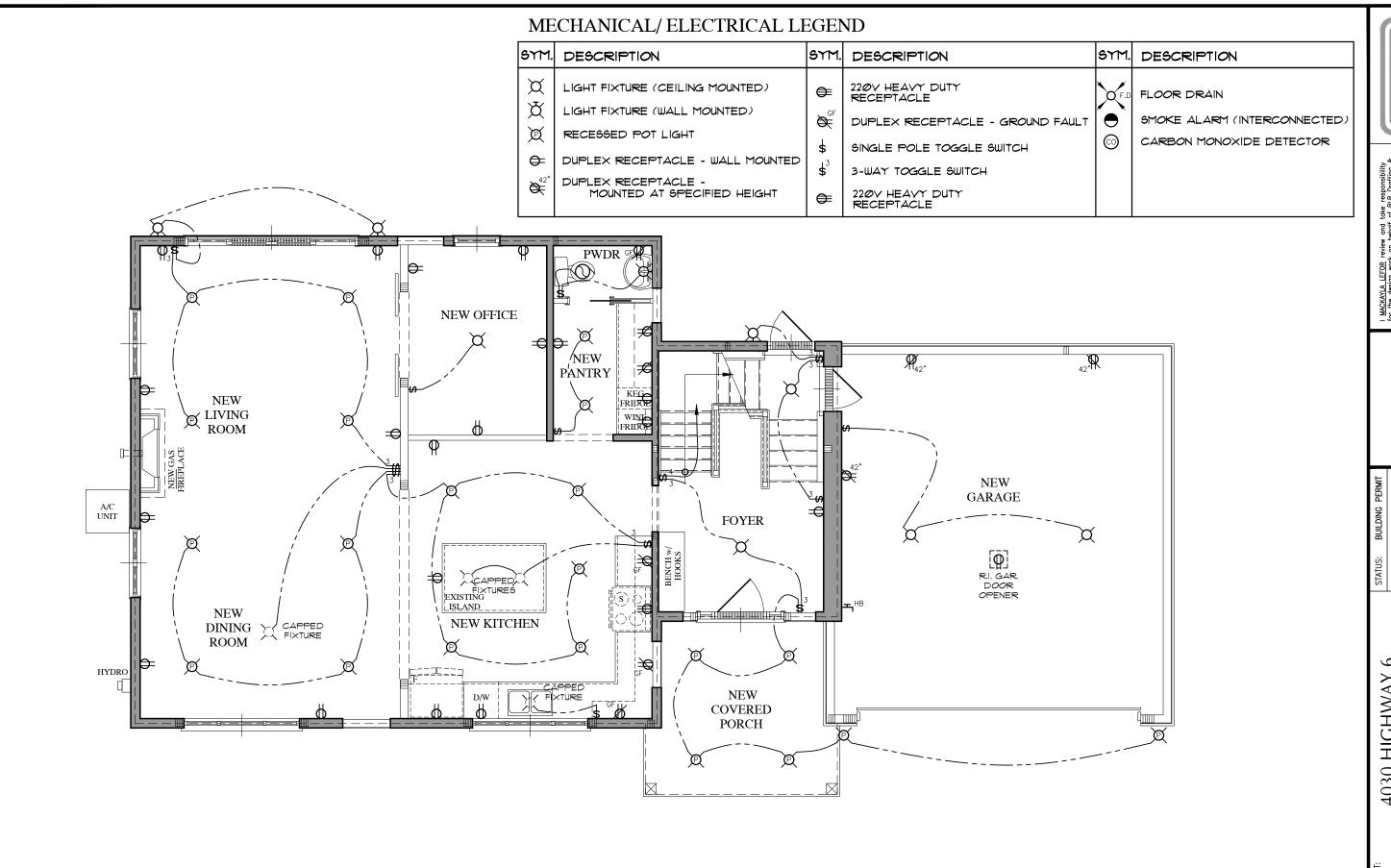










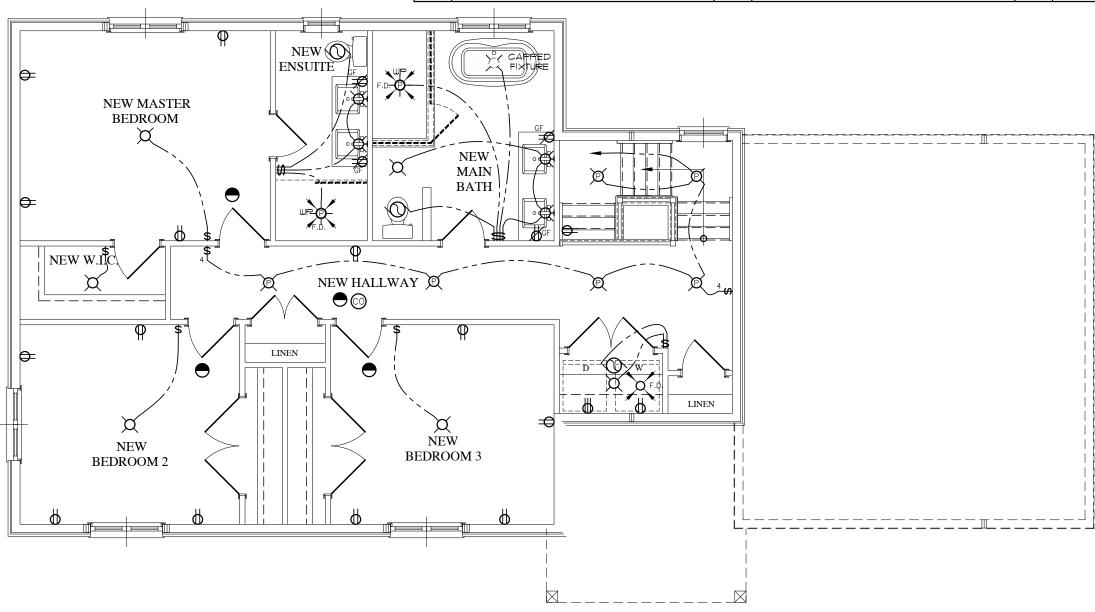


9 RENO/ADDITION PUSLINCH, ONTARIO 4030 HIGHWAY

BASEMENT ELECTRICAL: PROPOSED

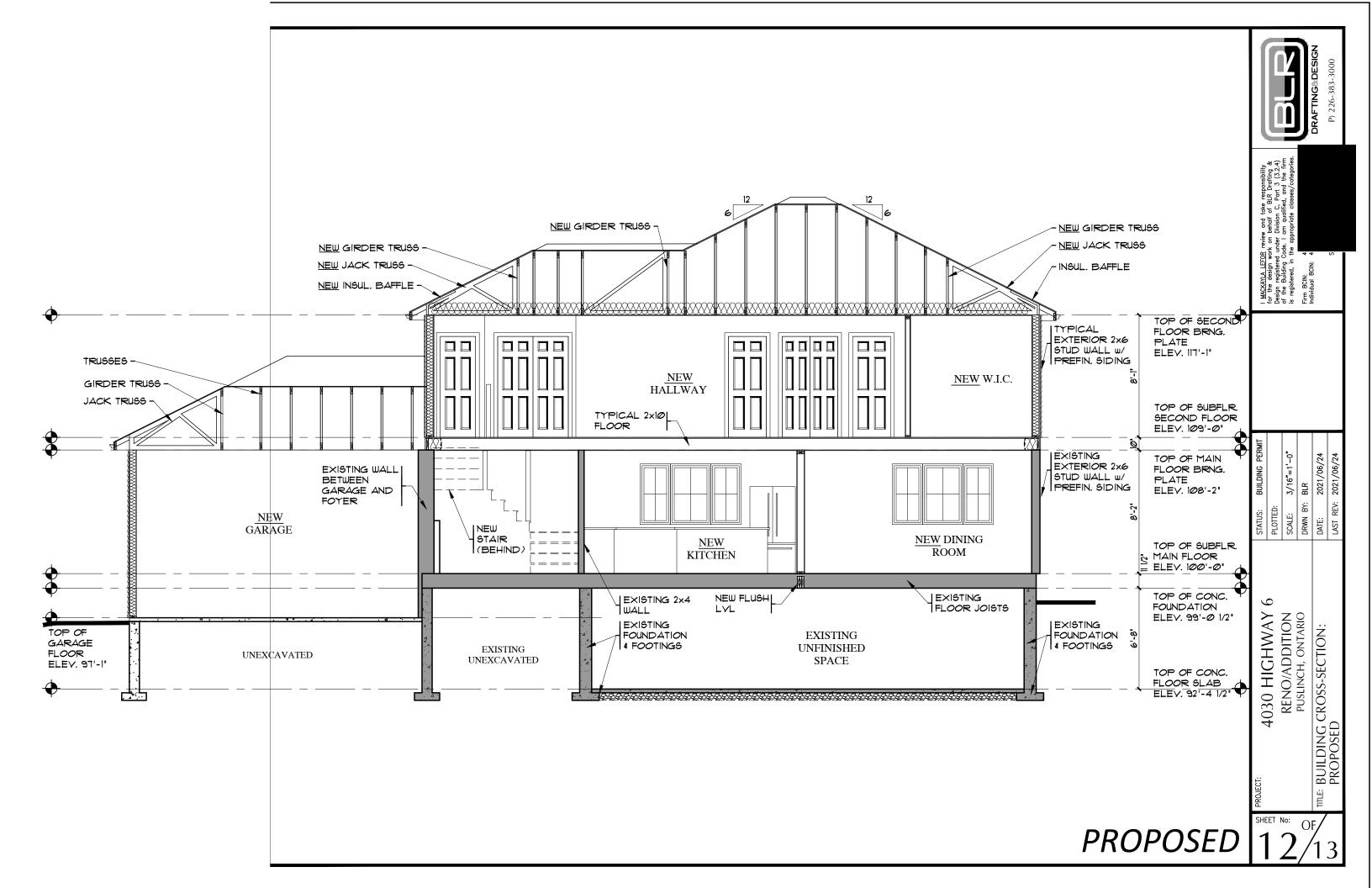
MECHANICAL/ ELECTRICAL LEGEND

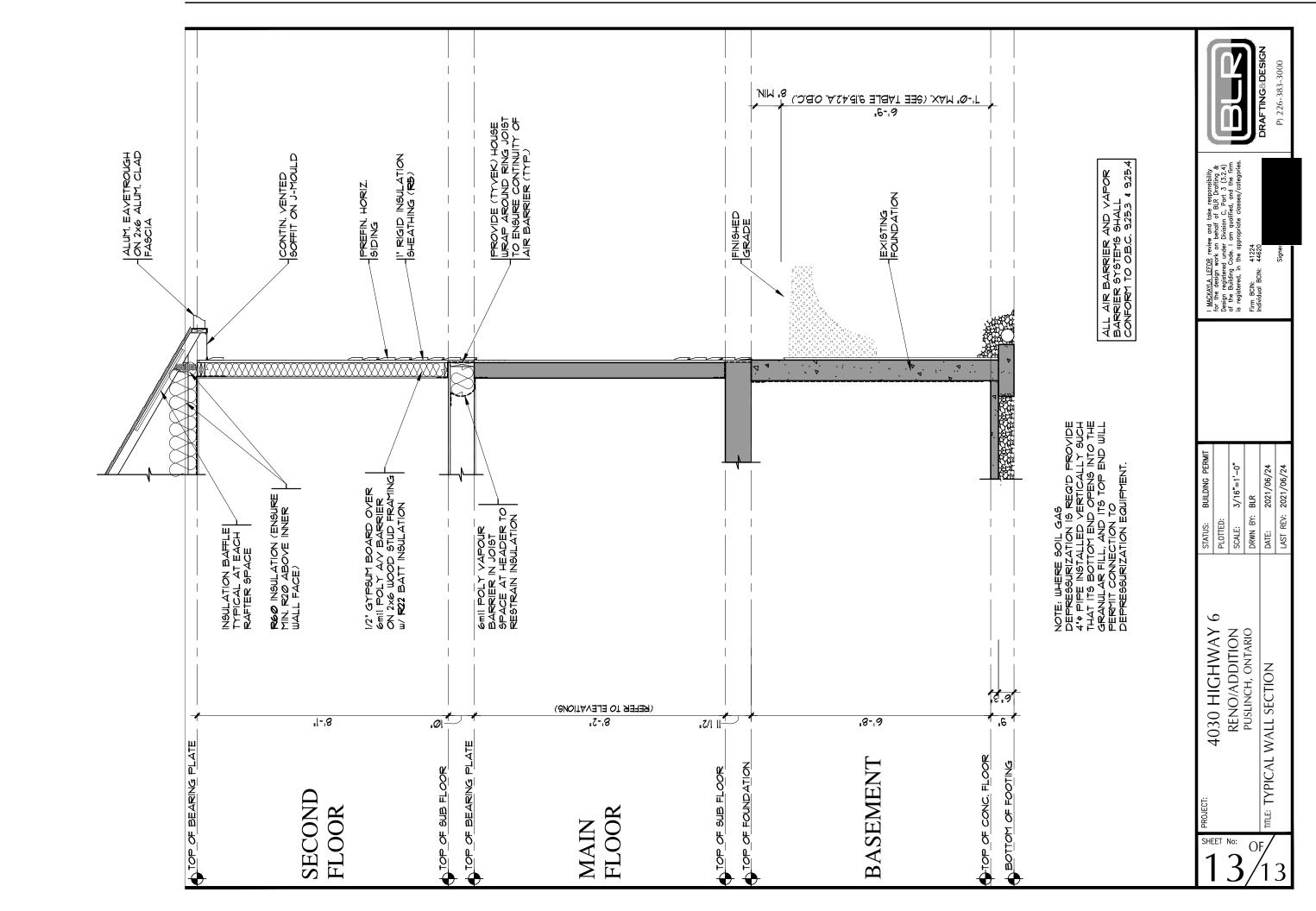
SYM.	DESCRIPTION	SYM.	DESCRIPTION	SYM.	DESCRIPTION
Ø ⊕ 42°	LIGHT FIXTURE (CEILING MOUNTED) LIGHT FIXTURE (WALL MOUNTED) RECESSED POT LIGHT DUPLEX RECEPTACLE - WALL MOUNTED DUPLEX RECEPTACLE - MOUNTED HEIGHT	# SF → SF → # → # → #	220V HEAVY DUTY RECEPTACLE DUPLEX RECEPTACLE - GROUND FAULT SINGLE POLE TOGGLE SWITCH 3-WAY TOGGLE SWITCH 220V HEAVY DUTY RECEPTACLE	F.D ©	FLOOR DRAIN SMOKE ALARM (INTERCONNECTED) CARBON MONOXIDE DETECTOR

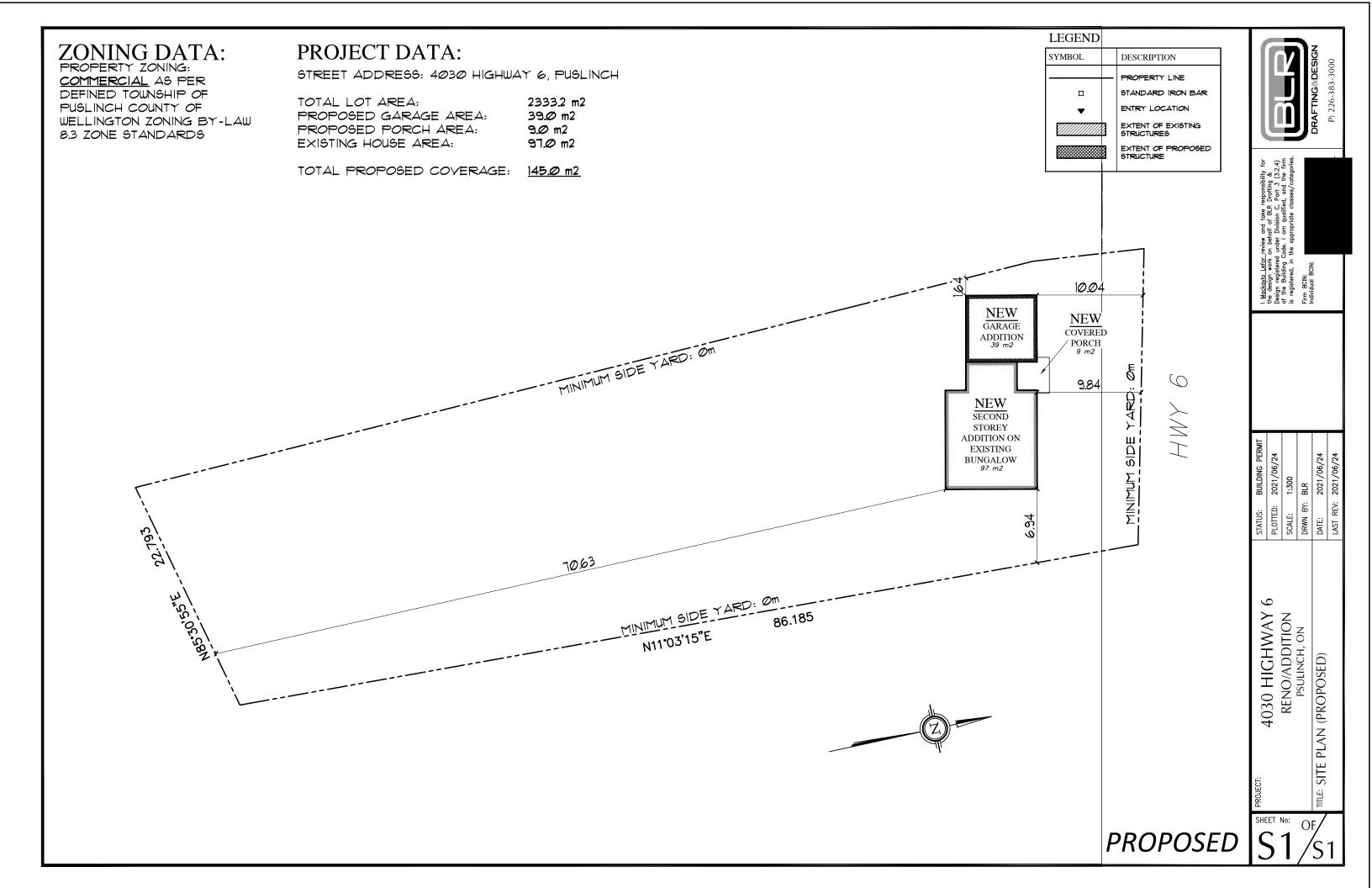


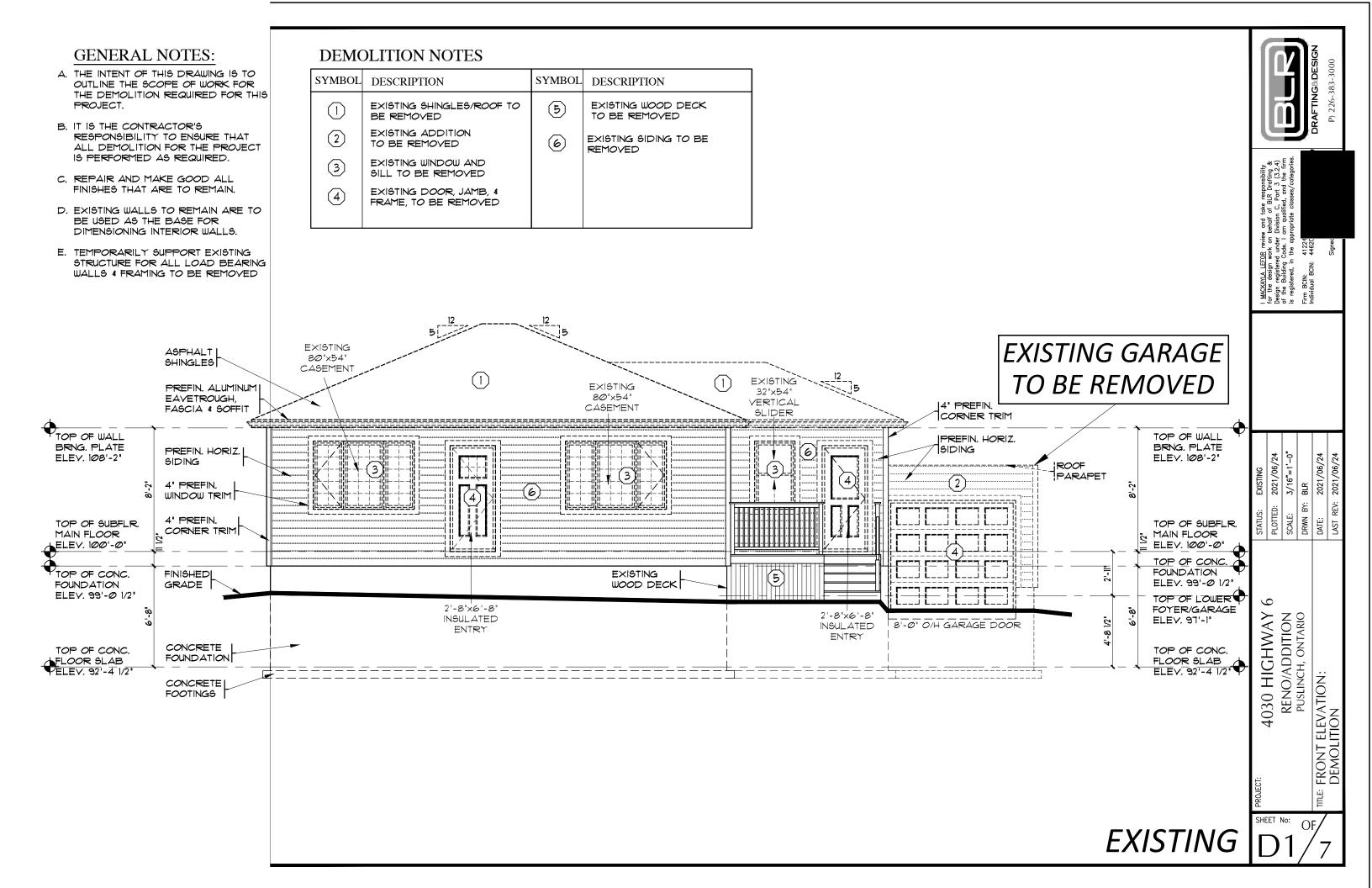


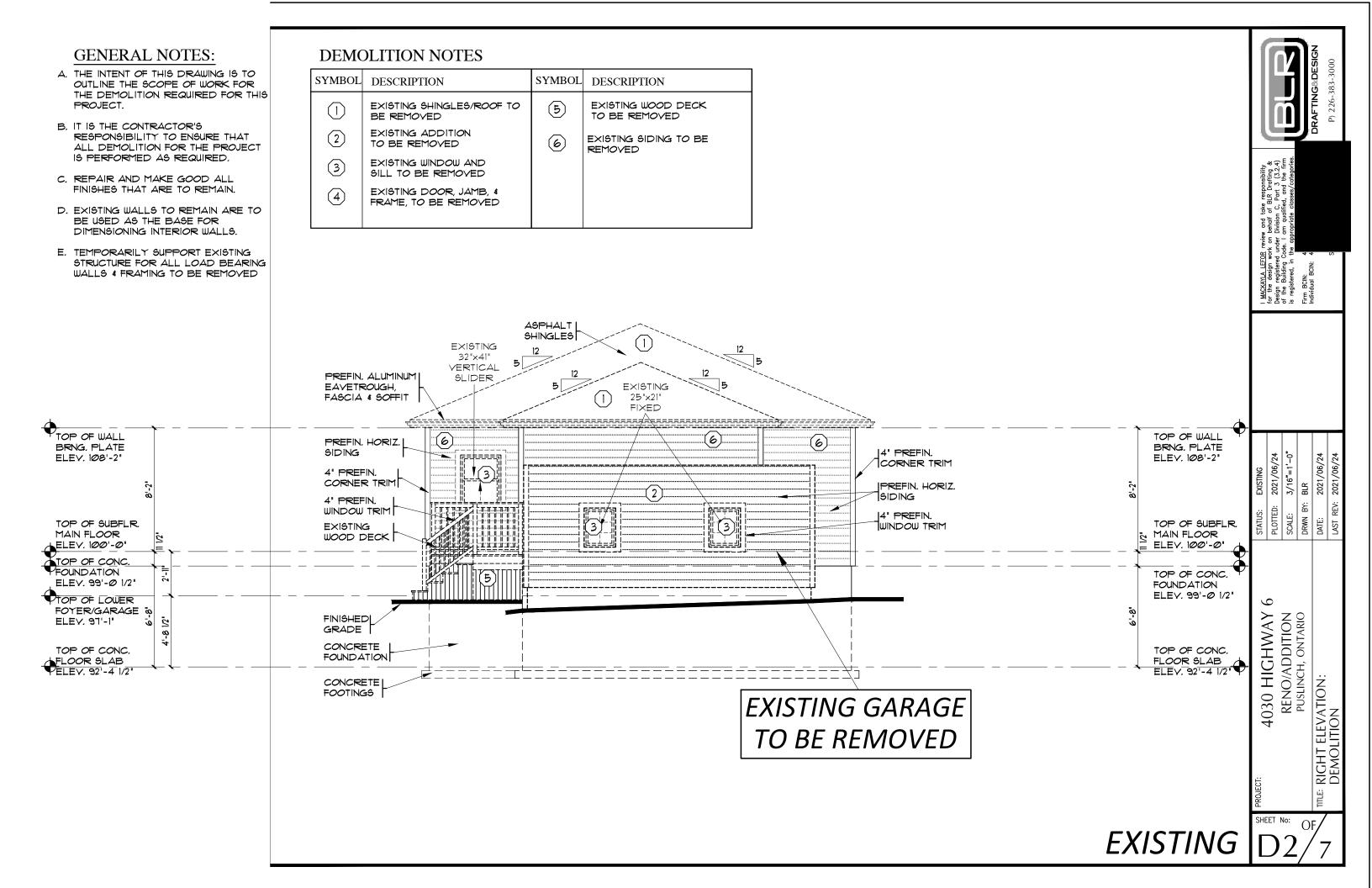
4030 HIGHWAY 6
RENO/ADDITION
PUSLINCH, ONTARIO
N FLOOR ELECTRICAL:
POSED









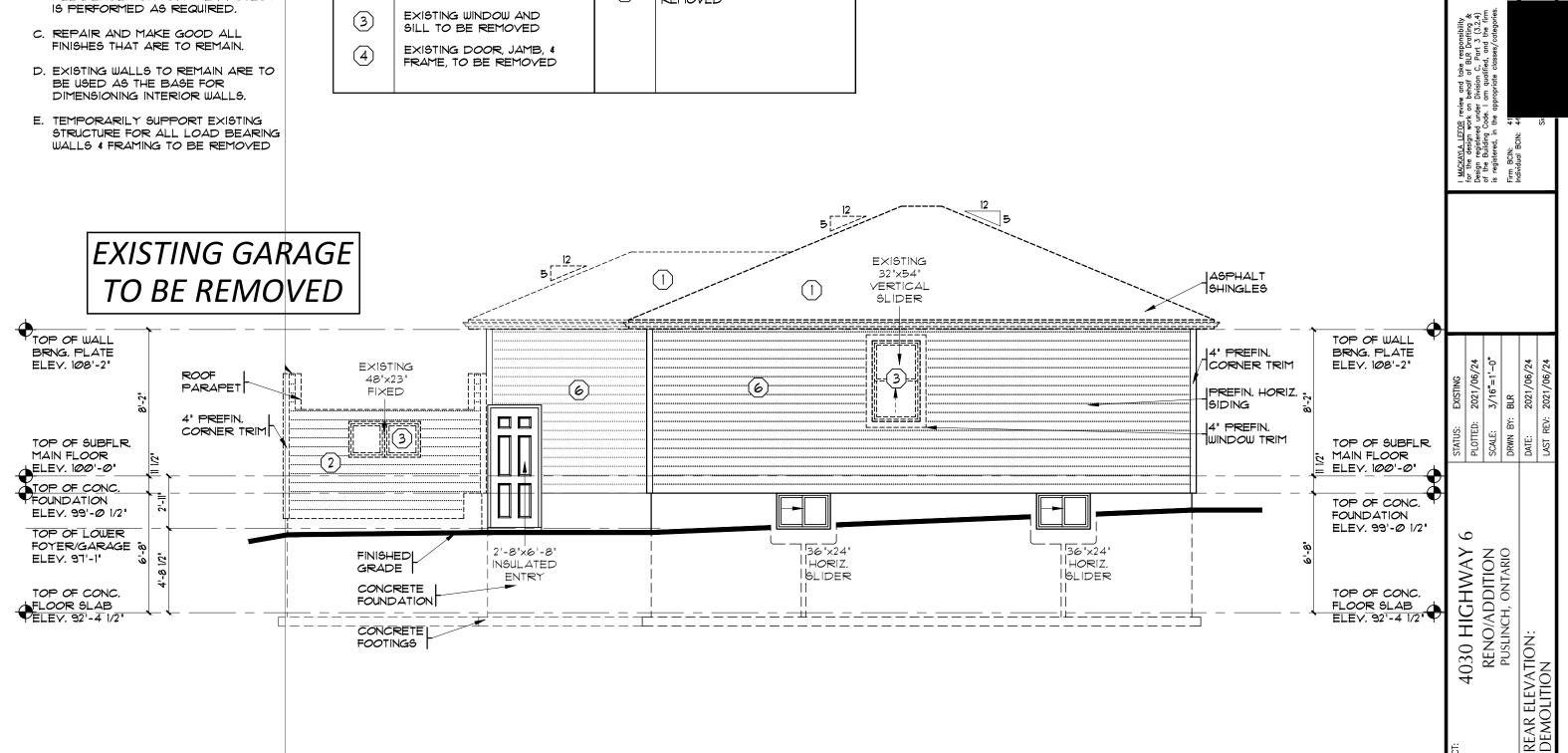




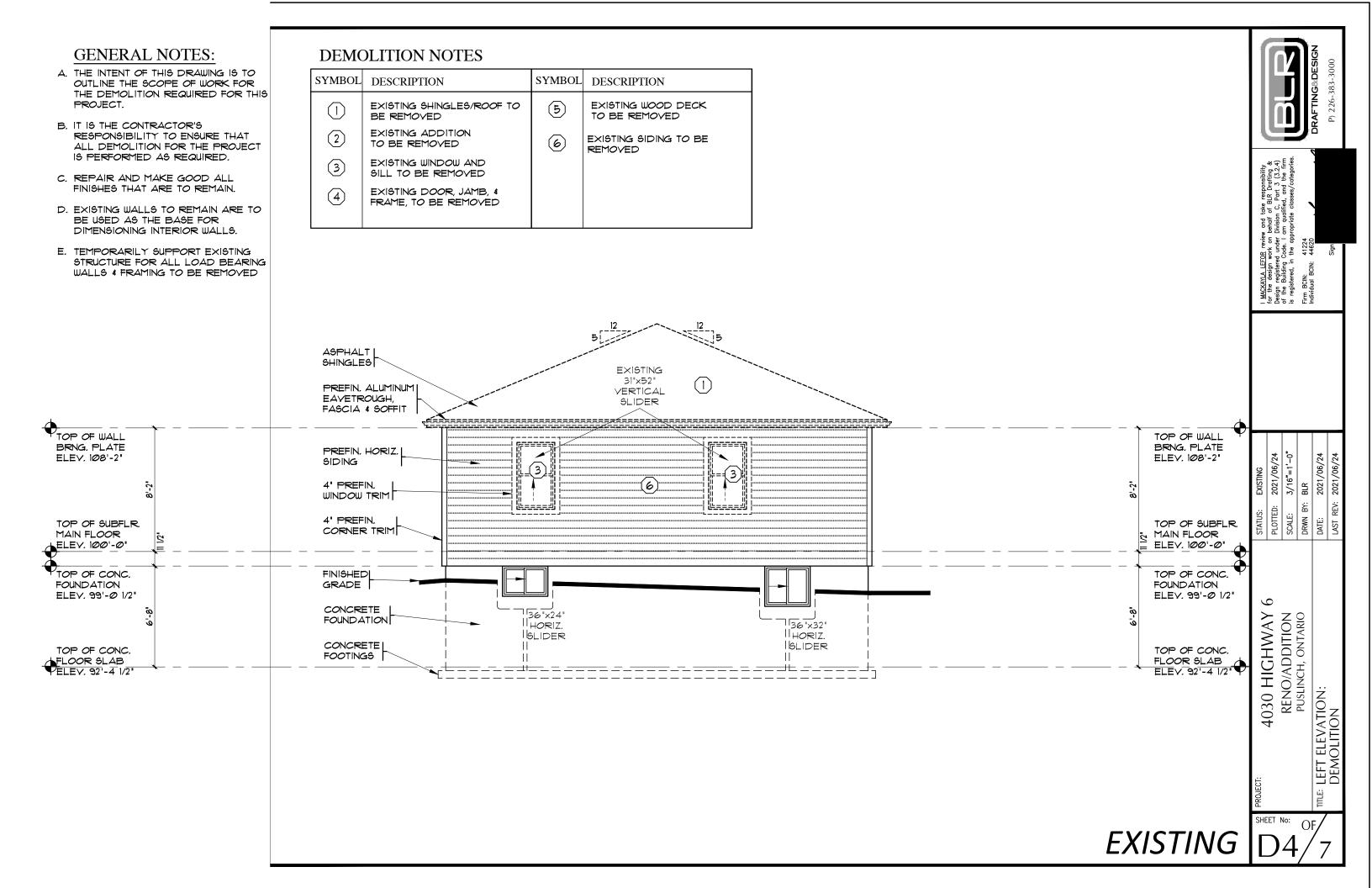
- A. THE INTENT OF THIS DRAWING IS TO OUTLINE THE SCOPE OF WORK FOR THE DEMOLITION REQUIRED FOR THIS PROJECT.
- B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL DEMOLITION FOR THE PROJECT IS PERFORMED AS REQUIRED.
- C. REPAIR AND MAKE GOOD ALL FINISHES THAT ARE TO REMAIN.
- D. EXISTING WALLS TO REMAIN ARE TO BE USED AS THE BASE FOR DIMENSIONING INTERIOR WALLS.
- E. TEMPORARILY SUPPORT EXISTING STRUCTURE FOR ALL LOAD BEARING WALLS & FRAMING TO BE REMOVED

DEMOLITION NOTES

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXISTING SHINGLES/ROOF TO BE REMOVED	5	EXISTING WOOD DECK TO BE REMOVED
2	EXISTING ADDITION TO BE REMOVED	6	EXISTING SIDING TO BE REMOVED
3	EXISTING WINDOW AND SILL TO BE REMOVED		
4	EXISTING DOOR, JAMB, & FRAME, TO BE REMOVED		



EXISTING



GENERAL NOTES:

- A. THE INTENT OF THIS DRAWING IS TO OUTLINE THE SCOPE OF WORK FOR THE DEMOLITION REQUIRED FOR THIS PROJECT.
- B. IT IS THE CONTRACTOR'S
 RESPONSIBILITY TO ENSURE THAT
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- C. REPAIR AND MAKE GOOD ALL FINISHES THAT ARE TO REMAIN.
- D. EXISTING WALLS TO REMAIN ARE TO BE USED AS THE BASE FOR DIMENSIONING INTERIOR WALLS.
- E. TEMPORARILY SUPPORT EXISTING STRUCTURE FOR ALL LOAD BEARING WALLS & FRAMING TO BE REMOVED

DEMOLITION NOTES

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXISTING SHINGLES TO BE REMOVED	5	EXISTING WOOD DECK TO BE REMOVED	(P)	EXISTING FLOORING TO BE REMOVED
2	EXISTING ADDITION TO BE REMOVED	6	BLACKED-OUT AREAS REFER TO WALLS SECTIONS	10	EXISTING FIREPLACE TO BE REMOVED
3	EXISTING WINDOW AND SILL TO BE REMOVED	(7)	TO BE REMOVED EXISTING CABINETS 4		EXISTING FOUNDATION TO BE REMOVED
(4)	EXISTING DOOR, JAMB, \$		FIXTURES TO BE REMOVED		
	FRAME, TO BE REMOVED & RE-USED	8	EXISTING PLUMBING TO BE REMOVED		

EXISTING AREA BY FLOOR:

FIN. BASEMENT AREA
MAIN FLOOR AREA
- 0 sq.ft.
- 1040 sq.ft.

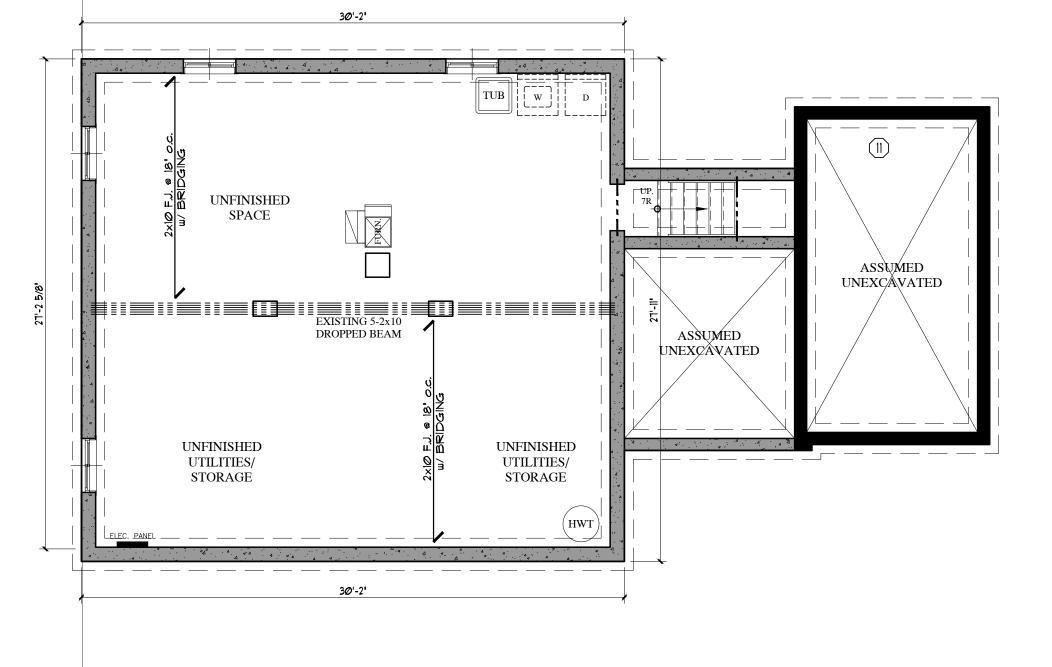
TOTAL FINISHED AREA - 1040 sq.ft.



9

4030 HIGHWAY 6 RENO/ADDITION PUSLINCH, ONTARIO

BASEMENT PLAN: DEMOLITION



GENERAL NOTES:

- A. THE INTENT OF THIS DRAWING IS TO OUTLINE THE SCOPE OF WORK FOR THE DEMOLITION REQUIRED FOR THIS PROJECT.
- B. IT IS THE CONTRACTOR'S
 RESPONSIBILITY TO ENSURE THAT
 ALL DEMOLITION FOR THE PROJECT
 IS PERFORMED AS REQUIRED.
- C. REPAIR AND MAKE GOOD ALL FINISHES THAT ARE TO REMAIN.
- D. EXISTING WALLS TO REMAIN ARE TO BE USED AS THE BASE FOR DIMENSIONING INTERIOR WALLS.
- E. TEMPORARILY SUPPORT EXISTING STRUCTURE FOR ALL LOAD BEARING WALLS & FRAMING TO BE REMOVED

DEMOLITION NOTES

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
\bigcirc	EXISTING SHINGLES TO BE REMOVED	(g)	EXISTING WOOD DECK TO BE REMOVED	9	EXISTING FLOORING TO BE REMOVED
2	EXISTING ADDITION TO BE REMOVED	6	BLACKED-OUT AREAS REFER TO WALLS SECTIONS	100	EXISTING FIREPLACE TO BE REMOVED
3	EXISTING WINDOW AND SILL TO BE REMOVED		TO BE REMOVED EXISTING CABINETS \$		EXISTING FOUNDATION TO BE REMOVED
(4)	EXISTING DOOR, JAMB, \$		FIXTURES TO BE REMOVED		DE REI IOVED
,	FRAME, TO BE REMOVED & RE-USED	8	EXISTING PLUMBING TO BE REMOVED		

EXISTING AREA BY FLOOR:

FIN. BASEMENT AREA - 0 sq.ft. MAIN FLOOR AREA - 1040 sq.ft.

TOTAL FINISHED AREA - 1040 sq.ft.



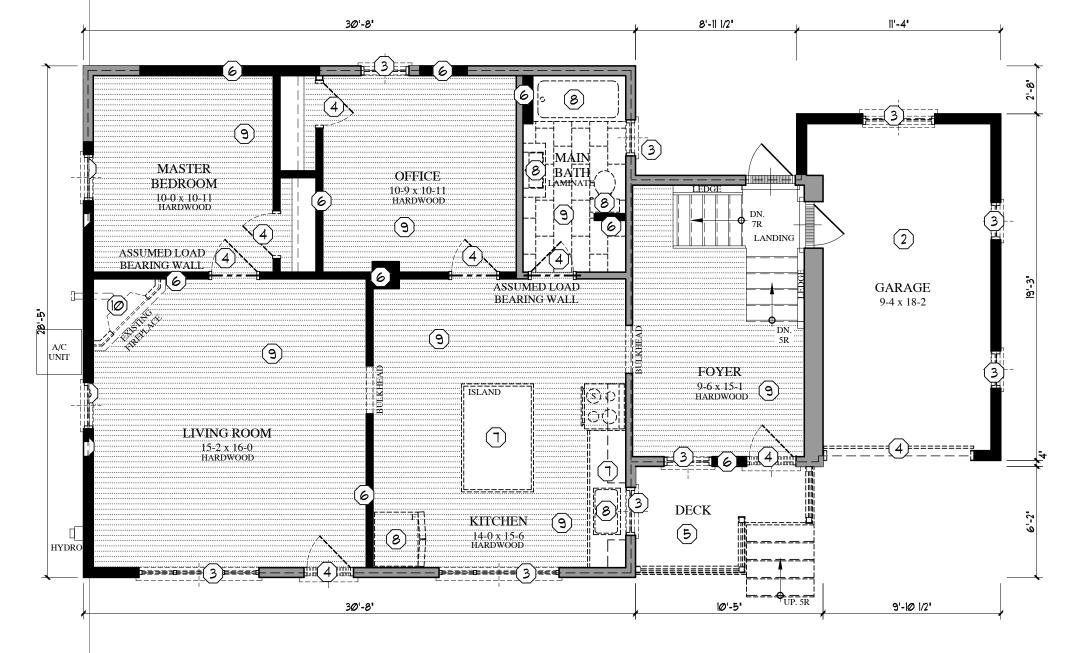
| MACKAYLA LEFOR review and take responsibility for the design work on behalf of BIR Drafting & Design registered under Division c, Part 3 (32.4) of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Firm BCIN: 41

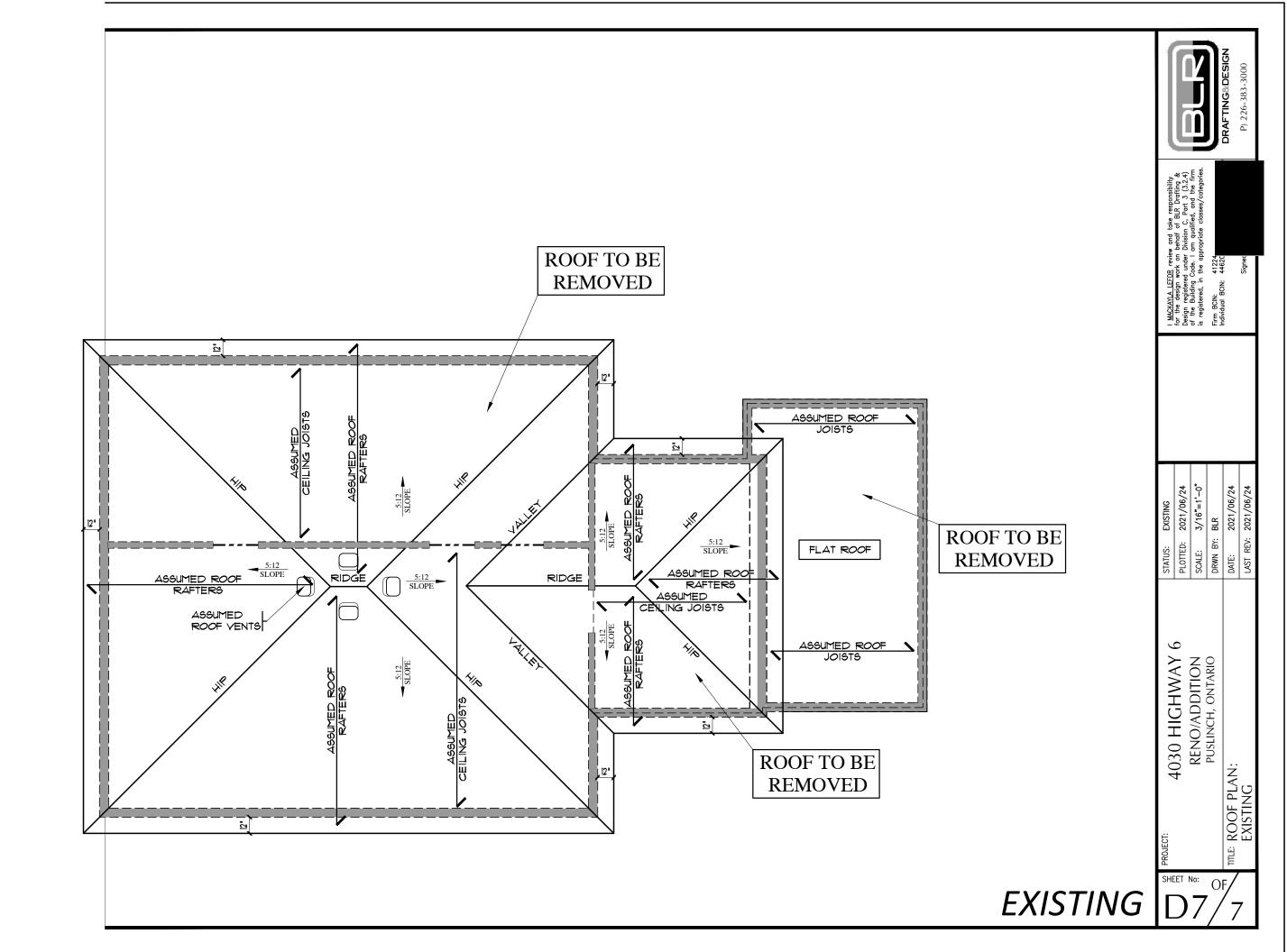
PLOTTED: 2021/06/24 Desir SCALE: 3/16"=1"-0" of the state of the stat

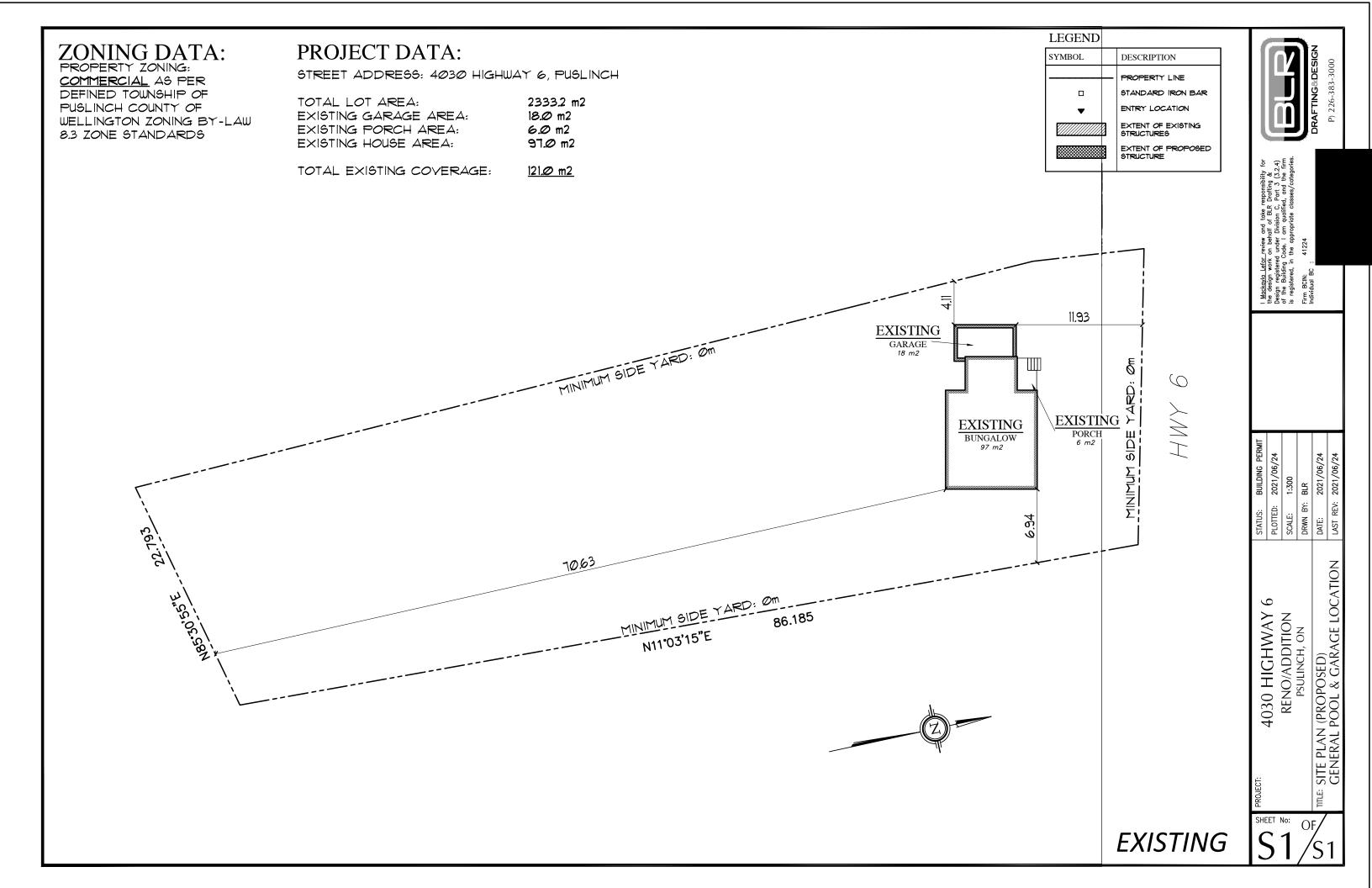
4030 HIGHWAY 6 RENO/ADDITION PUSLINCH, ONTARIO

RENO/AI
RENO/AI
PUSLINCH
MAIN FLOOR PLAN:
DEMOLITION

EXISTING D6/7







Hillary Miller

From: Andrew Hartholt

Sent: Monday, June 28, 2021 3:02 PM

To: Lynne Banks

Subject: RE: Minor Variance - Notice of Public Hearing - 4030 Highway 6 - Fell/Wilson

Sensitivity: Confidential

Hey Lynne,

1. An updated septic review will be required at time at building permit application. This may result in an expansion or new septic system being required.

2. No other concerns noted with the proposed reduced setbacks from a Building Code perspective that can't be addressed at time of building permit application.



Andrew Hartholt, CBCO/CRBO
Chief Building Official
Township of Puslinch
7404 Wellington Rd. 34, Puslinch, ON NOB 2J0

P: 519-763-1226 ext. 229/Fax: 519-763-5846 www.puslinch.ca

From: Lynne Banks < lbanks@puslinch.ca> Sent: Monday, June 28, 2021 2:42 PM

To: Executivevp.lawanddevelopment@opg.com; LandUsePlanning@HydroOne.com; planning@grandriver.ca; Jack Ammendolia <ammendolia@watsonecon.ca>; valenti@watsonecon.ca; tracy.mclennan@wellingtoncdsb.ca; Source Water <sourcewater@centrewellington.ca>; municipal.circulations@ugdsb.on.ca; Brent Smith

Andrew Hartholt <ahartholt@puslinch.ca>; Mike Fowler <mfowler@puslinch.ca>; Heritage Committee <Heritage@puslinch.ca>; Services <services@puslinch.ca>; Hurania Melgar <huraniam@wellington.ca>

Subject: Minor Variance - Notice of Public Hearing - 4030 Highway 6 - Fell/Wilson

Sensitivity: Confidential

Attached please find a Notice of Public Hearing with respect to the above matter. Please review and provide any comments by July 6, 2021.

Thanks -

Lynne



Lynne Banks
Development and Legislative Coordinator
Township of Puslinch
7404 Wellington Rd. 34, Puslinch, ON NOB 2J0

P: 519-763-1226 ext. 226/Fax: 519-763-5846 www.puslinch.ca

Email: lbanks@puslinch.ca

Hillary Miller

From: Brent Smith

Sent: Friday, July 02, 2021 8:49 AM

To: Justine Brotherston

Subject: RE: Amended - D13-FEL - Notice of Public Hearing - 4030 Highway 6

Hi Justine,

Puslinch Fire and Rescue Service has no concerns with the amendments providing adequate access is provided to the temporary residence and all smoke and CO alarms are installed and operational as per the applicable building code or fire code provisions.

Brent Smith CFPO

Puslinch Fire and Rescue Services

From: Justine Brotherston <jbrotherston@puslinch.ca>

Sent: Wednesday, June 30, 2021 4:12 PM

To: executivevp.lawanddevelopment@opg.com; landuseplanning@hydroone.com; LPUConsents@mpac.ca; ONTLands@enbridge.com; public_works_gld@cn.ca; Tyler.Shantz@Ontario.ca; debt@wellington.ca; donnab@wellington.ca; Hurania Melgar <huraniam@wellington.ca>; Jenn Simons <jsimons@grandriver.ca>; kstroud@growmark.com; ammendolia@watsonecon.ca; valenti@watsonecon.ca; tracy.mclennan@wellingtoncdsb.ca; planification@csviamonde.ca; Planning.Info@ugdsb.on.ca; Allan.Hodgins@ontario.ca; Engineering.Admin@ontario.ca; Brent Smith <bsmith@puslinch.ca>; Mike Fowler <mfowler@puslinch.ca>; Services <services@puslinch.ca>; Heritage Committee <Heritage@puslinch.ca>; Operations.Admin@ontario.ca

Cc: Lynne Banks < lbanks@puslinch.ca>; Jeff Bunn < jbunn@puslinch.ca>; Meagan Ferris < meaganf@wellington.ca> **Subject:** Amended - D13-FEL - Notice of Public Hearing - 4030 Highway 6

Good afternoon,

Attached please find the Amended Notice of Public Hearing with respect to the above matter. Please review and provide any comments by July 6, 2021.

Kind regards,



Justine Brotherston Legislative Assistant Township of Puslinch 7404 Wellington Rd. 34, Puslinch, ON NOB 2J0

P: 519-763-1226 ext. 208 Fax: 519-763-5846 www.puslinch.ca

Hillary Miller

From: Susan Fielding <susan@xplornet.ca>
Sent: Monday, July 05, 2021 2:48 PM

To: Planning

Cc: John Sepulis; Jacqueline Fell **Subject:** Comments Application#D13/FEL

Importance: High

Comments on Application #D13/FEL Jacqueline Fell and Brent Wilson 4030 Hwy 6 Puslinch, ON NOB 2J0

Attn:
PDAC
Councillor John Sepulis, Chair
Dennis O'Connor, Vice Chair
Paul Sadhra
Deep Basi
John Daniel Kennedy

We would like to submit our comments on this application which will come before the PDAC Committee on July 13, 2021.

We are the abutting landowners to the north and west of the said property. These neighbours have lived at this address in Puslinch for five years. During that time, they have improved the property greatly. They have engaged a local contractor to complete the work for this application. This property is located directly on Hwy 6 in the hamlet of Puslinch. This is very close to the southern border of our township and is therefore a gateway property as you enter Puslinch. We are confident that the planned addition will enhance this property even further and make the southern gateway even more attractive. Jacqueline and Brent are very involved in the community and plan to stay for a long time. They are community champions now and will continue to be in the future. It is wonderful to have them as neighbours and Puslinch is fortunate to have them as residents.

We are **fully supportive** of this application. Thank you for the opportunity to comment.

Hugh and Susan Fielding



PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department in our capacity as planning consultants for the Township

MEETING DATE: July 13, 2021

TO: Lynne Banks, Development and Legislative Coordinator

Township of Puslinch

FROM: Joanna Salsberg, Planner

Meagan Ferris, Manager of Planning & Environment

County of Wellington

SUBJECT: MINOR VARIANCE APPLICATION D13/FEL (Jacqueline Fell)

4030 Highway 6 Gore Rear Pt Lot 37

ATTACHMENTS: 1 – Architectural Elevation Plans

2 – Site Plans (Proposed & Existing)

We have reviewed the application for minor variance and provide the following comments. These comments are offered with the benefit of a site visit on June 25, 2021.

Planning Comment

The applicant is proposing to recognize and expand the existing single detached dwelling by adding a second storey addition, covered porch and replacing and extending the attached garage. The application has been updated to also seek permissions to permit the use of a recreational vehicle as a temporary residence in the Commercial Zone and on a lot that is not vacant while the existing dwelling is being renovated, and to allow for the temporary parking of a recreational vehicle on-site (during construction and during the winter months). The chart outlining the requested relief has been updated to reflect the additional requests made by the applicant.

Expansion of a Legal-Non Conforming Use

With respects to the request specific to the expansion of a legal non-conforming use, planning staff notes that the subject site is zoned as Commercial (C) Zone and that the setback requirements within this zone are 0 metres. It is also noted that MPAC information shows that the existing dwelling was constructed in 1949 and it is identified that the use generally benefits from legal non-conforming status.

Planning staff have also identified through the review of this proposal that the existing dwelling height is 5.38 m and that the proposed addition would increase the height to 8.38 m. Similarly, after the submission of updated drawings, it has been identified that the existing interior side yard (right) setback is 4.11 m and the relief is proposed to be 1.64 m. This varies slightly from the calculations within the notice; however, these values are considered to be minor. The relief chart within this report has been updated to reflect the most up to date dimensions.

Overall, there are no major concerns with the applicant's request to recognize and expand the existing dwelling as it is considered a legal non-conforming use.

Additional Requests

The additional requests seek to establish, through a minor variance, permissions for temporary living accommodations while the existing dwelling is being renovated. However, the by-law only permits a mobile home temporarily while a primary dwelling is being constructed on a vacant lot and this scenario is only permitted in the Agriculture (A) Zone. Further, the request is to also allow the parking of a recreational vehicle in the Commercial (C) Zone, where this is only permitted in the Residential Zones, and it is the intent of the applicant to live in the recreational vehicle during the summer and renovation and for the recreational vehicle to be stored over the winter months. The request is to allow the storage of the recreational vehicle for one (1) year after occupancy of the dwelling being renovated.

The intent of the temporary residence requirements in section 4.33 is to provide flexibility for owners of vacant properties within the Agricultural Zone to live on-site while they are constructing a new home, whereas the applicant for the subject property is proposing a temporary residence within the commercial zone on a lot that has an existing residence.

The Committee should consider whether the requested relief for a temporary residence (in a recreational vehicle) during the renovation of an existing house and permissions for the temporary parking of a recreational vehicle in a commercial zone (for a period of one year from occupancy of the principle building) is appropriate, is appropriate to be addressed through a minor variance application, and meets other application zoning provisions (i.e. Section 5.2.13 Parking of Recreational Vehicles and Boats). It is recognized that the use is a legal non-conforming residential use; however, it is noted that the site is not in an explicit residential zone.

The Committee should be satisfied that the subject application is minor in nature, maintains the intent and purpose of the County Official Plan and the Township's Zoning By-law and represents desirable and appropriate development. If approved, we would recommend that the following be made conditions of approval:

- 1. That the Township's Chief Building Official be satisfied that the proposed uses can be adequately serviced:
- 2. That any concerns of the Ministry of Transportation are addressed;
- 3. That the applicant enters into an agreement with the Township to address the temporary residence and temporary parking of a recreational vehicle at the cost of the owner and to the satisfaction of the Township;
- 4. That the applicant satisfies any and all of the requirements of the Township's Chief Building Official in regards to the temporary residence; and
- 5. That securities are provided by the applicant to address the removal of the recreational vehicle to the satisfaction of the Township.

Proposal:

The details of the minor variance application are included in the table below:

Section of the By-law		Requirements	Proposed
1.	Section 4.17 Legal	4.17.1 Buildings and Structures	4.17.1(a) Buildings and Structures
	Non-Conformity	a. A non-complying building or structure	Request relief of New Comprehensive
	and Legal Non-	that does not comply with this By-law,	Zoning By-law #23-2018, as amended,
	Compliance	but which was legally erected/altered in	from section 4.17.1 (a) to have a
		accordance with a by-law that was in	

- 2. Section 4.17.4 Non-Conforming Uses
- 3. Section 4.33
 Temporary
 Residence During
 Construction
- 4. Section 5.2.13
 Parking of
 Recreation
 Vehicles and
 Boats

effect in accordance with Section 34 of the Planning Act at the time of construction and/or alteration may be enlarged, repaired, or renovated provided that the enlargement, repair, or renovation does not further reduce the existing yard(s), and all other provisions of this By-law are met.

b. Nothing in this By-law shall apply to prevent the restoration, repair or renovation, or the replacement of any lawfully constructed building or structure existing prior to the passing of this By-law, provided that such restoration, repair or renovation, or replacement will not increase the height, size, volume or change the use of such building or structure unless in compliance with this By-law.

4.17.4 Non-Conforming Uses

a. No lot can be used, and no building or structure can be used, except in conformity with the provisions of this By-law unless such use legally existed before the date of passing this By-law and provided that it has continued and continues to be used for such purpose, and that such use, when established, was not contrary to any By-law in force at that time.

4.33 Temporary Residence During Construction

a. Where a new single detached dwelling is being constructed on a vacant lot in an Agricultural (A) Zone, a mobile home may be located and used as a temporary residence on the same lot during the construction of a new dwelling unit for a period of time not to exceed 12 months after the building permit for the new dwelling unit is issued, conditional upon entering into an agreement with the Township and satisfying any and all requirements of the Township's Chief Building Official.

reduced side yard setback (right) from the existing 4.11 m to 1.64.

4.17.1(b) Buildings and Structures

Request relief of New Comprehensive Zoning By-law #23-2018, as amended, from section 4.17.1(b) to increase the height from the existing 5.38 m to 8.38 m.

4.17.4 Non-Conforming Uses

Requesting relief of New Comprehensive Zoning By-law #23-2018, as amended, from section 4.17.4 to have legal non-confirming status.

4.33 Temporary Residence During Construction

Requesting relief of New Comprehensive Zoning By-law #23-2018, as amended, from section 4.33(a) to permit the use of a temporary residence during the construction of the primary residential home in the commercial zone on a lot that is not vacant.

5.2.13 Parking of Recreation Vehicles and Boats

Requesting relief of New Comprehensive Zoning By-law #23-2018, as amended, from section 5.2.13 to permit the parking of a recreation vehicle in a commercial zone for a period of one year from occupancy of the principle building.

5.2.13 Parking of Recreational Vehicles and Boats

- a. The following provisions apply to the outdoor parking or storage of any recreational vehicle or boat in a Residential Zone:
- i. The recreational vehicle or boat shall not be used for human habitation purposes while parked on the lot;
- ii. A total of one recreational vehicle and one boat shall be permitted on a lot;
- iii. The recreational vehicle or boat shall be parked in the interior or rear yards, or in a yard between a building and a lake or watercourse deemed to be a front yard, and/or on a driveway extending from a private garage or carport;
- iv. A recreational vehicle and a boat shall not be parked on the same driveway.
- v. A recreational vehicle or boat shall not occupy required parking spaces.
- vi. A recreational vehicle or boat, if located on the driveway, shall be located no closer than 0.5 metres from the edge of the lot line.

Our discussion of this application relative to the four tests under the Planning Act is as follows:

Four Tests	Discussion	
That the requested variance is minor in nature	Based on MPAC information that existing dwelling was constructed in 1949 and it is identified that the use generally benefits from legal non-conforming status.	
	• The proposal is intending to expand the existing dwelling vertically and horizontally to allow for a 2 nd storey addition and a replacement and expansion to the existing attached garage.	
	• If approved, it would be recognized that the dwelling will be permitted to be 8.38 m in height and maintain a 1.64 m interior side yard setback (at the closest point).	
	• It is recognized that the surrounding area includes other residential dwellings and that there is a mixture of heights.	
	Architectural drawings have been included within Attachment 1 and show the proposed expansion plans for the existing dwelling.	
	Site plan drawings have been included within Attachment 2 and show the proposed site plan for the existing dwelling.	

That the intent and purpose of the **Zoning By-law** is maintained

- The subject lands are zoned as Commercial (C) Zone.
- The intent of the subject application is to expand an existing single detached dwelling that has legal non-conforming status.
- The existing height of the dwelling is 5.38 m (17.66 ft) and with the proposed 2nd storey addition will be 8.38 m (27.5 ft) in height. It is recognized that maximum permission is 10 m.
- The existing front yard setback is 9.84 m from the single detached dwelling to the front lot line, which will be maintained, except for the covered porch which will project out an addition 1.2 m (3.9 ft). It is recognized that the minimum front yard setback is 0 m.
- The existing interior side yard (right) setback is 4.11 m (13.48 ft) and this setback would be reduced to 1.64 m (at the closest point). It is recognized that the minimum interior side yard setback required is 0 m.
- The existing dwelling was constructed before the new by-law came into force and effect. Therefore, sections 4.17.4, 4.17.1(a) and 4.17.1(b) are applicable.
- The proposal of parking a recreational vehicle on the subject property is permitted in a Residential Zone; however, it is recognized that the property is zoned as Commercial Zone and currently contains a residential use. If permitted by the Committee, the placement of the recreational vehicle will need to comply with the requirements of Section 5.2.13.
- Section 4.33(a) permits, where a new single detached dwelling is being constructed on a vacant lot in the Agricultural (A) Zone, the use of a mobile home as a temporary residence on the same lot during the construction of a new dwelling. This is permitted for a period of up to 12 months after the building permit for the new dwelling unit is issued and is conditional upon entering into an agreement with the Township and satisfying any and all requirements of the Township's Chief Building Official. A mobile home is a defined term within the Zoning By-law as is a recreational vehicle. The recreational vehicle definition only allows for the use of overnight or short term accommodation between April 1st and November 1st inclusive.
- The subject property is within the C Zone, is not vacant, and a new single detached dwelling is not being proposed. The by-law also does not permit a recreational vehicle to be used as a temporary residence.
- The intent of Section 4.33 is to allow property owners the flexibility of living on-site within a mobile home (temporarily) when a new single detached dwelling is being constructed on a vacant lot in the A Zone where there is no ability for the owner to live on-site.

That the general intent and purpose of the **Official Plan** is maintained

- The subject lands are designated Secondary Agricultural in the County of Wellington Official Plan.
- Section 13.8 recognizes legal non-conforming uses in the County Official Plan and allows for the consideration of the extension or enlargement of non-conforming uses in a rational manner provided various criteria are considered (i.e. land use compatibility, servicing etc.).
- Planning staff notes that this development is to allow an existing dwelling to expand and that the existing interior side yard (left) and rear yard setbacks are generally proposed to be retained.

• With respect to servicing, it should be demonstrated to the Township's satisfaction that the existing services can accommodate the proposed addition.

• It is also noted that the County Official Plan allows temporary use by-laws to be passed for uses that are not permitted within the By-law, subject to certain criteria.

That the variance is desirable and appropriate development and use of the land, building or structure

- The subject land is approximately 0.5 ac (0.2 ha) in size and the existing dwelling has been erected since 1949.
- The immediate adjacent land uses to the subject lands are rural residential and agricultural uses, with commercial, residential and agricultural uses to the west.
- The surrounding rural residential uses include a mix of single storey, oneand-a-half storey, and single detached dwellings.
- The interior side yard (right) setback will be 1.64 m at the closest point, where the abutting property narrows.
- The proposed covered porch extends further into the front yard than the existing deck, but a substantial front yard setback is still proposed.
- It is understood that the applicant is proposing the variance to recognize the residential use of the property in order to proceed with the proposed addition and extension of the single detached dwelling.
- The subject property is 0.2 ha (0.5 ac) and abuts two lots that are larger (over 1 ha in size). The location of a recreational trailer will need to comply with Section 5.2.13.
- The proposal for a temporary residence during the period of construction will require adequate servicing for a temporary residential use and the location of the mobile home may temporarily impact surrounding properties. Comments from the Chief Building Official should be considered.
- If the Committee is in support of permitting a recreational vehicle to be utilized as temporary living accommodations while the existing dwelling is being renovated and that this is appropriate through a minor variance application, it is recommended that a development agreement and the collection of securities be required as a condition of approval to enable the Township to enforce that the temporary residence/parking of a recreational vehicle.
- Planning staff recommends that any concerns of the Ministry of Transportation should be addressed regarding the setback of the porch to Highway 6 and that the Township be satisfied that there is adequate servicing for the expansion.



We trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application.

Respectfully submitted
County of Wellington Planning and Development Department



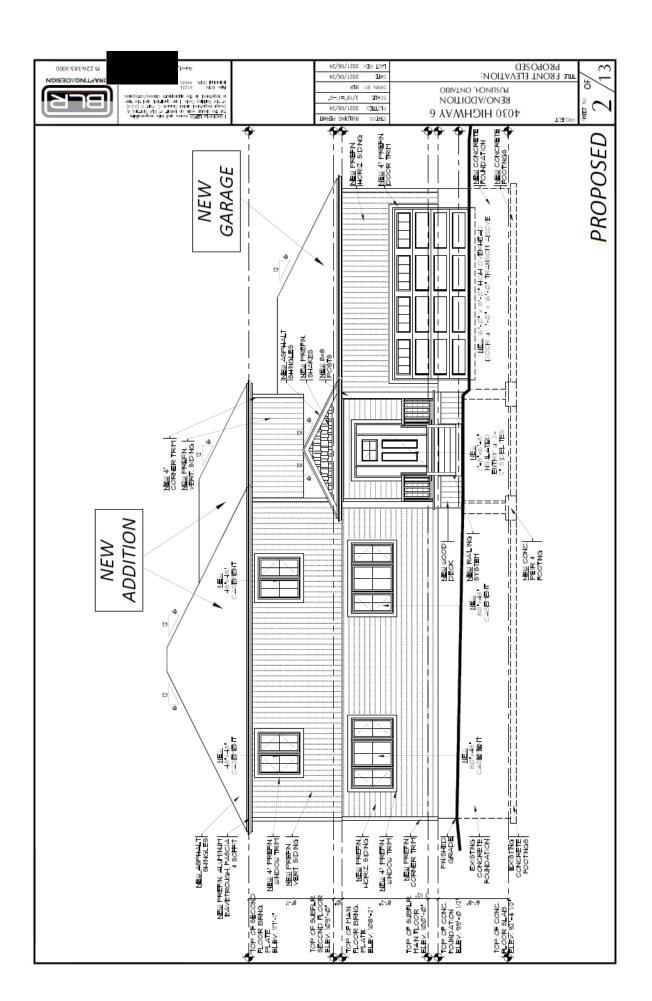
Joanna Salsberg Planner

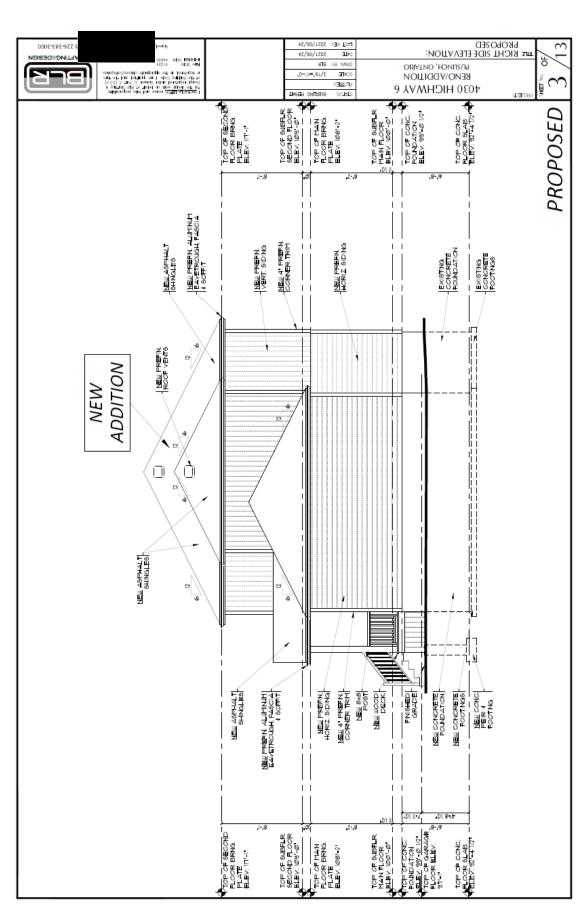


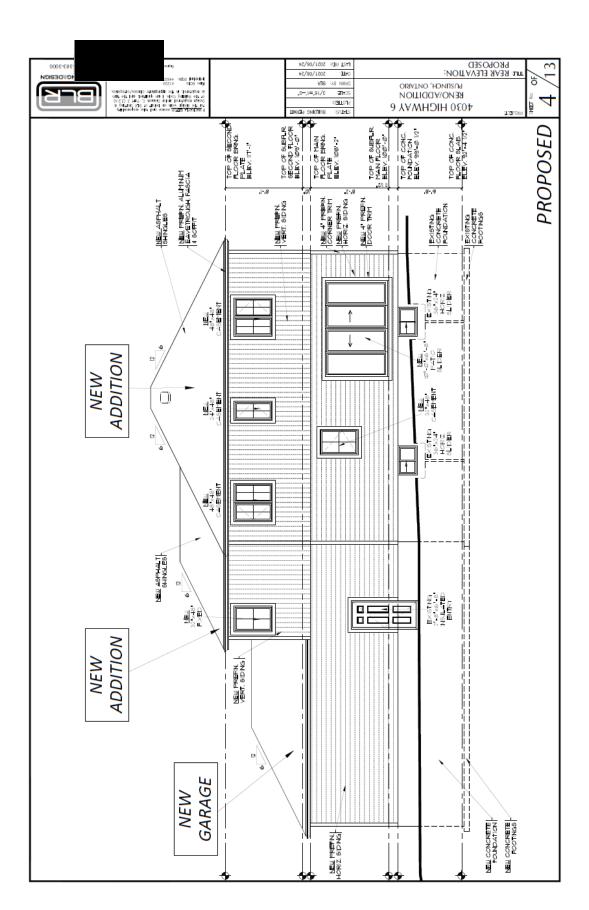
Meagan Ferris, RPP MCIP Manager of Planning & Environment

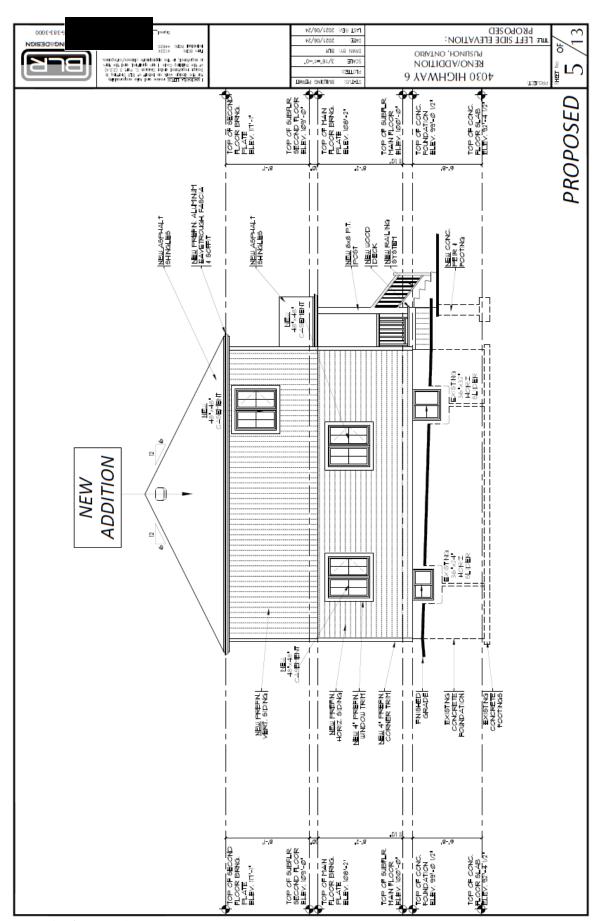
ATTACHMENT 1: Architectural Elevation Plans

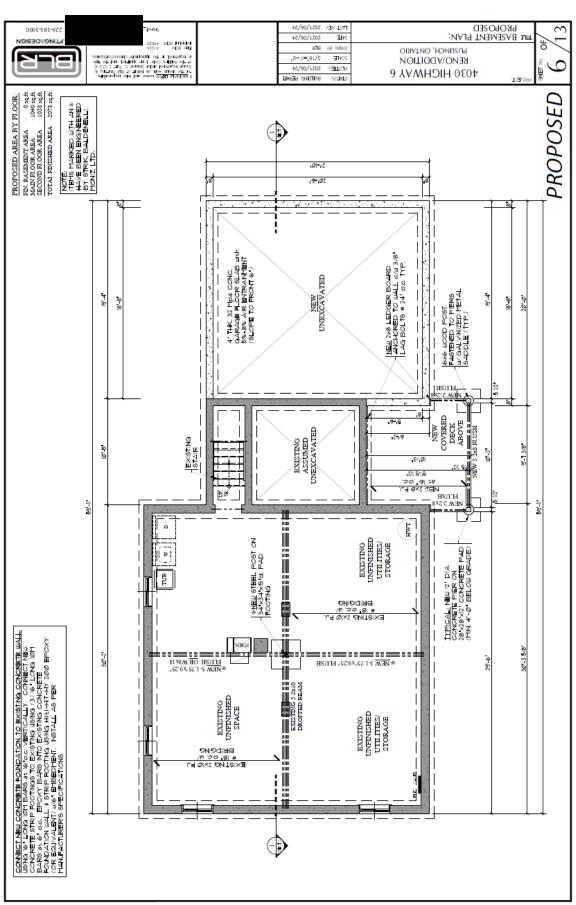


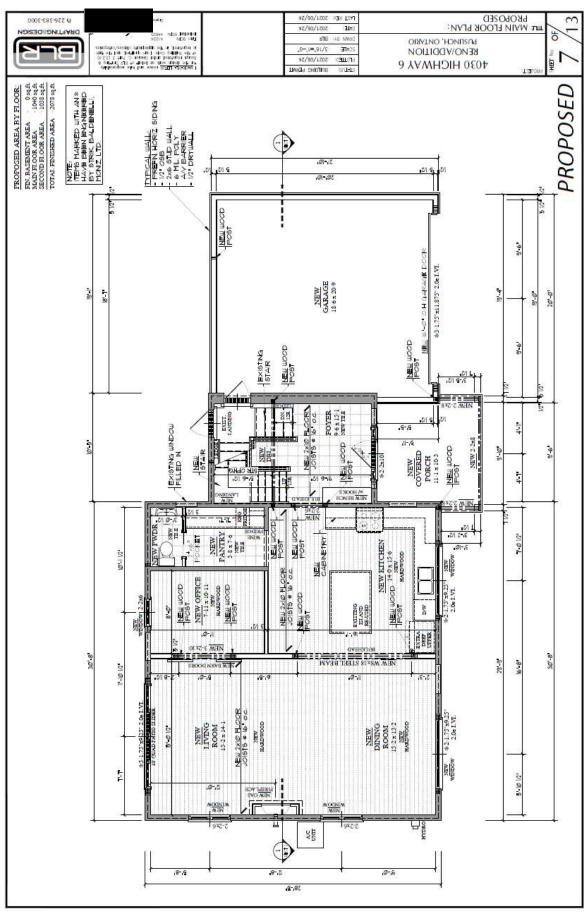


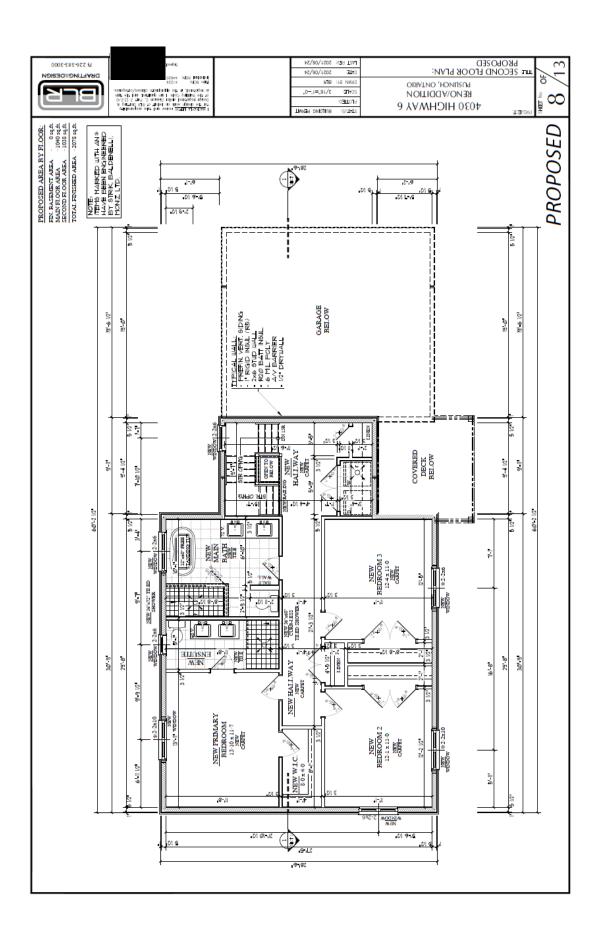


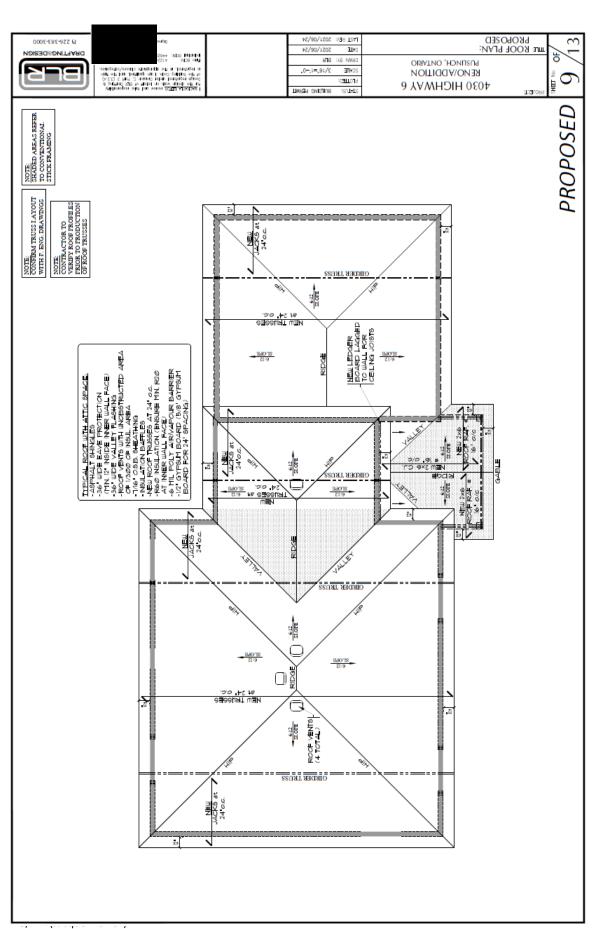


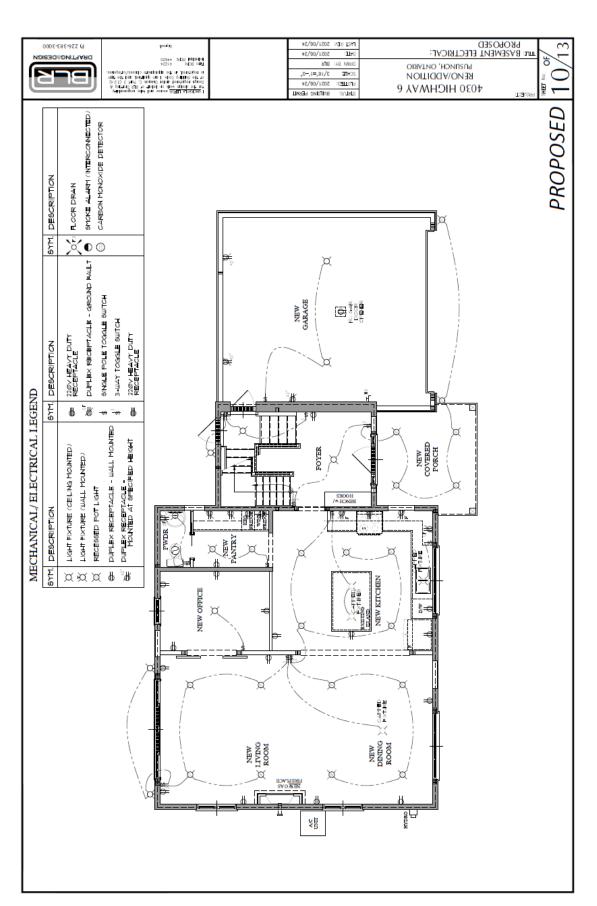


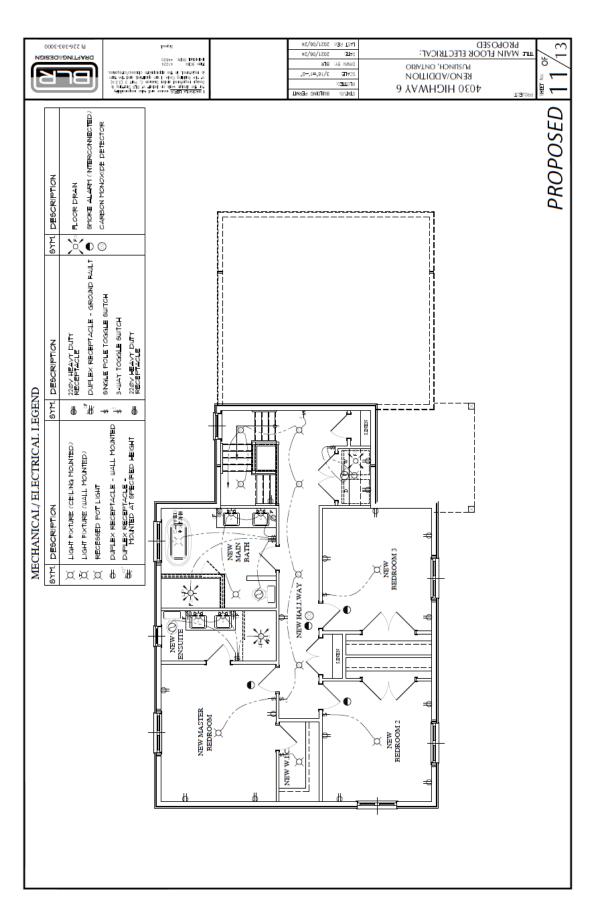


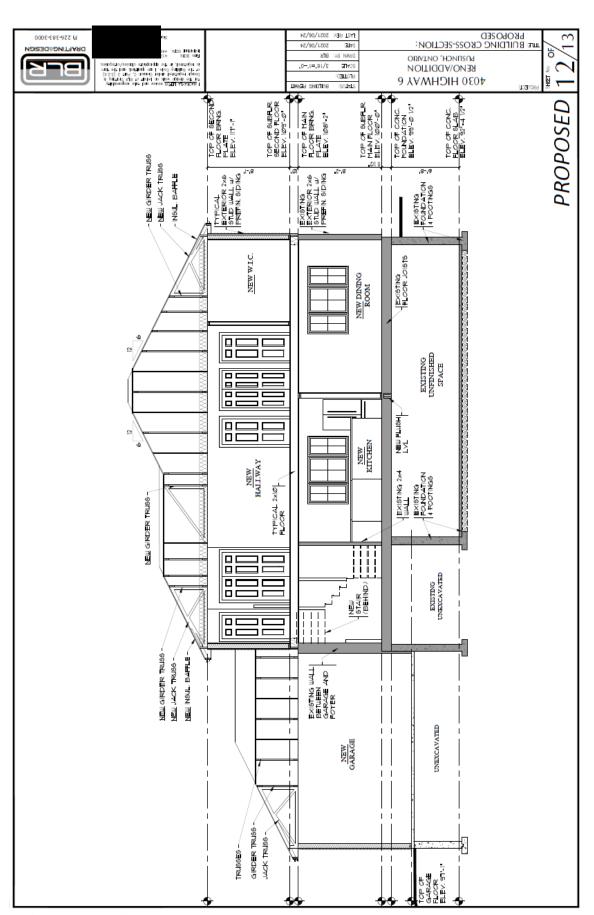


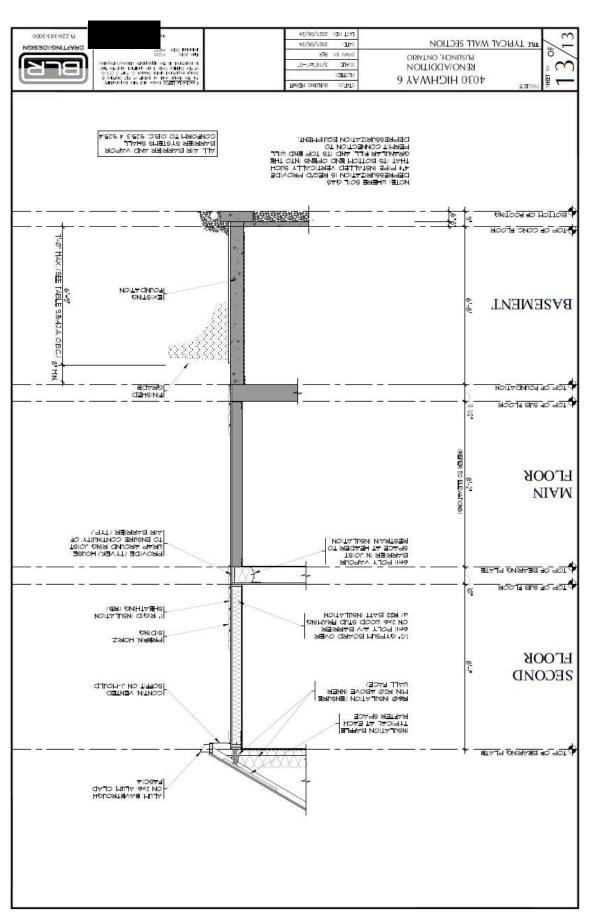


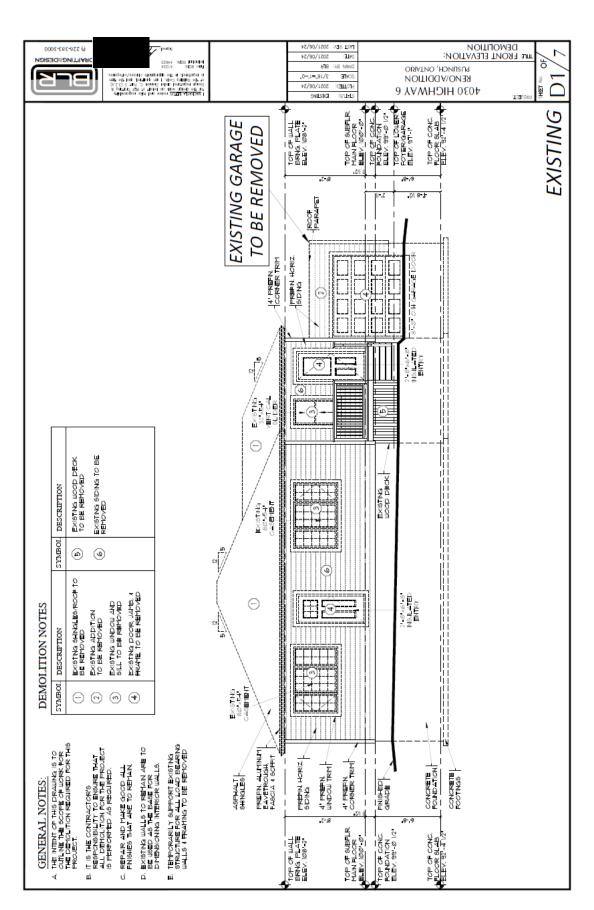


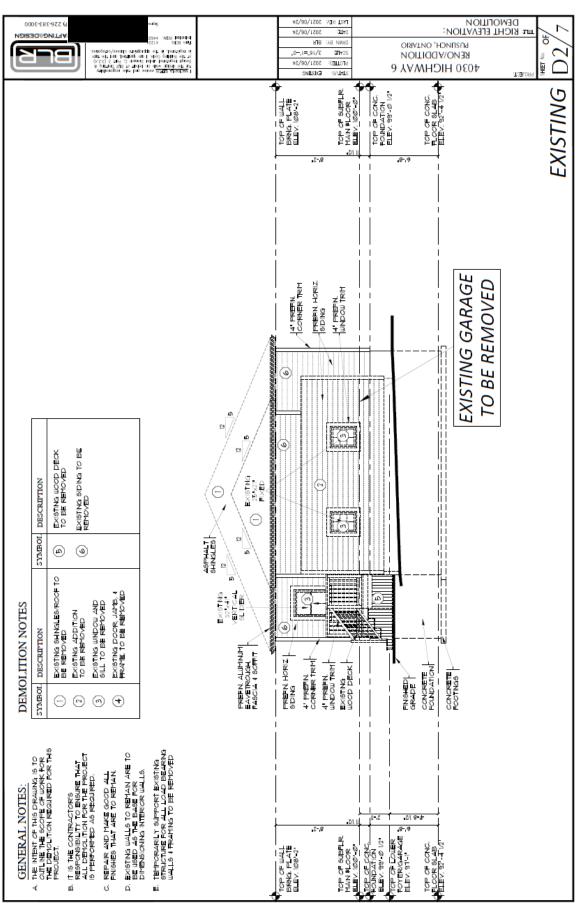


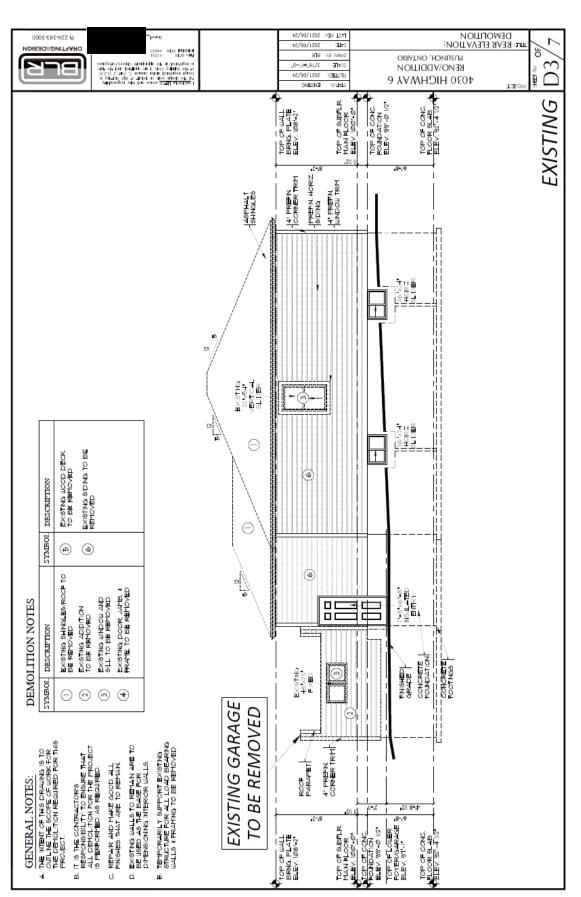


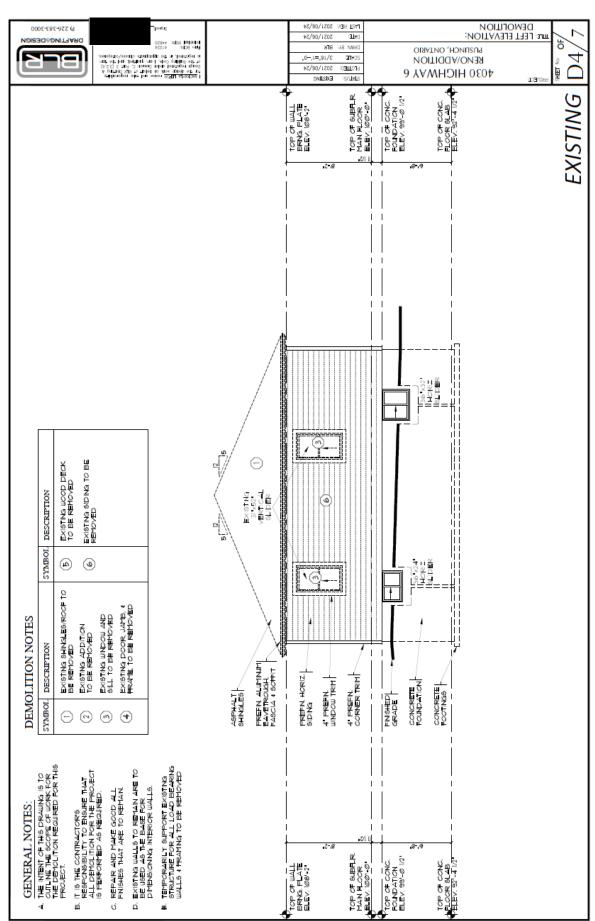


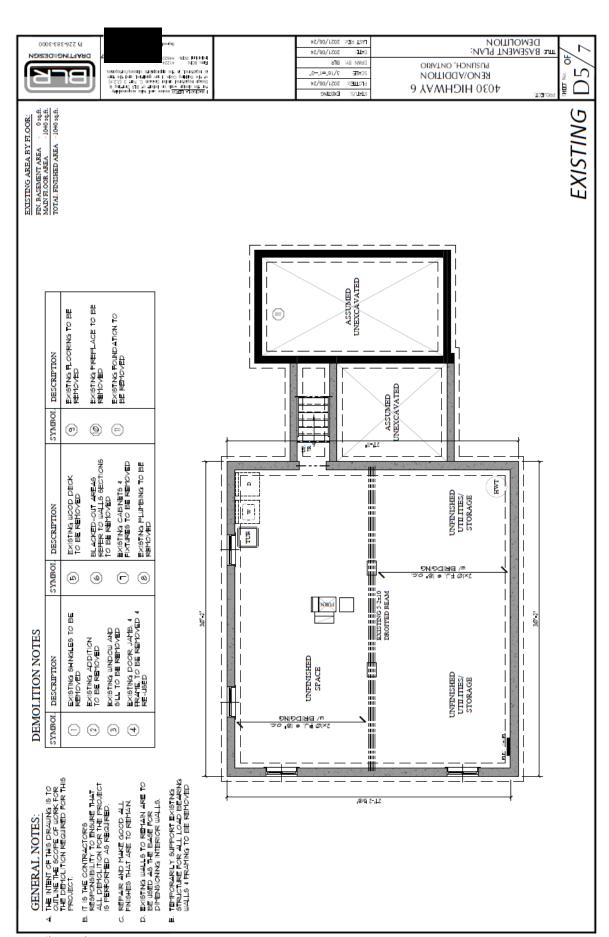


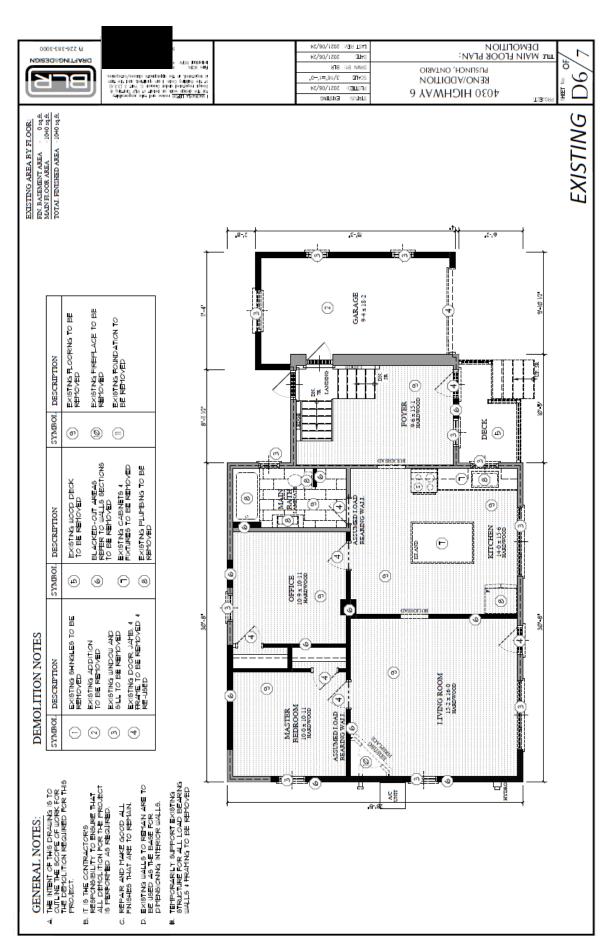


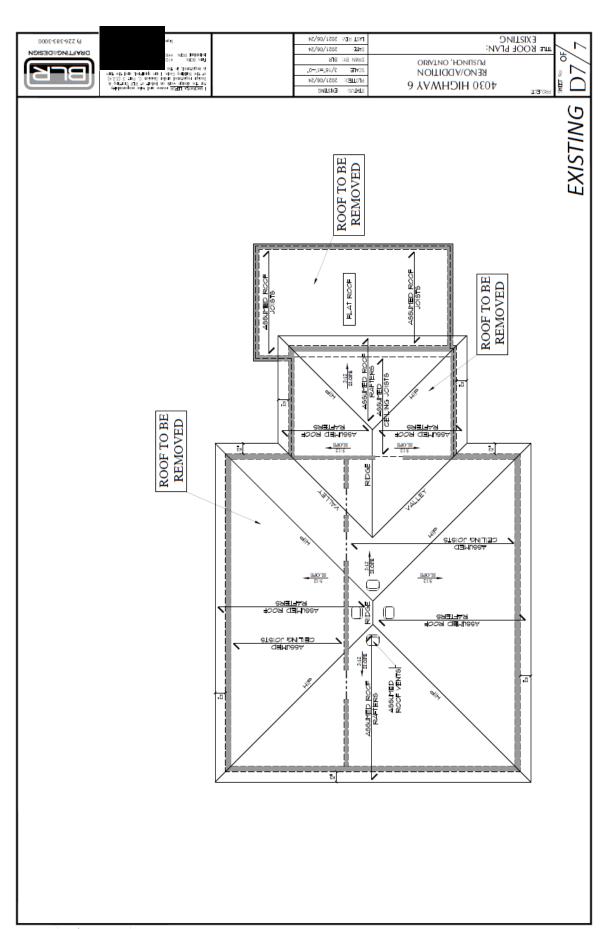




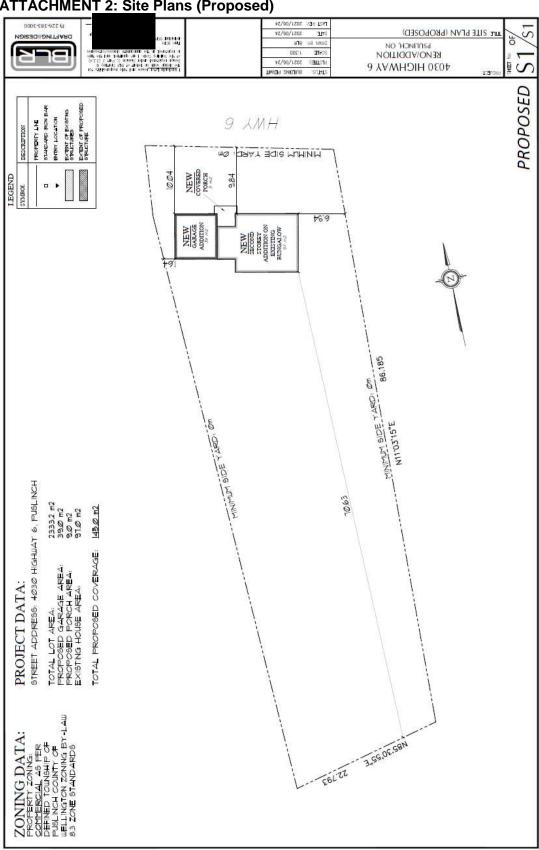


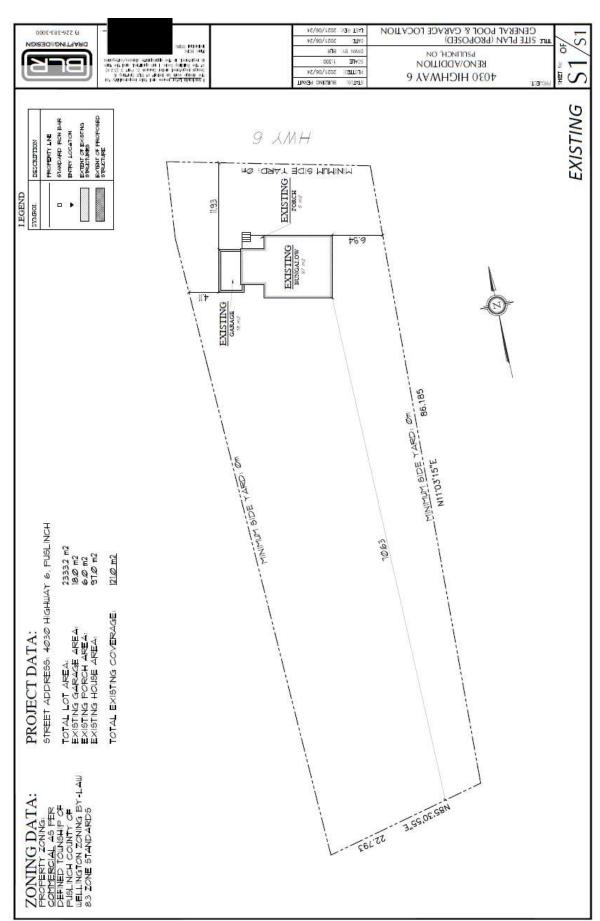






ATTACHMENT 2: Site Plans (Proposed)





Minor Variance Application - Entry #2231

Registered Owner's Name
Will Roberts
Registered Owner's Address
24 Gilmour Rd Puslinch, ON N0B 2J0
Registered Owner's Email Address
Registered Owner's Phone Number
Registered Owner's Fax
Empty
Applicant (Agent) Name
will Roberts
Applicant (Agent) Address
24 Gilmour Rd Puslinch, ON N0B 2J0
Applicant (Agent) Email
Applicant (Agent) Phone Number
Applicant (Agent) Fax
Empty
Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property
Vanessa Forster
Send correspondence to

Owner		
Other		
Empty		
Municipal Address		
24 Gilmour Rd Puslinch, ON N0B 2J0		
Concession		
Consession 8		
Lot		
23		
Registered Plan Number		
2301000006092050000		
Area in Hectares		
0.404686		
Area in Acres		
1		
Depth in Meters		
66.38544		
Depth in Feet		
217.8		
Frontage in Meters		
60.96		
Frontage in Feet		
200		
idth of road allowance (if known)		
Empty		
Please indicate the Section of the Planning Act under which this application is being made		
Section 45(2) relates to a change to or expansion of an existing legal non- conforming use		

What is the nature and extent of the relief that is being applied for?

Section 4.24.1, 3 shipping containers permitted on the area not exceeding 1 year.

Sketch of the nature and extent of the relief that is being applied for



Scanned-Documents.pdf

Why is it not possible to comply with the provisions of the by-law?

We have 3 smaller than standard brand new nicely finished shipping containers that were purchased by the federal government in order to hedge supply chain shortages for our agri-food processing plant located at 30 Gilmour rd. Without engineering retaining walls on our current site and in filling around our plant at 30 Gilmour rd we need to temporary locate them at 24 Gilmour road for a period not exceeding 1 year. The ramifications of not having packaging on site will create a inability to manufacture products for 85 farms and small business in our area. We are happy to provide letters of support upon request.

Sketch for why is it not possible to comply with the provisions of the by-law



Scanned-Documents.pdf

Official Plan Designation

FD2

Zoning Designation

Residential

What is the access to the subject property?

Continually maintained municipal road

Other Access

Empty

What is the name of the road or street that provides access to the subject property?

24 Gilmour Rd

If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

Empty

Municipal Water

Empty

Communal Water

Empty

Private Well

Existing
Other Water Supply
Empty
Municipal Sewers
Empty
Communal Sewers
Empty
Private Septic
Existing
Other Sewage Disposal
Empty
How is storm drainage provided?
Swales
Other Means of Storm Drainage
Empty
,
What is the existing use of the subject property?
What is the existing use of the subject property?
What is the existing use of the subject property? Residential
What is the existing use of the subject property? Residential What is the existing use of the abutting properties?
What is the existing use of the subject property? Residential What is the existing use of the abutting properties? Commercial Residential
What is the existing use of the subject property? Residential What is the existing use of the abutting properties? Commercial Residential Main Building Height in Meters
What is the existing use of the subject property? Residential What is the existing use of the abutting properties? Commercial Residential Main Building Height in Meters 6
What is the existing use of the subject property? Residential What is the existing use of the abutting properties? Commercial Residential Main Building Height in Meters 6 Main Building Height in Feet
What is the existing use of the subject property? Residential What is the existing use of the abutting properties? Commercial Residential Main Building Height in Meters 6 Main Building Height in Feet 3.28084
What is the existing use of the subject property? Residential What is the existing use of the abutting properties? Commercial Residential Main Building Height in Meters 6 Main Building Height in Feet 3.28084 Percentage Lot Coverage in Meters
What is the existing use of the subject property? Residential What is the existing use of the abutting properties? Commercial Residential Main Building Height in Meters 6 Main Building Height in Feet 3.28084 Percentage Lot Coverage in Meters 15
What is the existing use of the subject property? Residential What is the existing use of the abutting properties? Commercial Residential Main Building Height in Meters 6 Main Building Height in Feet 3.28084 Percentage Lot Coverage in Meters 15 Percentage Lot Coverage in Feet

Number of Loading Spaces
3
Number of Floors
1
Total Floor Area in Square Meters
300
Total Floor Area in Square Feet
984
Ground Floor Area (Exclude Basement) in Square Meters
340
Ground Floor Area (Exclude Basement) in Square Feet
1115.49
Front Yard in Meters
3.1
Front Yard in Feet
10.17
Rear Yard in Meters
24
Rear Yard in Feet
78.74
Side Yard (1) in Meters
3.1
Side Yard (1) in Feet
10.17
Side Yard (2) in Meters
51.6
Side Yard (2) in Feet
170
Date of acquisition of subject property

June 29, 2018
Date of construction of buildings property
January 31, 2021
How long have the existing uses continued on the subject property?
5 months
Has the owner previously applied for relief in respect of the subject property?
No
Please indicate the file number and describe briefly
Empty
Planning Application: Official Plan Amendment
No
Official Plan Amendment: File Number
Empty
Official Plan Amendment: Approval Authority
Empty
Official Plan Amendment: Subject Lands
Empty
Official Plan Amendment: Purpose
Empty
Official Plan Amendment: Status
Empty
Planning Application: Zoning By-Law Amendment
No
Zoning By-Law Amendment: File Number
Empty
Zoning By-Law Amendment: Approval Authority
Empty
Zoning By-Law Amendment: Subject Lands
Empty

Zoning By-Law Amendment: Purpose
Empty
Zoning By-Law Amendment: Status
Empty
Planning Application: Plan of Subdivision
No
Plan of Subdivision: File Number
Empty
Plan of Subdivision: Approval Authority
Empty
Plan of Subdivision: Subject Lands
Empty
Plan of Subdivision: Purpose
Empty
Plan of Subdivision: Status
Empty
Planning Application: Consent (Severance)
No
Consent (Severance): File Number
Empty
Consent (Severance): Approval Authority
Empty
Consent (Severance): Subject Lands
Empty
Consent (Severance): Purpose
Empty
Consent (Severance): Status
Empty
Planning Application: Site Plan

No
Site Plan: File Number
Empty
Site Plan: Approval Authority
Empty
Site Plan: Subject Lands
Empty
Site Plan: Purpose
Empty
Site Plan: Status
Empty
Planning Application: Minor Variance
No
Minor Variance: File Number
Empty
Minor Variance: Approval Authority
Empty
Minor Variance: Subject Lands
Empty
Minor Variance: Purpose
Empty
Minor Variance: Status
Empty
The agent is different than the owner
Empty
Owner's Name
Empty
Owner's Address
Empty

I authorize this person to act as my agent in this application
Empty
Signature of Owner
Empty
Name
Will Roberts
Address
24 Gilmour Rd
Puslinch, ON
N0B 2J0
Affidavit
I solemnly declare that all the statements contained in this application are true, and I, (we), make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the CANADA EVIDENCE ACT.
Signature of Owner or authorized solicitor or agent
orginature of owner of authorized solicitor of agent
Signature of Commissioner
Empty
Please select your Minor Variance Type
Minor Variance Type 1 - \$ 733.00
Convenience Fee (1.75%)
\$ 12.83
Convenience Fee (1.75%)
Empty
Total
\$ 745.83
Credit Card

Township of Puslinch

Sworn (or Affirmed or Declared) remotely by



of (City, Town, etc.) of Township of Puslinch

before me at the (City, Town, etc.) of Township of Puslinch

in the (County, Regional Municipality, etc.) of County of Wellington

June 28, 2021

(date) in accordance with O.Reg. 431/20, Administering Oath or Declaration Remotely



Jeffrey Bunn

Commissioner for Taking Affidavits Township of Puslinch County of Wellington



Sealed by: The Corporation of the Township of Puslinch $12:13 \quad pm.$

Sworn (or Affirmed or Declared) remotely by

of (City, Town, etc.) of

on

in the (County, Regional Municipality, etc.) of

before me at the (City, Town, etc.) of

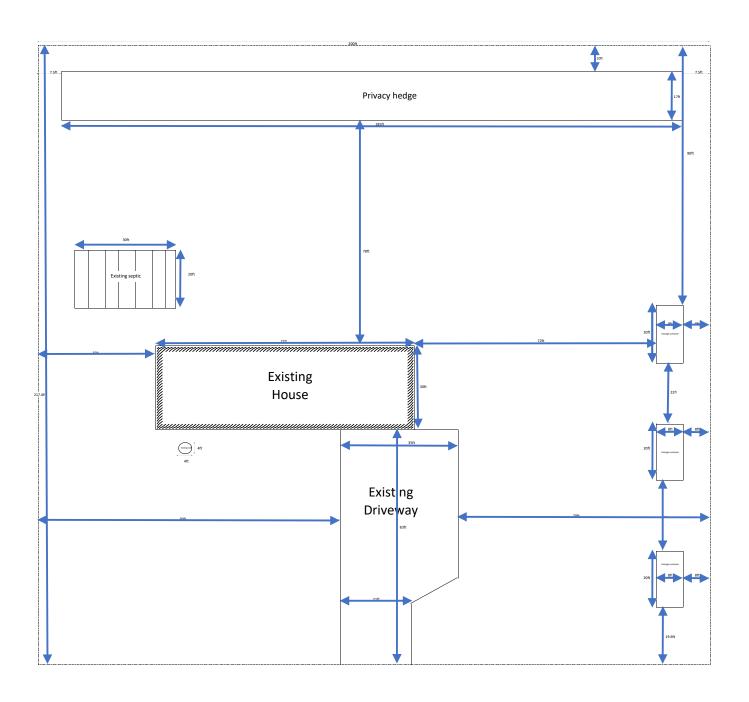
in the (County, Regional Municipality, etc.) of

(date) in accordance with O.Reg. 431/20, Administering Oath or Declaration Remotely

Commissioner for Taking Affidavits Township of Puslinch County of Wellington



Sealed by: The Corporation of the Township of Puslinch









Hillary Miller

From: Brent Smith

Sent: Friday, July 02, 2021 8:13 AM

To: Justine Brotherston

Subject: RE: D13-ROB - Notice of Public Hearing - 24 Gilmour Rd

Hi Justine,

Puslinch Fire and Rescue reviewed the notice of public hearing regarding 24 Gilmour Rd. on July 2, 2021. The department has no concerns with the proposal.

Brent Smith

CFPO

Puslinch Fire and Rescue Service

From: Justine Brotherston < jbrotherston@puslinch.ca>

Sent: Friday, June 25, 2021 4:01 PM

To: Hurania Melgar <huraniam@wellington.ca>; Source Water <sourcewater@centrewellington.ca>; Brent Smith
 <bsmith@puslinch.ca>; Andrew Hartholt <ahartholt@puslinch.ca>; Services <services@puslinch.ca>; executivevp.lawanddevelopment@opg.com; landuseplanning@hydroone.com; ammendolia@watsonecon.ca; valenti@watsonecon.ca; tracy.mclennan@wellingtoncdsb.ca; municipal.circulations@ugdsb.on.ca; planification@csviamonde.ca

Cc: Lynne Banks < lbanks@puslinch.ca>; Jeff Bunn < jbunn@puslinch.ca>

Subject: D13-ROB - Notice of Public Hearing - 24 Gilmour Rd

Good afternoon,

Please see attached the Notice of Public Hearing for the D13-ROB Minor Variance Application for 24 Gilmour Rd.

Kind regards,

USLINCH

Justine Brotherston Legislative Assistant Township of Puslinch 7404 Wellington Rd. 34, Puslinch, ON NOB 2J0

P: 519-763-1226 ext. 208 Fax: 519-763-5846 www.puslinch.ca



PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department in our capacity as planning consultants for the Township

MEETING DATE: July 13th, 2021

TO: Lynne Banks, Secretary-Treasurer

Township of Puslinch

FROM: Zach Prince, Senior Planner

County of Wellington

SUBJECT: MINOR VARIANCE APPLICATION D13/ROB (Will Roberts and Vanessa Forester)

24 Gilmour Road

Front Part Lot 23, Concession 8

ATTACHMENTS: 1 – Sketch provided by the applicant

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

Planning Opinion

The applicant is proposing to locate 3 shipping containers on a residential property that will be used for storage purposes that support a neighbouring business (Rootham Gourmet Preserves). The variance requested would provide relief from Section 4.24.1 *Shipping Containers in Residential Zones* in order to permit the establishment of shipping containers for a period of 1 year.

The applicant has indicated that the containers would be used to store materials to support the packaging and/or goods produced at the neighbouring Rootham's facility (30 Gilmour Road). The applicant has also indicated that the storage is to facilitate an increase in demand for supplies to address procurement challenges as a result of COVID 19. Staff notes that the subject property is zoned Future Development (FD2) in the Township Zoning By-law.

Planning staff further notes that Section 4.24.1 a) allows shipping containers in a Residential Zone for moving purposes and this is permitted for up to 14 days and 4.24.1 b) allows shipping containers for temporary storage in a Residential Zone for no more than 6 months when completing on-site construction. The subject application seeks to temporary permit the use of shipping containers in the Future Development Zone for a period of 1 year and for storage related to an abutting business. Planning staff's preference would be to address this proposal either through a temporary use by-law or by relocating the shipping containers to the abutting property that contains the existing business.

The Committee should be satisfied that the subject application is minor in nature, maintains the intent and purpose of the County Official Plan and the Township's Zoning By-law and represents desirable and appropriate development. If approved, we would recommend that the following be made conditions of approval:

- 1. That the minor variance approval be applied for a period of 1 year;
- 2. That a maximum of 3 shipping containers be permitted on-site and in the location as shown in Attachment 1;
- 3. That the owner enter in to an agreement with the Township regarding the removal and rehabilitation of the site once the use ceases; and
- 4. That securities are provided by the owner to address the removal of the shipping containers to the satisfaction of the Township.

Proposal:

The details of the minor variance application are included in the table below.

Section of	Required	Proposed
By-law		
1. Section 4.24.1 a. and b.	 4.24.1 Shipping Containers in Residential zones a. Shipping containers shall not be permitted in a Residential Zone except on a temporary basis for moving purposes for a period not to exceed 14 days, in which case the shipping container shall be located on the driveway. b. A shipping container used for temporary storage in a Residential Zone shall only be permitted for a period not to exceed 6 months and shall be removed from the lot upon the completion of construction which will be deemed to be the date of the issuance of an occupancy permit. 	Requesting relief of New Comprehensive Zoning By-law #23-2018, as amended, from Section 4.24.1 to allow for shipping containers on the property for a time period to not exceed 1 year.



Figure 1 - Subject Property

Our discussion of this application relative to the four tests under the *Planning Act* is as follows:

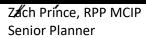
Four Tests	Discussion
roui lests	Discussion

That the requested variance is minor in nature That the intent and purpose of the Zoning By-law is maintained	 The relief requested is to allow for the placement of 3 shipping containers to be applied temporarily for 1 year. Shipping containers are permitted for residential properties subject to the criteria in Section 4.24.1. (i.e. storage for moving purposes and storage for construction purposes). The shipping containers provide additional storage for a home industry located on the abutting property. The Zoning By-law identifies four residential zones – Urban Residential (UR); Hamlet Residential (HR); Rural Residential (RUR); and Resort Residential (RR). The subject lands are zoned as Future Development (FD2) Zone. A dwelling is a permitted use. The zoning by-law provides criteria for accessory structures in Table 4.1, the applicant meets the setback criteria of this zone (ie 2 m side yard setback) Shipping containers are permitted within the zoning by-law subject to the criteria in Section 4.24.1
	 Temporary basis for moving purposes up to 14 days Temporary basis for storage until occupancy of a home up to 6 months Any shipping containers shall not exceed the maximum height of 3 m and the maximum length of 6 m
That the general intent and purpose of the Official Plan is maintained	 The subject lands are designated as Residential in the County Official Plan and the subject lands are within the Urban Centre of Morriston. The property is located within the Paris-Galt Moraine policy area. The County Official Plan allows temporary use by-laws to be passed for uses that are not permitted within the By-law, subject to certain criteria.
That the variance is desirable and appropriate for the development and use of the land, building or structure	 The applicant has indicated that the proposed shipping containers are meant to provide storage for a neighbouring business to provide relief for supply chain management during COVID 19. The proposed use and duration of the shipping containers are not permitted within the zoning by-law. The applicant should consider the submission of a temporary use by-law or re-locating the containers on the neighbouring lands which have permissions for the business the containers are meant to support.

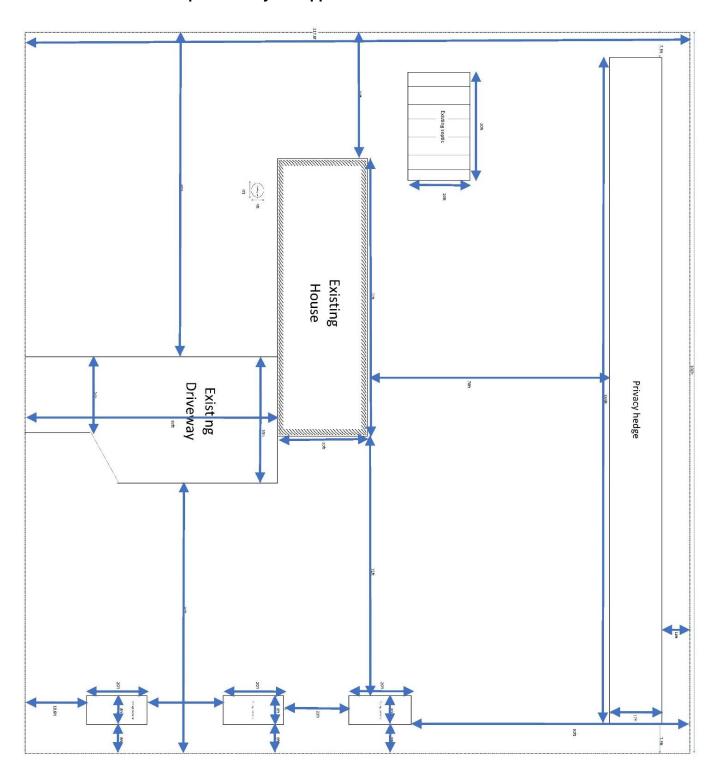
I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application.

Respectfully submitted

County of Wellington Planning and Development Department.



ATTACHMENT 1: Sketch provided by the applicant





THE CORPORATION OF THE TOWNSHIP OF PUSLINCH PLANNING & DEVELOPMENT ADVISORY COMMITTEE JUNE 8, 2021
7:00 PM
VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

MINUTES

1. CALL THE MEETING TO ORDER

The June 8, 2021 Planning & Development Advisory Committee Meeting was held on the above date and called to order at 8:06 p.m. via electronic participation.

2. OPENING REMARKS

The Chair advised that the following portion of the Committee meeting will be for the Committee to review and provide comments on development planning applications.

3. ROLL CALL

MEMBERS IN ATTENDENCE

Councilor John Sepulis, Chair Paul Sadhra Dan Kennedy Dennis O'Connor Deep Basi

MEMBERS ABSENT

None

STAFF IN ATTENDANCE

Lynne Banks, Development and Legislative Coordinator Courtenay Hoytfox, Clerk Jeff Bunn, Deputy Clerk Zachary Prince, Senior Planner, County of Wellington Joanna Salsberg, Planner, County of Wellington

4. **DISCLOSURE OF PECUNIARY INTEREST**

None

5. APPROVAL OF MINUTES

• May 11, 2021

Moved by: Dan Kennedy Seconded by: Paul Sadhra

That the Minutes of the Planning & Development Advisory Committee Meeting held Tuesday, May 11, 2021, be adopted.

CARRIED

6. <u>APPLICATION FOR SITE PLAN URBAN DESIGN REVIEW</u>

None

7. ZONING BY-LAW AMENDMENT

None

8. LAND DIVISION

8(a) Severance Application B24-21 (D10-BOR) – Jeffrey Born and Vicki Dickson – Part Lot 15, Concession 10, municipally known as 4614 Concession 11, Township of Puslinch.

Proposed severance is 4039.3 square meters with 46.37 meters frontage (Part 1 on sketch), existing paddock area for proposed rural residential use.



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH PLANNING & DEVELOPMENT ADVISORY COMMITTEE JUNE 8, 2021 7:00 PM

VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

Retained parcel is 22.07 hectares with 109.85 meters frontage, existing and proposed residential land agricultural use with existing dwelling and storage building with 5 animal stalls.

- Nancy Shoemaker, agent for the applicant provided an overview of the application.
- There were no comments or questions from the public.
- There were no comments or questions from the Committee.

The committee supports the application with the **following conditions** imposed:

- 1. That the Owner satisfy all the requirements of the Township of Puslinch, financial and otherwise (including taxes paid in full and Consent Review/Condition Clearance fee) which the Township may deem to be necessary at the time of issuance of the Certificate of Consent for the property and orderly development of the subject lands. Any fees incurred by the Township for the review of this application will be the responsibility of the applicant; and further that the Township of Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
- 2. That the Owner obtain an approved Entrance Permit verifying safe access and site lines on the severed parcel from the Township of Puslinch; and further that the Township file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.

CARRIED

Moved by: Dennis O'Connor Seconded by: Dan Kennedy

Severance Application B31-21 (D10-WEL) – **6580 Wellington Road Inc.** – Part Lot 4, Concession 3, 6580 Wellington Road 34, Township of Puslinch.

Proposed severance is 50 meters frontage x 122 meters = 0.61 hectares, existing agricultural use for proposed rural residential use.

Retained parcel is 21.3 hectares with 100 meters frontage, existing and proposed agricultural use with existing swelling, garage and pool.

- Hailey Keast, agent for the applicant, provided an overview of the application.
- There were no comments or questions from the public.
- Deep Basi asked if there is safe access for a driveway.
- Hailey Keast advised that there is safe entrance.
- There were no further comments or questions from the committee members.

The Committee supports the application with the **following conditions** imposed:

- That the Owner satisfy all the requirements of the Township of Puslinch, financial and
 otherwise (including taxes paid in full and Consent Review/Condition Clearance fee) which the
 Township may deem to be necessary at the time of issuance of the Certificate of Consent for
 the property and orderly development of the subject lands; and further that the Township of
 Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter
 of clearance of this condition.
- 2. That the Owner obtain an approved Entrance Permit verifying safe access and site lines on the retained parcel from the Township of Puslinch; and further that the Township file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
- 3. That the owner apply for and receive, zoning compliance for the retained parcel.



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH PLANNING & DEVELOPMENT ADVISORY COMMITTEE JUNE 8, 2021 7:00 PM

VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

CARRIED

Moved by: Deep Basi Seconded by: Dennis O'Connor

8(c). Severance Application B37-21 (D10-HAM) – **William & Lisa Hamilton** – Part Lot 13, Concession 9, known municipally as 4674 Watson Road S., Township of Puslinch.

Proposed severance is 0.9 hectares with 100 meters frontage (severed 1 on sketch), vacant land for proposed rural residential use.

Retained parcel is 11.7 hectares with 168 meters frontage, existing and proposed agricultural use (retained 1 on sketch).

- Hailey Keast, agent for the applicant, provided an overview of the application.
- There were no comments or questions from the public.
- John Sepulis asked what type of MDS will the future minor variance will be.
- Hailey Keast advised that it will be for a reduced MDS.
- There were no further comments or questions from the committee members.

The Committee supports the application with the **following conditions** imposed:

- 1. That the Owner satisfy all the requirements of the Township of Puslinch, financial and otherwise (including taxes paid in full and Consent Review/Condition Clearance fee) which the Township may deem to be necessary at the time of issuance of the Certificate of Consent for the property and orderly development of the subject lands. Any fees incurred by the Township for the review of this application will be the responsibility of the applicant; and further that the Township of Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
- 2. That the Owner obtain an approved Entrance Permit verifying safe access and site lines on the severed parcel from the Township of Puslinch; and further that the Township file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
- 3. That the Owner apply for, and receive approval of a minor variance for the retained parcel for reduced MDS.

CARRIED

Moved by: Dan Kennedy Seconded by: Deep Basi

8(d). Severance Application B38-21 (D10-HAM) – William & Lisa Hamilton – Part Lot 13, Concession 9, known municipally as 4674 Watson Road South, Township of Puslinch.

Proposed lot line adjustment is 11.7 hectares with 168 meters frontage (severed 2 on sketch), vacant land to be added to abutting agricultural parcel – William, Lisa, Nancy Hamilton & Estate of William Hamilton.

Retained parcel is 78 meters frontage x 111 meters = 0.9 hectares, existing and proposed rural residential use with existing dwelling, garage and shed (retained 2 on sketch).

- Hailey Keast, agent for the applicant, provided an overview of the application.
- There were no comments or questions from the public.
- There were no questions or comments from the Committee.

The Committee supports the application with the **following conditions** imposed:

1. That the Owner satisfy all the requirements of the Township of Puslinch, financial and otherwise



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH PLANNING & DEVELOPMENT ADVISORY COMMITTEE JUNE 8, 2021 7:00 PM

VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

(including taxes paid in full and Consent Review/Condition Clearance fee) which the Township may deem to be necessary at the time of issuance of the Certificate of Consent for the property and orderly development of the subject lands. Any fees incurred by the Township for the review of this application will be the responsibility of the applicant; and further that the Township of Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.

CARRIED

Moved by: Dennis O'Connor Seconded by: Deep Basi

7. OTHER MATTERS

None

8. CLOSED MEETING

None

9. **NEXT MEETING**

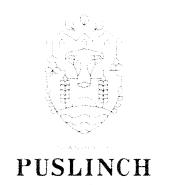
• Next Regular Meeting is Tuesday, July 13, 2021 @ 7:00 p.m.

10. ADJOURNMENT

Moved by: Deep Basi Seconded by: Paul Sadhra

That the Planning & Development Advisory Committee is adjourned at 8:24 p.m.

CARRIED



Township of Puslinch 7404 Wellington Road #34 Puslinch, ON N0B 2J0 T: (519) 763 – 1226 F: (519) 763 – 5846

Application for Site Plan Approval

General Information: Applicant Information: Dr. Manu and Pooja Kaushik Registered Owner(s): Address/legal description: 10-32 TELFER GLEN ST. PART OF BLOCK 42, REGISTERED PLAN 802; EXCEPT PART 1 **Email Address:** Manu Kaushik / Pooja Kaushik Telephone Number: Kenneth Roy - Edge Architects Ltd. Applicant (Agent): Address: Email Address: Telephone Number: Name, address, and phone number of all the persons having any mortgages, charges, or encumbrances on the property: Dr. Manu Kaushik, Dr. Pooja Kaushik, Send correspondence to: Owner: 🗸 Agent: Other:

Property Description:

Municipal	Address: 10-	32 IE	LFER GLEN	S1.	
Concession	on:		Lot: 42	 	
Registere	d Plan Number	·:	802		
Area:	2.0194	ha	4.99	ac	
Depth:	189.768	m	622.60	ft.	
Frontage:	115.96	m	380.44	ft.	
County	Official Plan):			
Existing C	ounty Official F	Plan des	signation(s):		
Proposed	County Officia	l Plan d	esignation(s) (if a	applicable):	
			., ., ., .		
Zoning:					
Existing Z	Zoning:				
Core Mixe	ed Use (CMU)	Zoning	Bylaw No.40-91		
	•				

Proposed Zoning (if applicable):
Core Mixed Use (CMU) Zoning Bylaw No.40-91
Existed and Proposed Land Uses and Buildings:
Land Uses:
Existing use(s) of the subject land:
Vacant Land
Proposed use(s) of the subject land:
Medical Office and Pharmacy
Other Planning Applications:
Is this property subject to other applications pursuant to the Planning Act:
Yes: No: V
If yes, please specify:
Building or Structures:

Provide all the following details for all buildings or structures on the subject land:

	Exis	sting	Proposed			
Type of buildings or structure(s):	N/A	N/A	Medical Office and Pharmacy -	Structural steel and CIP foundation		
Date of Construction:				Spring 2021		

	Existing				Proposed			
Accessibility Building Height:	N/A		N/A		N/A		N/A	
Building Height:	N/A	m	N/A	ft.	4.87	m	15.98	ft.
Number of Floors:		N/A		N/A		1		
Total Floor Area:	N/A	sq.m	N/A	sq.ft	459.9	sq.m	4950	sq.ft
Ground Floor Area:	N/A	sq.m	N/A	sq.ft	459.9	sq.m	4950	sq.ft

Distance from the building/structure to the:

	Existing				Proposed			
Front lot line:	N/A	m	N/A	ft.	26.00	m	85.30 .	ft.
Side lot line:	N/A	m	N/A	ft.	23.03	m	75.56	ft.
Side lot line:	N/A	m	N/A	ft.	83.00	m	272.31	ft.
Rear lot line:	N/A	m	N/A	ft.	135.00	m	442.91	ft.
Total Floor Area:	N/A		N/A		459.9		4950	
Percent of lot coverage:	N/A		N/A		2.3%			
Percentage of Lot Covered by Landscape Area:	100%		100%	100% 93.1%				

	Exi	sting	Prop	osed
Percentage of Lot Covered by Open Work Yard	N/A	, N/A	N/A	, N/A
Percentage of Lot Covered by Outside Storage or Display Area:	N/A	N/A	N/A	N/A
Number of Light Standards and Height:	N/A	N/A	3 Light Poles 3 Wall mount	
Classification of all Buildings Pursuant to OBC s 3.2.2.	N/A	N/A	GROUP D 3.2.2.55	GROUP E 3.2.2.61
Type of Building Materials (i.e. combustible)	N/A	N/A	Non Combustible	Non Combustible
Number of parking spaces:	N/A	N/A	20	
Number of loading spaces:	N/A	N/A	1	

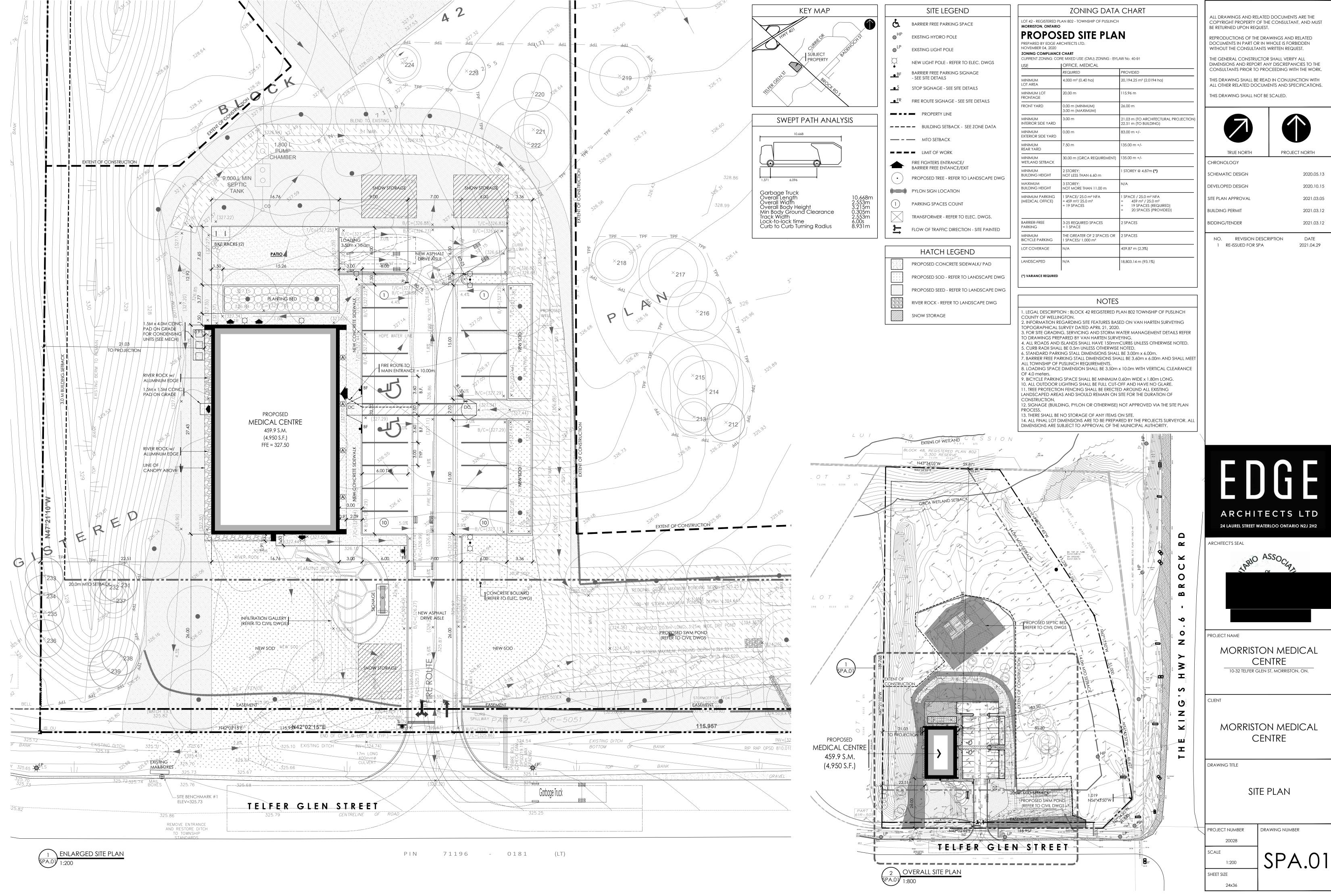
Authorization for Agent/Solicitor to act for Owner:

(If affidavit is signed by an Agent/	Solicitor on Owner's behalf, the Owner's written	
authorization below should be cor	mpleted)	
I (we)	of the	<u>.</u>
of	County/Region of	_ do

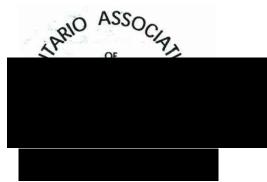
hereby authorize	Edge Architects L	_td.	to ac	ct as my
agent in this appli	cation.			
		Dec	3,202	0
Signature o	of Owner(s)		Date	
Affidavit:				
I (we)	of the	of		
statements contained in this application are true, and I, (we), make this solemn				
declaration conscientiously believing it to be true, and knowing that it is of the same				
force and effect as	if made under oath and l	by virtue of the CANA	DA EVIDEN	CE ACT.v
DECLARED before	e me at the	of		
in the County/Regi	on of	this	day of	_, 20
Signature of Owner or Authorized Solicitor or Authorized Agent Date				
For Office use	only:			
Application fee rec	eived by the municipality:			
 Signature		 Date		

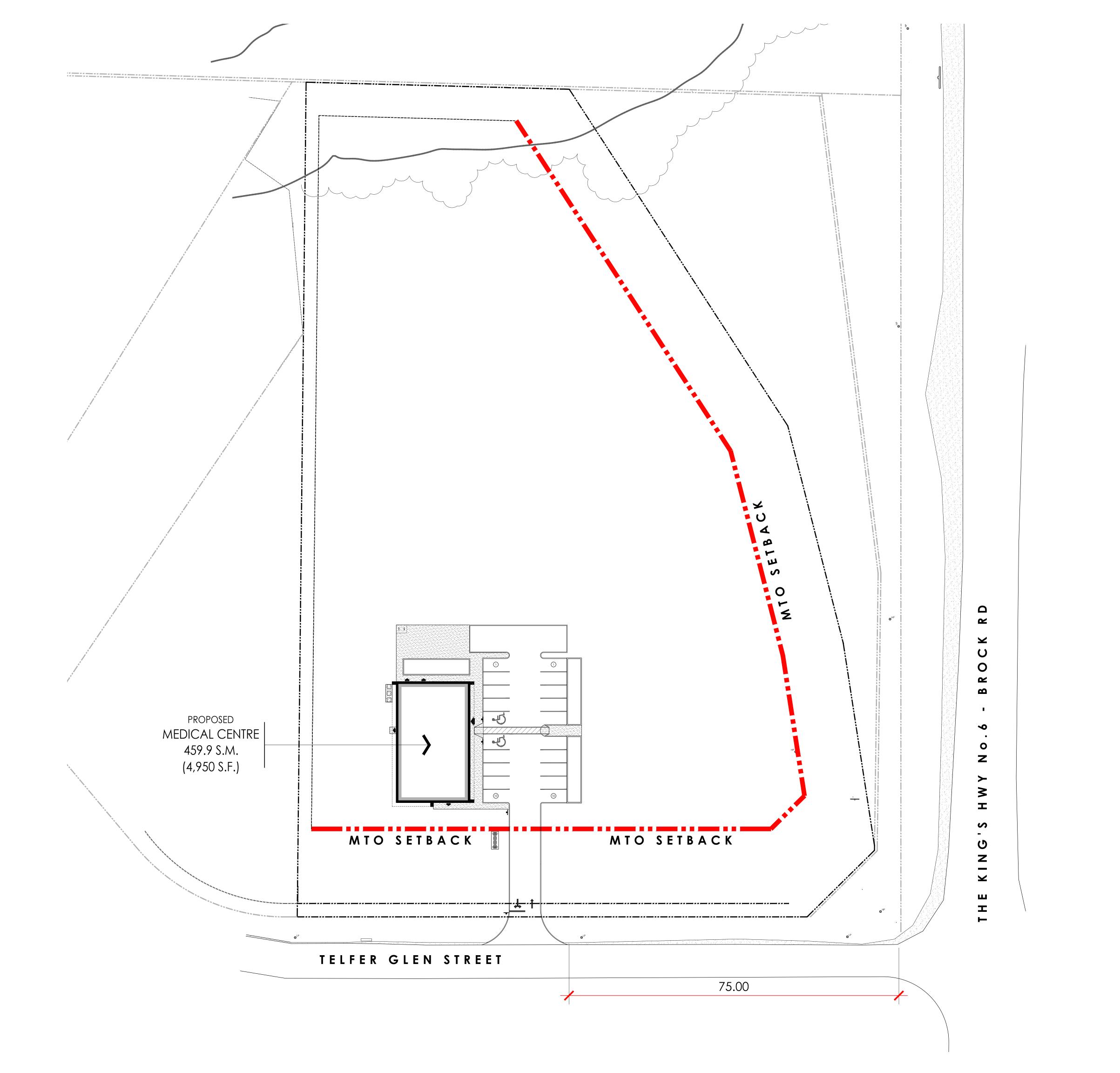
Personal information on this form is collected under the authority of the Municipal Freedom of Information and Protection of Privacy Act and will be used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

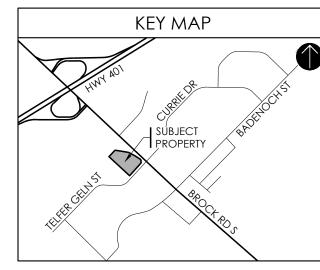
The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.



2020.05.13 2020.10.15 2021.03.05 2021.03.12 2021.03.12







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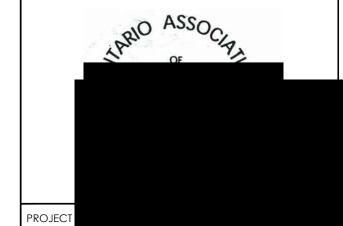




CHRONOLOGY SCHEMATIC DESIGN 2020.05.13 DEVELOPED DESIGN 2020.10.15 SITE PLAN APPROVAL 2021.03.05 BUILDING PERMIT BIDDING/TENDER 2021.03.12

DATE NO. REVISION DESCRIPTION 1 RE-ISSUED FOR SPA 2021.04.29





MORRISTON MEDICAL
CENTRE
10-32 TELFER GLEN ST, MORRISTON, ON.

MORRISTON MEDICAL CENTRE

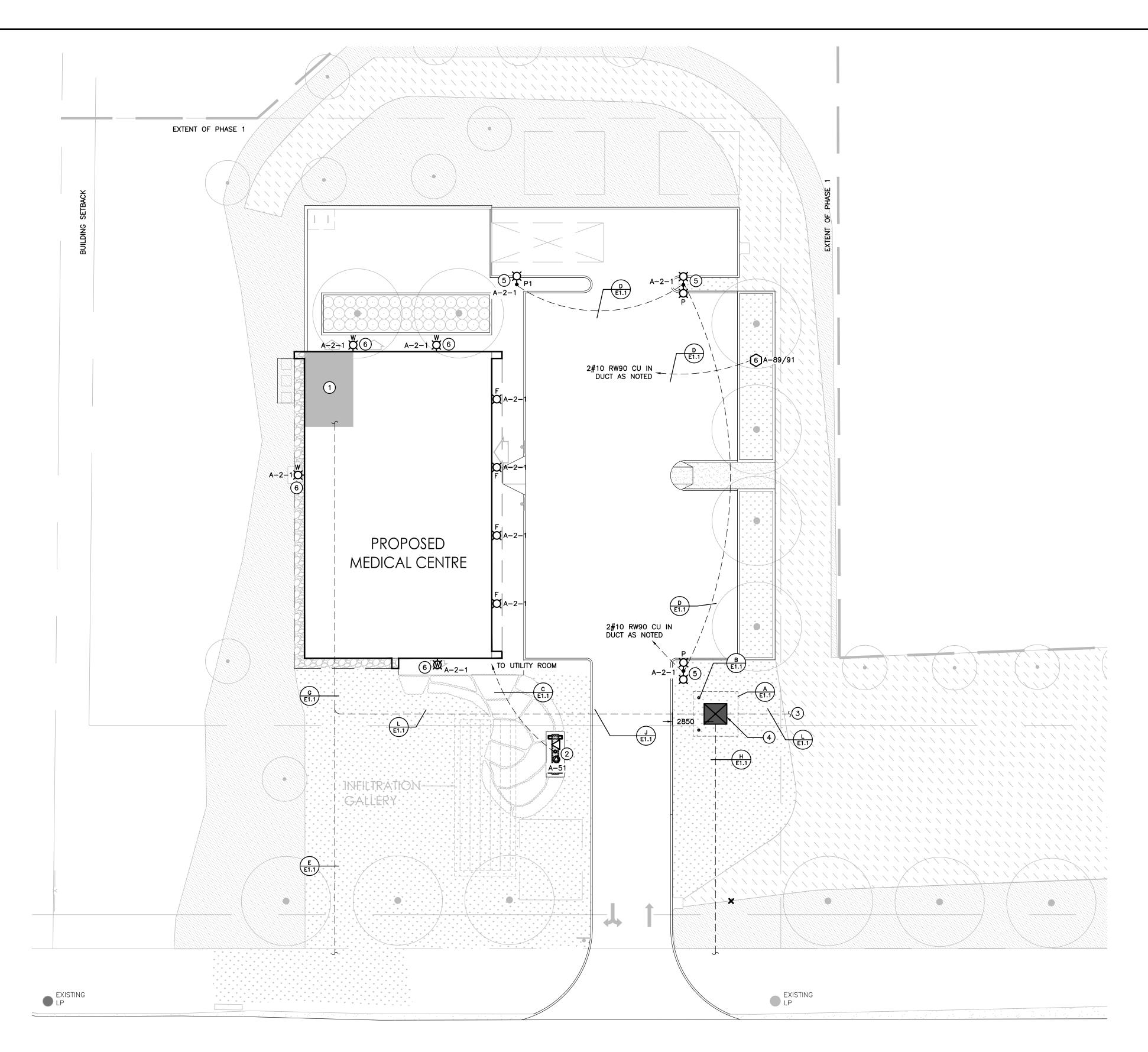
DRAWING TITLE

SITE PLAN - MTO SETBACK

PROJECT NUMBER DRAWING NUMBER

SHEET SIZE

SP-SK



TELFER GLEN STREET

SITE PLAN SCALE: 1:200 ELECTRICAL SYMBOLS NOTE: ALL SYMBOLS MAY NOT BE USED POWER COMMUNICATIONS LIGHTING WALL MOUNTED RECEPTACLE SINGLE COMPUTER OUTLET ROUGH-IN LIGHT FIXTURE UNLESS OTHERWISE NOTED C/W 1" (15A-120V) TYPE AS INDICATED (27mm) C TO HANGER SYSTÉM IN NEAREST CORRIDOR CEILING SPACE. WALL MOUNTED T-SLOT RECEPTACLE COMBINATION EMERGENCY/EXIT TYPE ROUGHED IN OUTLET C/W BLANK (20A-120V) AS INDICATED FACE PLATE BY THE ONSITE ELECTRICAL CONTRACTOR. T-SLOT RECEPTACLE MTD. ABOVE CEILING OR WALL MOUNTED LIGHT COUNTER (20A-120V) FIXTURE TYPE AS INDICATED OMBINATION SINGLE VOICE/ SINGLE RECEPTACLE MTD. ABOVE COUNTER COMPUTER OUTLET ROUGH-IN UNLESS POLE MOUNTED LIGHT FIXTURE S=SPLIT (15A-120V) OTHERWISE NOTED C/W 1" (27mm) O HANGER SYSTEM IN NEAREST WALL MOUNTED EXIT LIGHT SHADING CORRIDOR CEILING SPACE. ROUGHED DIRECT CONNECTION INDICATES FACE IN OUTLET C/W BLANK FACE PLATE BY THE ONSÍTE ELECTRICAL CEILING MOUNTED EXIT LIGHT ARROWS DENOTE DIRECTION SHADING CONTRACTOR. JB JUNCTION BOX INDICATES FACE DUAL HANGER SYSTEM (REFER TO SINGLE OR TWIN EMERGENCY PANEL AS INDICATED **©** LIGHTING FIXTURE DETAILS) BATTERY UNIT WITH INTEGRAL UNFUSED DISCONNECT GENERAL EMERGENCY FIXTURE (EM-X INDICATES BATTERY UNIT TYPE, DC-X INDICATES DC CIRCUIT, AND X-X INDICATES AC SOURCE GROUND FAULT TIME SWITCH SINGLE POLE SWITCH (3=3 WAY, SURFACE RACEWAY C/W DEVICES AS 4=4 WAY, P=PILOT LIGHT, K=KEYED, NOTE INDICATOR NOTED (REFER TO SPECIFICATION DM=DIMMER, M=MOTOR RATED) lacksquareOCCUPANCY SENSOR (PASSIVE) PUSH-BUTTON STATION MECHANICAL ITEM NO. DIGITAL CEILING MOUNTED MOTION ELECTRIC HEATER CONTACTOR THERMOSTAT (RA=REVERSE ACTING) DIGITAL ROOM CONTROLLER FIRE ALARM (HONEYWELL CAT. #T6051 SERIES) STANDARD CIRCUITING LABELING SMOKE DETECTOR (RL=RELAY BASE) ELECTRIC HEAT BASEBOARD ELECTRIC HEATER (TYPE PULLSTATION AS INDICATED) POWER PANEL LABEL ——— CIRCUIT INDICATION —— FAN FORCED ELECTRIC HEATER COMBINATION HORN/STROBE SWITCH LEG (IF APPLICABLE) ----(TYPE AS INDICATED) (A, B = SIGNAL CIRCUIT)

ELECTRICAL SERVICE—SCOPE OF WORK

HYDRO ONE WILL PROVIDE THE FOLLOWING WORK. COST WILL BE PART OF THE ALLOWANCE FOR UTILITY WORK AS LISTED IN THE SPECIFICATIONS:

- 1 SUPPLY AND INSTALLATION OF PRIMARY FUSING AND PRIMARY CONDUCTORS.
- 2 SUPPLY AND INSTALLATION OF PAD MOUNT TRANSFORMER ONTO CUSTOMER SUPPLIED CONCRETE BASE.
- 3 CONNECTION OF PRIMARY AND SECONDARY CONDUCTORS AT PAD MOUNT TRANSFORMER.
- 4 SUPPLY AND INSTALLATION OF METERING INSTRUMENTATION.

THE ELECTRICAL CONTRACTOR FOR THE BUILDING OWNER (CUSTOMER) SHALL BE RESPONSIBLE FOR THE FOLLOWING:

- 1 SUPPLY AND INSTALLATION OF PRIMARY DUCTBANK FROM TRANSFORMER TO PROPERTY LINE AS SHOWN ON PLANS.
- 2 SUPPLY AND INSTALLATION OF SECONDARY DUCTBANK FROM TRANSFORMER TO MAIN SWITCHBOARD.
- 3 SUPPLY AND INSTALLATION OF PAD MOUNT TRANSFORMER CONCRETE FOUNDATION AND
- 4 SUPPLY AND INSTALLATION OF SECONDARY CABLES AT MAIN SWITCHBOARD AND TRANSFORMER LUGS. PROVIDE 3.0m SPARE CONDUCTORS AT TRANSFORMER BASE.
- 5 SUPPLY AND INSTALLATION OF METER CABINET WITH CONDUIT FROM MAIN SWITCHBOARD. PROVIDE CONDUIT FROM METER CABINET TO EXTERIOR MOUNTED PVC
- BOX FOR WIRELESS METERING.

 6 INSTALLATION OF SERVICE GROUND AT SWITCHBOARD PER ELECTRICAL CODE AND AS
- SHOWN. PROVIDE COORDINATION STUDY PER SPECIFICATIONS.

 ALL WORK SHALL MEET UTILITY REQUIREMENTS & INSPECTION. ELECTRICAL

CONTRACTOR TO CO-ORDINATE WITH UTILITY PRIOR TO PROCEEDING.

SPECIFIC NOTES

- 1 INDICATES LOCATION OF UTILITY ROOM GROUND FLOOR.
- 2 LOCATION OF PYLON SIGN. PROVIDE DUCTS FROM INTERNAL SERVICE POINT(S)/CONTACTOR IN ELECTRICAL ROOM AND DATA CABLE DUCT FROM LAN ROOM CONFIRM EXACT LOCATION WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGH—IN.
- 3 INDICATED DUCTBANK IS FOR FUTURE BUILDING FEED. TERMINATE DUCTBANK AT EXTENT OF PHASE I MATCH LINE.
- INDICATES LOCATION OF PAD MOUNTED TRANSFORMER.
- indicates parking lot fixture mounted on concrete pole base and set back min. 1000mm from curb or sidewalk (where applicable). Refer to detail b/e1.0.
- INDICATES WALL MOUNTED FIXTURE TO BE MOUNTED AT APPROXIMATELY 2700mm AFF. COORDINATE EXACT LOCATION WITH ARCHITECTURAL ELEVATIONS.
- PRIOR TO THIS POINT, THE SECONDARY DUCTBANK SHALL BE ENCASED IN CONCRETE PER DETAIL J/E101. FROM THIS POINT ON, CONCRETE ENCASEMENT FOR THE SECONDARY DUCTBANK IS NOT REQUIRED PER DETAIL L/E101.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing.



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CHEMATIC DESIGN

DEVELOPED DESIGN

BUILDING PERMIT

SITE PLAN APPROVAL

SSUED FOR:

BIDDING/TENDER

NO. REVISION DESCRIPTION DATE

1 ISSUED FOR PERMIT/TENDER 2021.03.05





OALAUPEL STREET WATERLOO ONTARIO NOLI 2H2



PROJECT NAME

MORRISTON MEDICAL CENTRE

10-32 TELFER GLEN ST

CLIENT

MORRISTON MEDICAL CENTRE

DRAWING TITLE

ELECTRICAL SITE PLAN AND DETAILS

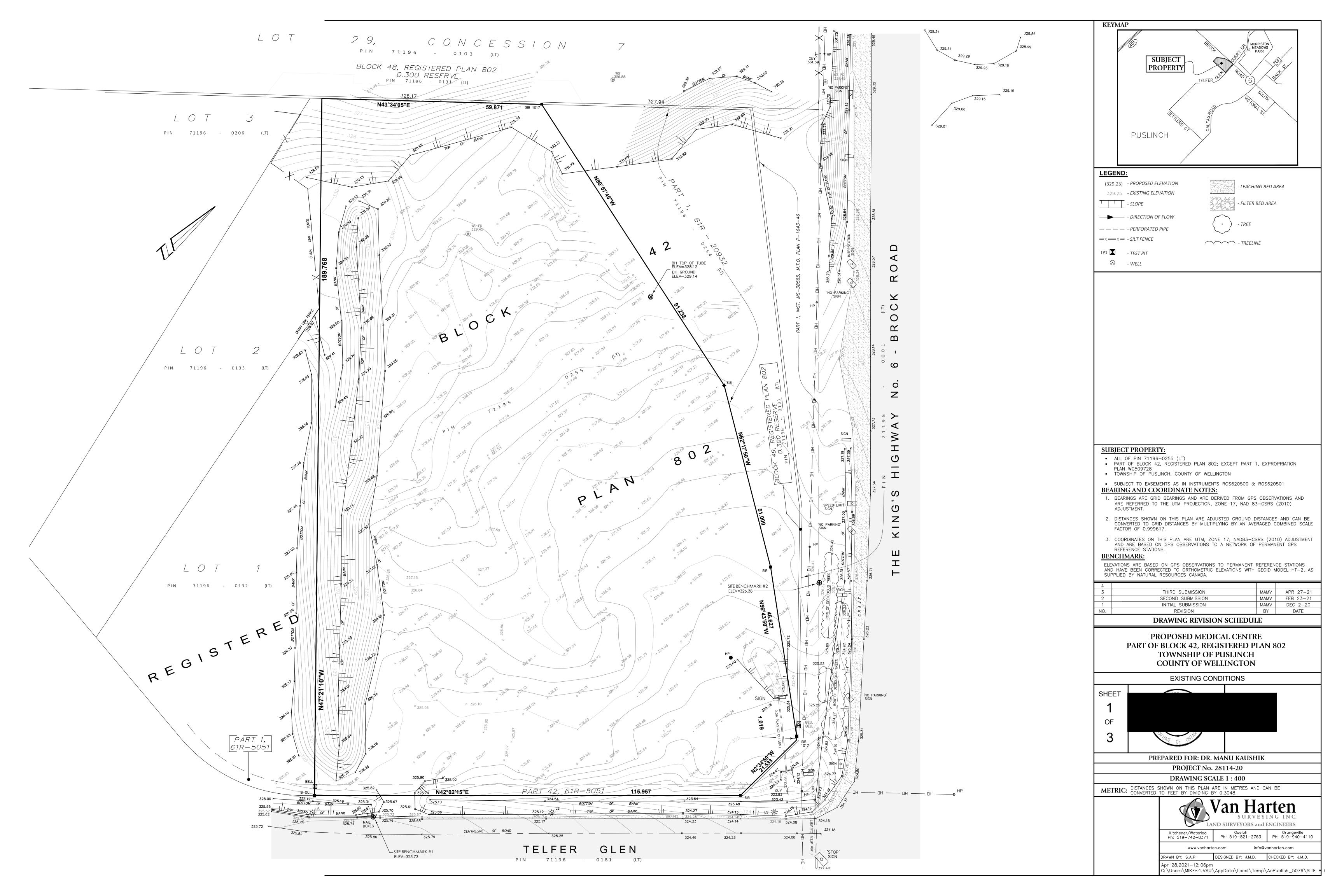
PROJECT NUMBER 20028

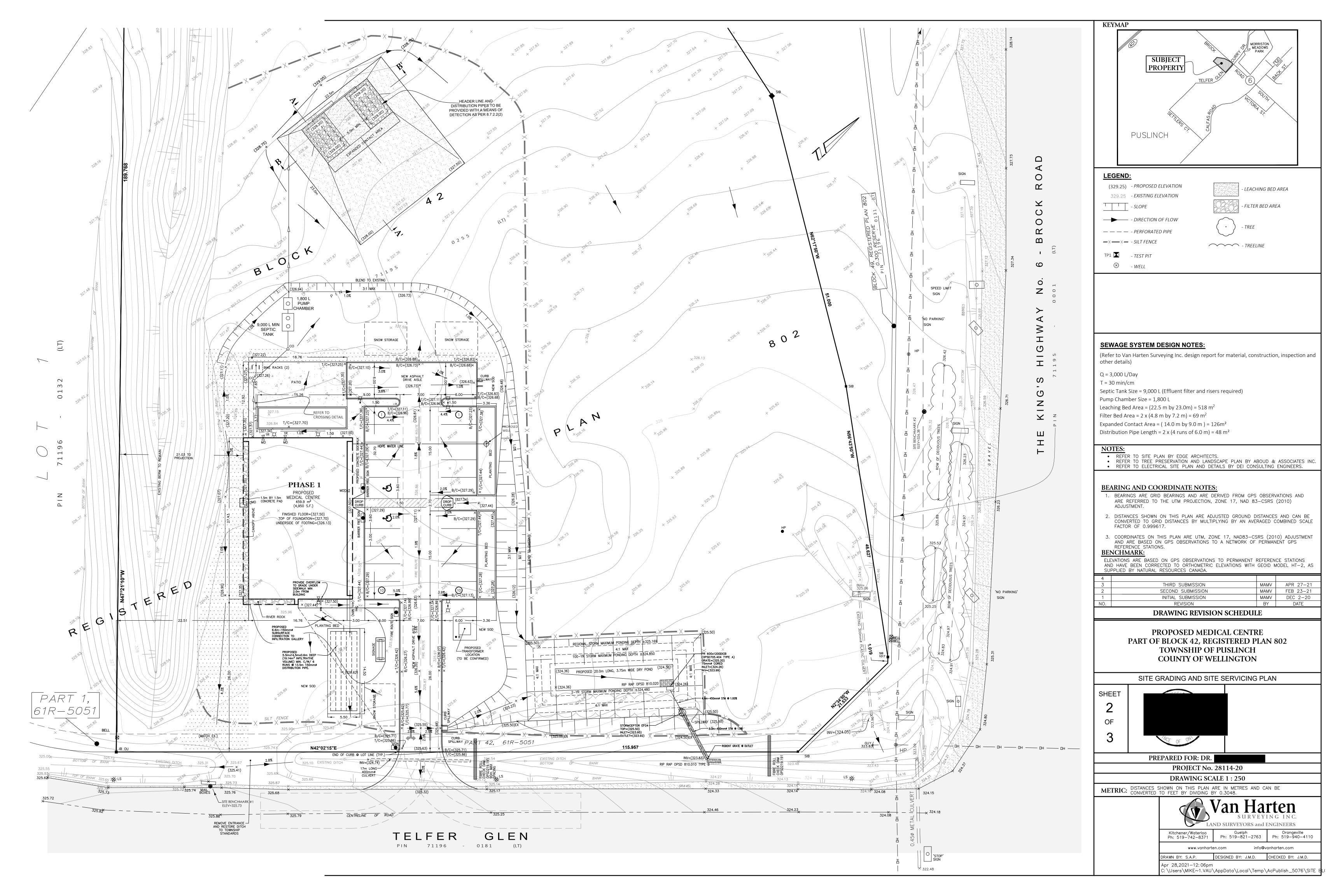
SCALE

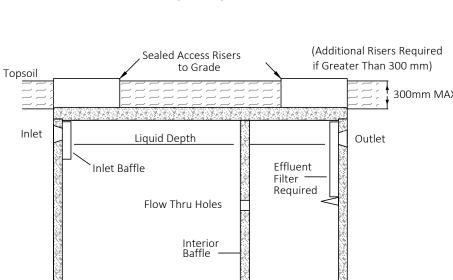
DRAWING NUMBER

AS SHOWN

HEET SIZE 24x36







SEPTIC TANK DETAIL

(N.T.S)

SWALE DETAIL (N.T.S.) 0.60 MIN DEPTH MAX SIDE SLOPE TOPSOIL & SOD/SEED **FULL WIDTH** SOD TO BE STAKED UNTIL STABILIZED

GENERAL NOTES

- I. IT IS THE CONTRACTORS RESPONSIBILITY TO SCHEDULE ANY REQUIRED INSPECTIONS. 2. THE OWNER SHALL BE RESPONSIBLE FOR ALL DITCHING, REGRADING AND RESTORATION WORK WITHIN THE ROAD ALLOWANCE AND TO THE SATISFACTION OF THE TOWNSHIP AND COUNTY, AS REQUIRED TO ACCOMMODATE THE PROPOSED DEVELOPMENT
- 4. ALL EXTERIOR LIGHTING SHALL BE FULL CUT-OFF, DIRECTED ONTO THE SITE AND SHALL NOT INFRINGE UPON THE ADJACENT PROPERTIES. 5. THE OWNER IS RESPONSIBLE FOR SATISFYING HIMSELF THAT THERE IS ADEQUATE FIRE
- PROTECTION AVAILABLE FOR HIS PURPOSES.
- 3. ALL ENTRANCE WORK TO MEET THE TOWNSHIP'S AND COUNTY'S SATISFACTION. '. REFER TO GEOTECHNICAL REPORT PREPARED BY CMT ENGINEERING REGARDING PROPOSED PAVEMENT DESIGN.
- 8. A GEOTECHNICAL CONSULTANT SHOULD BE RETAINED TO CARRY OUT NECESSARY INSPECTIONS AND TESTING DURING PARKING LOT CONSTRUCTION TO ENSURE PLACEMENT OF PROPER MATERIALS AND ADEQUATE COMPACTION.
- 9. SEDIMENT AND EROSION CONTROLS TO BE PROVIDED DURING CONSTRUCTION. 10. THE BOULEVARD AREA WITHIN THE ROAD ALLOWANCE THAT IS NOT COVERED WITH ASPHALT OR GRAVEL SHALL BE FINE GRADED AND COVERED WITH A MINIMUM OF 150mn
- OF TOPSOIL AND SEEDED OR SODDED. 11. ALL PARKING GRANULAR MATERIAL SHALL BE COMPACTED TO 100% AND OTHER MISCELLANEOUS FILL MATERIAL BROUGHT TO THE SITE SHALL BE COMPACTED TO 95%
- PROCTOR (UNLESS OTHERWISE PRESCRIBED BY GEOTECHNICAL INVESTIGATION). 12. FILL MATERIAL SHALL BE FREE OF DEBRIS INCLUDING LARGE ROCKS AND STONES. EXCESS DEBRIS AND MATERIAL SHALL BE REMOVED FROM THE SITE.
- 13. ALL DISTURBED LANDSCAPED AREAS WITHIN THE MUNICIPAL RIGHT-OF-WAY SHALL BE PROVIDED WITH A MINIMUM OF 200mm OF TOPSOIL AND SODDED. 14. ALL OTHER DISTURBED LANDSCAPE AREAS SHALL BE PROVIDED WITH 150mm TOPSOIL

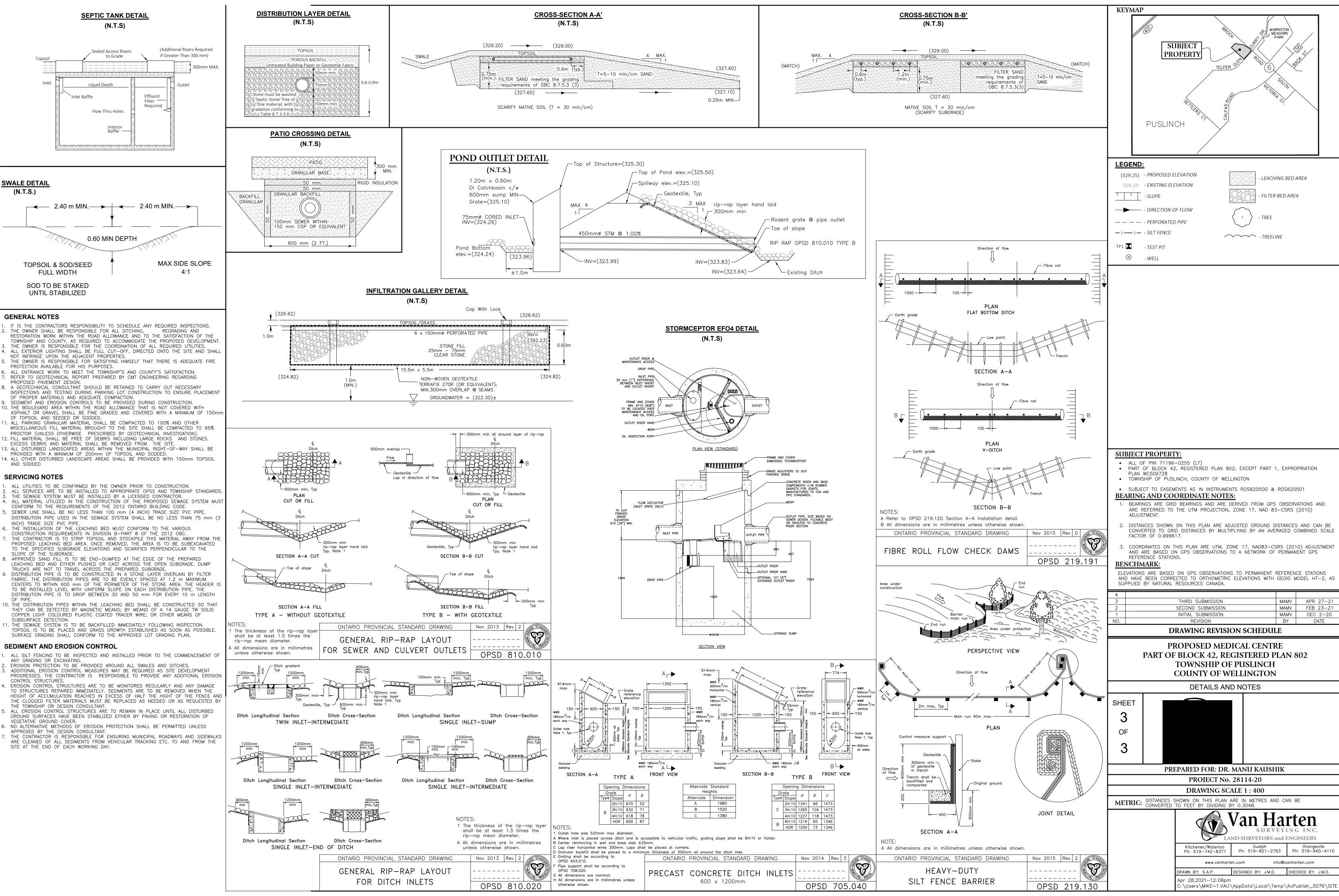
SERVICING NOTES

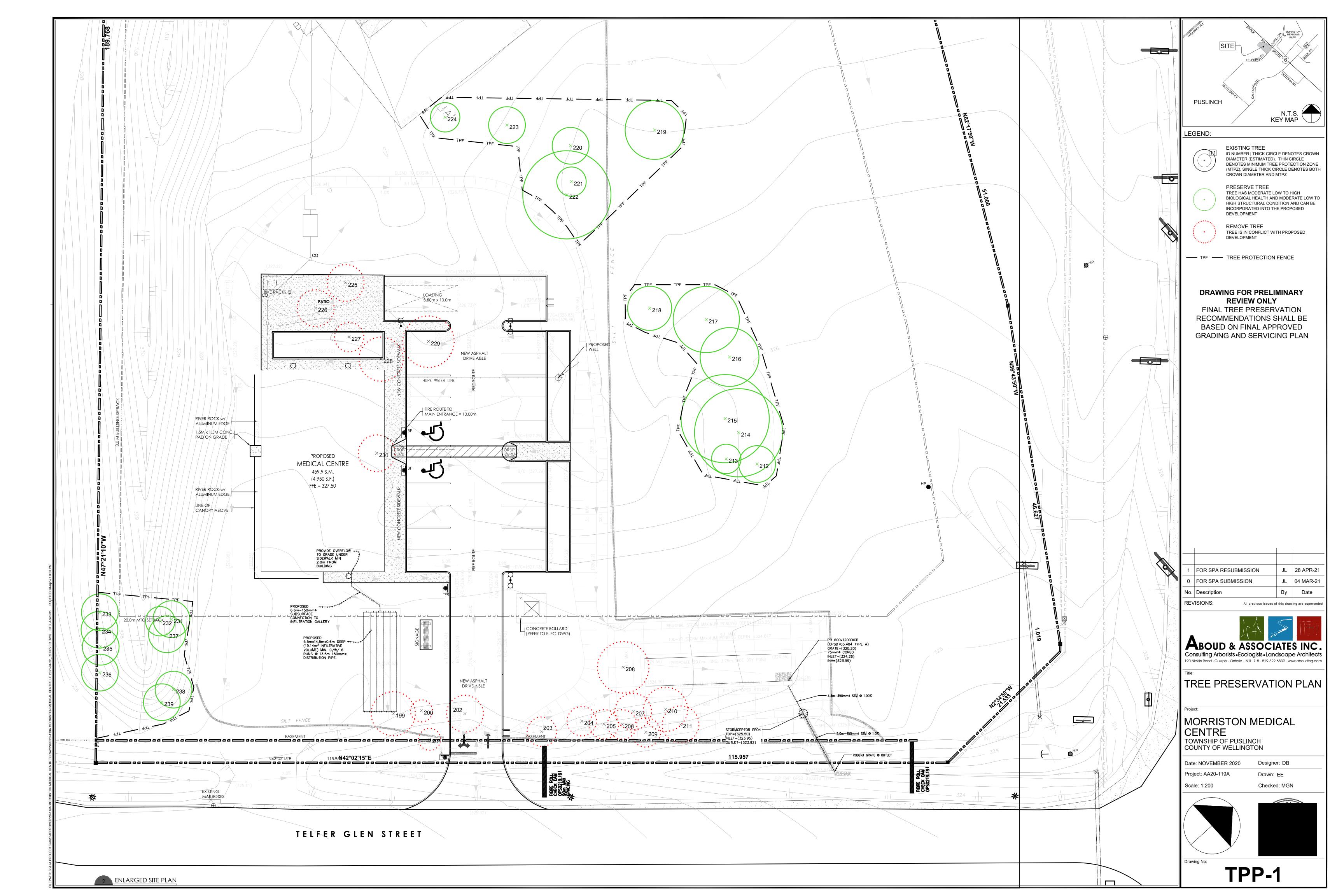
AND SODDED

- 1. ALL UTILITIES TO BE CONFIRMED BY THE OWNER PRIOR TO CONSTRUCTION. ALL SERVICES ARE TO BE INSTALLED TO APPROPRIATE OPSS AND TOWNSHIP STANDARDS THE SEWAGE SYSTEM MUST BE INSTALLED BY A LICENSED CONTRACTOR. 4. ALL MATERIAL UTILIZED IN THE CONSTRUCTION OF THE PROPOSED SEWAGE SYSTEM MUS
- CONFORM TO THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE. 5. SEWER LINE SHALL BE NO LESS THAN 100 mm (4 INCH) TRADE SIZE PVC PIPE. DISTRIBUTION PIPE USED IN THE SEWAGE SYSTEM SHALL BE NO LESS THAN 75 mm (3 INCH) TRADE SIZE PVC PIPE.
- 6. THE INSTALLATION OF THE LEACHING BED MUST CONFORM TO THE VARIOUS CONSTRUCTION REQUIREMENTS IN DIVISION B-PART 8 OF THE 2012 OBC. 7. THE CONTRACTOR IS TO STRIP TOPSOIL AND STOCKPILE THIS MATERIAL AWAY FROM THE PROPOSED LEACHING BED AREA. ONCE REMOVED, THE AREA IS TO BE SUBEXCAVATED
- TO THE SPECIFIED SUBGRADE ELEVATIONS AND SCARIFIED PERPENDICULAR TO THE SLOPE OF THE SUBGRADE 8. APPROVED SAND FILL IS TO BE END-DUMPED AT THE EDGE OF THE PREPARED LEACHING BED AND EITHER PUSHED OR CAST ACROSS THE OPEN SUBGRADE. DUMP
- TRUCKS ARE NOT TO TRAVEL ACROSS THE PREPARED SUBGRADE. 9. DISTRIBUTION PIPE IS TO BE CONSTRUCTED IN A STONE LAYER OVERLAIN BY FILTER FABRIC. THE DISTRIBUTION PIPES ARE TO BE EVENLY SPACED AT 1.2 m MAXIMUM CENTERS TO WITHIN 600 mm OF THE PERIMETER OF THE STONE AREA. THE HEADER I TO BE INSTALLED LEVEL WITH UNIFORM SLOPE ON EACH DISTRIBUTION PIPE. THE DISTRIBUTION PIPE IS TO DROP BETWEEN 30 AND 50 mm FOR EVERY 10 m LENGTH
- 10. THE DISTRIBUTION PIPES WITHIN THE LEACHING BED SHALL BE CONSTRUCTED SO THAT THEY CAN BE DETECTED BY MAGNETIC MEANS; BY MEANS OF A 14 GAUGE TW SOLID COPPER LIGHT COLOURED PLASTIC COATED TRACER WIRE; OR OTHER MEANS OF SUBSURFACE DETECTION.
- 11. THE SEWAGE SYSTEM IS TO BE BACKFILLED IMMEDIATELY FOLLOWING INSPECTION. TOPSOIL IS TO BE PLACED AND GRASS GROWTH ESTABLISHED AS SOON AS POSSIBLE. SURFACE GRADING SHALL CONFORM TO THE APPROVED LOT GRADING PLAN.

SEDIMENT AND EROSION CONTROL

- 1. ALL SILT FENCING TO BE INSPECTED AND INSTALLED PRIOR TO THE COMMENCEMENT C
- ANY GRADING OR EXCAVATING. EROSION PROTECTION TO BE PROVIDED AROUND ALL SWALES AND DITCHES. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ANY ADDITIONAL EROSION CONTROL STRUCTURES
- 4. EROSION CONTROL STRUCTURES ARE TO BE MONITORED REGULARLY AND ANY DAMAGE TO STRUCTURES REPAIRED IMMEDIATELY. SEDIMENTS ARE TO BE REMOVED WHEN THE HEIGHT OF ACCUMULATION REACHES IN EXCESS OF HALF THE HIGHT OF THE FENCE AND THE CLOGGED FILTER MATERIALS MUST BE REPLACED AS NEEDED OR AS REQUESTED BY THE TOWNSHIP OR DESIGN CONSULTANT.
- 5. ALL EROSION CONTROL STRUCTURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED EITHER BY PAVING OR RESTORATION OF
- VEGETATIVE GROUND COVER. 6. NO ALTERNATIVE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS
- APPROVED BY THE DESIGN CONSULTANT. 7. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING MUNICIPAL ROADWAYS AND SIDEWALKS ARE CLEANED OF ALL SEDIMENTS FROM VEHICULAR TRACKING ETC. TO AND FROM THE SITE AT THE END OF EACH WORKING DAY.





Tree No.	Tree Species	DBH (cm) 1, 2	Minimum Tree Protection Zone (m) (from outer trunk of tree) 3	Crown Reserve est. (m)	Biological Health (H, M, L)	Structural Condition (H, M, L)	Overall Condition (E, G, F, P, D)	Ownership: Private, Offsite, Municipal, Shared	Rec. Action - Condition: Preserve, Remove	Rec. Action - Development: Preserve, Remove	Final Recommendation : Preserve, Remove	Comments / Observations
199	Pinus sylvestris Scots Pine	21	1.8	6	M(H)	M(H)	Good	P	P	R	RD	
200	Tilia americana Basswood	16 [9,9,7,7]	1.8	3	M(H)	M	Good	Р	Р	R	RD	
201	Picea pungens 'Glauca' Colorado Blue Spruce	12	1.8	3	M(H)	M(H)	Good	P	P	R	RD	
202	Pinus strobus	15	1.8	5	M(H)	M(H)	Good	P	P	R	RD	
203	Eastern White Pine Picea pungens 'Glauca'	12	1.8	4	M(H)	M(H)	Good	Р	P	R	RD	
	Colorado Blue Spruce Picea abies											
204	Norway Spruce Picea abies	15	1.8	4	M(H)	M(H)	Good	Р	Р	R	RD	
205	Norway Spruce	11	1.8	4	M(H)	M(H)	Good	Р	Р	R	RD	
206	Picea pungens 'Glauca' Colorado Blue Spruce	16	1.8	4	M(H)	M(H)	Good	Р	Р	R	RD	
207	Picea abies Norway Spruce	18	1.8	5	M(H)	M(H)	Good	Р	Р	R	RD	
208	Pinus sylvestris Scots Pine	27	1.8	7	M(H)	M(H)	Good	Р	Р	R	RD	
209	Picea pungens 'Glauca' Colorado Blue Spruce	18	1.8	4	M(H)	M(H)	Good	Р	Р	R	RD	
210	Picea abies Norway Spruce	17	1.8	6	M(H)	M(H)	Good	Р	Р	R	RD	
211	Picea pungens 'Glauca' Colorado Blue Spruce	16	1.8	5	M(H)	M(H)	Good	Р	Р	R	RD	
212	Robinia pseudoacacia	13	1.8	5	M	M	Fair	P	P	P	P	
213	Black Locust Populus deltoides	14	1.8	4	M	M(H)	Good	P	P	P	P	
214	Eastern Cottonwood Robinia pseudoacacia	52	3.6	12	M(H)	M(H)	Good	Р	P	P	P	
214	Black Locust Robinia pseudoacacia	30			M(H)	M(H)	Good	P	Р	P	P	
	Black Locust Robinia pseudoacacia		2.4	12								
216	Black Locust Robinia pseudoacacia	17 47	1.8	8	M(H)	M(H)	Good	P	Р	Р	P	
217	Black Locust	[29,28,20,14]	3	9	M(H)	M(H)	Good	Р	Р	Р	P	
218	Salix fragilis Crack Willow	25 [21,10,10]	1.8	6	M	M	Fair	Р	Р	Р	Р	
219	Populus deltoides Eastern Cottonwood	34	2.4	8	M(H)	M(H)	Good	Р	Р	Р	Р	
220	Salix fragilis Crack Willow	22	1.8	5	M(H)	M(H)	Good	Р	Р	Р	Р	
221	Salix fragilis Crack Willow	14	1.8	4	M(H)	M(H)	Good	Р	Р	Р	Р	
222	Salix exigua Sandbar Willow	17 [10,7,7,7,6]	1.8	12	M(H)	M(H)	Good	Р	Р	Р	Р	
223	Populus deltoides Eastern Cottonwood	17	1.8	5	M(H)	M(H)	Good	Р	Р	Р	Р	
224	Salix fragilis Crack Willow	11	1.8	4	M(H)	M(H)	Good	Р	Р	Р	Р	
225	Robinia pseudoacacia Black Locust	15	1.8	5	M(H)	M(H)	Good	Р	Р	R	RD	
226	Juglans nigra Black Walnut	12	1.8	5	M(H)	M(H)	Good	Р	Р	R	RD	
227	Robinia pseudoacacia Black Locust	16 [12,10]	1.8	4	M(H)	M(H)	Good	Р	Р	R	RD	
228	Robinia pseudoacacia	17	1.8	6	M(H)	M(H)	Good	P	Р	R	RD	
229	Robinia pseudoacacia	16	1.8	7	M(H)	M(H)	Good	P	P	R	RD	
230	Black Locust Prunus sp.	11	1.8	5	M(H)	M(H)	Good	P	P	R	RD	
231	Cherry species Acer negundo	11	1.8	5	M(H)	M	Good	P	P	P	P	
	Manitoba Maple Acer negundo							•				
232	Acer negundo Manitoba Maple	11	1.8	4	M(H)	M	Good	Р	Р	Р	P	
233	Pinus sylvestris Scots Pine	16	1.8	5	M	М	Fair	Р	Р	Р	Р	Broken leader
234	Pinus sylvestris Scots Pine	21 [15,15]	1.8	5	М	М	Fair	Р	Р	Р	Р	Codominant stems
235	Pinus sylvestris Scots Pine	18	1.8	5	М	М	Fair	Р	Р	Р	Р	Broken leader
236	Pinus sylvestris Scots Pine	17	1.8	5	М	M(H)	Fair	Р	Р	Р	Р	
237	Acer negundo Manitoba Maple	10	1.8	5	M(H)	M(H)	Good	Р	Р	Р	Р	
238	Acer negundo Manitoba Maple	14 [11,9]	1.8	5	M(H)	M(H)	Good	Р	Р	Р	Р	
239	Acer negundo Manitoba Maple	11	1.8	5	M(H)	M(H)	Good	Р	Р	Р	Р	
			1	l	Priv	rate (On Site) Trees		41				
					Priv	vate (Off Site) Trees		0				
	Municipal Trees Shared Trees						0					
	Snared Trees Subtotal						41	I				
					serve Tree Based or				41			
				Re	move Tree Based or				0			
				Preserve/Transpla	nt Tree Based on De	Subtotal evelopment Impacts			41	22		
					ve Tree Based on De					19		
						Subtotal			<u> </u>	41		
						dation: Preserve (P) ation: Transplant (T)					22	
						dation: Remove (R)					0 19	
						Subtotal					41	

1. DBH (Diameter at breast height): Measurement of tree stem diameter at 1.4 meters above ground.

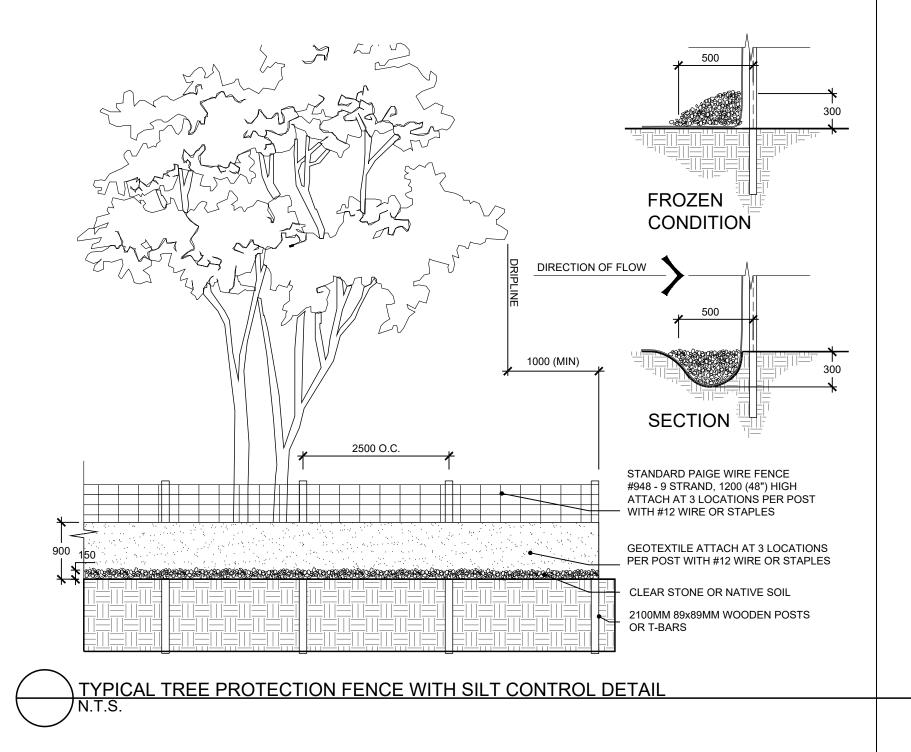
2. [] Denotes DBH's of Each Stem of Tree with Multiple Stems

3. Tree Protection Zones, Specifications for Trees (SS12A) City of Burlington. February, 2013.

Removal of trees owned by others (e.g. private off-site, municipal or shared/boundary trees) require approval from the owner.

TREE MANAGEMENT NOTES

- 1. Tree cutting to be limited to a maximum of 15m from dwelling and septic system.
- 2. Tree cutting allowed for single lane driveway on severed portion and for altered drive on retained portion. 3. Tree protection fence with silt control to be installed as shown on detail at locations shown and inspected prior to commencement of any site disturbance.
- 4. Do not attach tree protection fence to trees.
- 5. Prune damaged limbs and roots in accordance with current International Society for Arboriculture standards.
- 6. No construction activity, grade changes, excavation, refueling, dumping, storage of materials or any disturbance to occur within tree protection zones.
- 7. Tree protection fence with silt control to be maintained in accordance with sediment and erosion control notes and kept in place until completion of construction.



GENERAL TREE NOTES

- 1. Base information sources:
- 1.1. Site Plan prepared by Edge Architects, received February 26, 2021.
- 1.2. Topographic and legal survey completed by Van Harten Surveying Inc. dated April 21, 2020. 1.3. Tree inventory and assessment conducted by Aboud & Associates Inc. September 24, 2020. Tree locations estimated in the field by Aboud & Associates Inc. using aerial imagery.
- 2. All arboricultural work performed on trees such as pruning of branches and roots shall be conducted by an ISA Certified Arborist. 3. Prune and mitigate limbs and roots damaged by construction work in accordance with ANSI A300 (Part 1) - 2008 Pruning and the Best Management Practices companion publication (revised 2008).
- 4. Tree Protection Fence to be erected prior to the commencement of any construction or grading, and maintained throughout the duration of the work. 5. Tree Protection Zone is delimited by Tree Protection Fence shown on the drawings.
- 6. No construction or activities including the following to occur within Tree Protection Zone: equipment parking or access, storage of supplies, topsoil or fill, and refueling.
- 7. Tree removals (if required) will be undertaken in compliance with the Migratory Birds Convention Act. Efforts will be made to remove vegetation outside the General Nesting period (April 1 Aug 31) for regions C1 and C2 of Ontario. In the event vegetation must be removed within the General Nesting Period, a qualified avian biologist is to review the site prior to removal to ensure compliance with the Migratory Birds Convention Act.
- 8. Any soils and vegetation within tree protection zone damaged by the Contractor shall be restored to the satisfaction of the Municipality by the Contractor at no additional cost to the Owner.

CONSTRUCTION WITHIN MINIMUM TREE PROTECTION ZONE

- 1. An ISA Certified Arborist must be present on site during construction activities within MTPZ to confirm and/or modify mitigation measures for trees to be preserved. 2. Use trenchless methods (e.g. horizontal directional drilling) to install underground services (e.g. sanitary sewers and water lines) within Minimum Tree Protection Zones.
- EXISTING UNDERGROUND SERVICES WITHIN TREE PROTECTION ZONES

1. Existing sanitary/storm sewers and watermains to be discontinued within tree protection zones will be filled (as needed) and abandoned. 2. Excavation and access for construction/removal of abandoned underground services will be conducted outside of tree protection zones.

FINISH GRADING WITHIN TREE PROTECTION ZONES

Where finish grading of cuts and fills, and including swales occurs within tree protection zones, the following steps are required.

Grade Cut: 1. Excavate by hand or Air-spade technology to a maximum depth of 100mm.

- 2. Roots encountered are to be assessed by the Project Arborist to determine the extent of roots to be pruned. Based on findings, other treatments may be required (e.g. crown reduction, tree removal), and which may require approval from the City. 3. Based on root findings, local, minor adjustments to grading within the tree protection zone may be required based on field consultation between the Project Arborist and Project Engineer.
- 4. No access by heavy equipment into tree protection zone is permitted. Fine grading to be carried out using light equipment and/or by hand. Grade Fill:
- 5. Add topsoil to meet grade requirements to a maximum of 150mm.
- 6. No topsoil to be added onto trunk base or above-ground section of trunk base flare. 7. Maintain positive drainage away from trunk base.
- 8. Based on local conditions (e.g. surface drainage), local, minor adjustments to grading within the tree protection zone may be required based on field consultation between the Project Arborist and Project Engineer.
- TREES OWNED BY OTHERS

- 1. Trees owned by others require permission (i.e. written consent) from the land owner(s) prior to activities that may damage or destroy trees. Trees owned by others are Offsite Trees and Shared Trees: a. Offsite Trees - Trees on property adjacent to the subject property;
- b. Shared (Boundary) Trees Trees whose trunk including the basal trunk flare growing on the boundary between the subject property and adjoining property (from Ontario Forestry Act).

The Provincial Forestry Act, R.S.O. 1990 (Section 10):

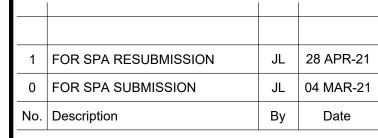
10. (2) Every tree whose trunk is growing on the boundary between adjoining lands is the common property of the owners of the adjoining lands. 1990, c. 18 Sched. I, s. 21. (3) Every person who injures or destroys a tree growing on the boundary between adjoining lands without the consent of the land owners is guilty of an offence under this Act. 1998, c. 18, Sched. I, s. 21.

ROOT SENSITIVE EXCAVATION

All root sensitive excavation must be performed under the supervision of a qualified arborist. All roots exposed must be documented by the supervising arborist. Every effort should be made to preserve as many exposed roots as possible. Roots approved for pruning should be cleanly cut with a sharp, non-vibrating tool such as a handsaw, secateurs, chainsaw at face of trench such that no further disturbance of the roots are to be expedted once mechanical excavation begins. All root pruning is to be performed by the arborist only, as per guidelines below.

- 1. When root sensitive excavation is performed in regards to the installation of a deep site feature such as a foundation, roots of less than 5cm diameter can be cut sharply, if necessary, unless an abundance of smaller roots are involved. If roots of 5cm diameter or greater or an abundance of smaller roots are exposed in the excavation areas inside or just outside the Tree Protection Zone (TPZ) of bylaw trees they should be preserved.
- 2. When root sensitive excavation is performed in regards to the installation of site features such as post holes, all roots exposed of under 5cm diameter may be cleanly cut at face of hole such that no further disturbance of the roots are to be expected once mechanical excavation begins for the lower portion of the holes (below hand dug area). If roots of 5cm diameter or greater are uncovered they should be preserved, the post holes filled in with viable soil and the hole moved at least 0.5 metre away to avoid significant roots.
- 3. When root sensitive excavation is performed in regards to the installation of site features such as driveways, walkways, curbs, etc. roots of less than 5cm diameter can be cut sharply, if necessary, unless an abundance of smaller roots are involved. If
- roots of 5cm diameter or greater or an abundance of smaller roots are exposed in the excavation areas inside or just outside the TPZ of bylaw trees they should be preserved 4. When root sensitive excavation is performed in regards to the installation of utilities such as water lines or sewers, every effort should be made to preserve as many exposed roots as possible by installing the utilities underneath the roots without root pruning. If roots of 5cm diameter or greater are uncovered they should be preserved.





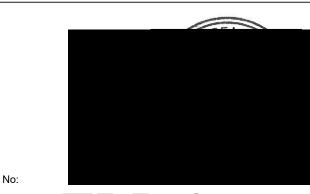
REVISIONS: All previous issues of this drawing are superced

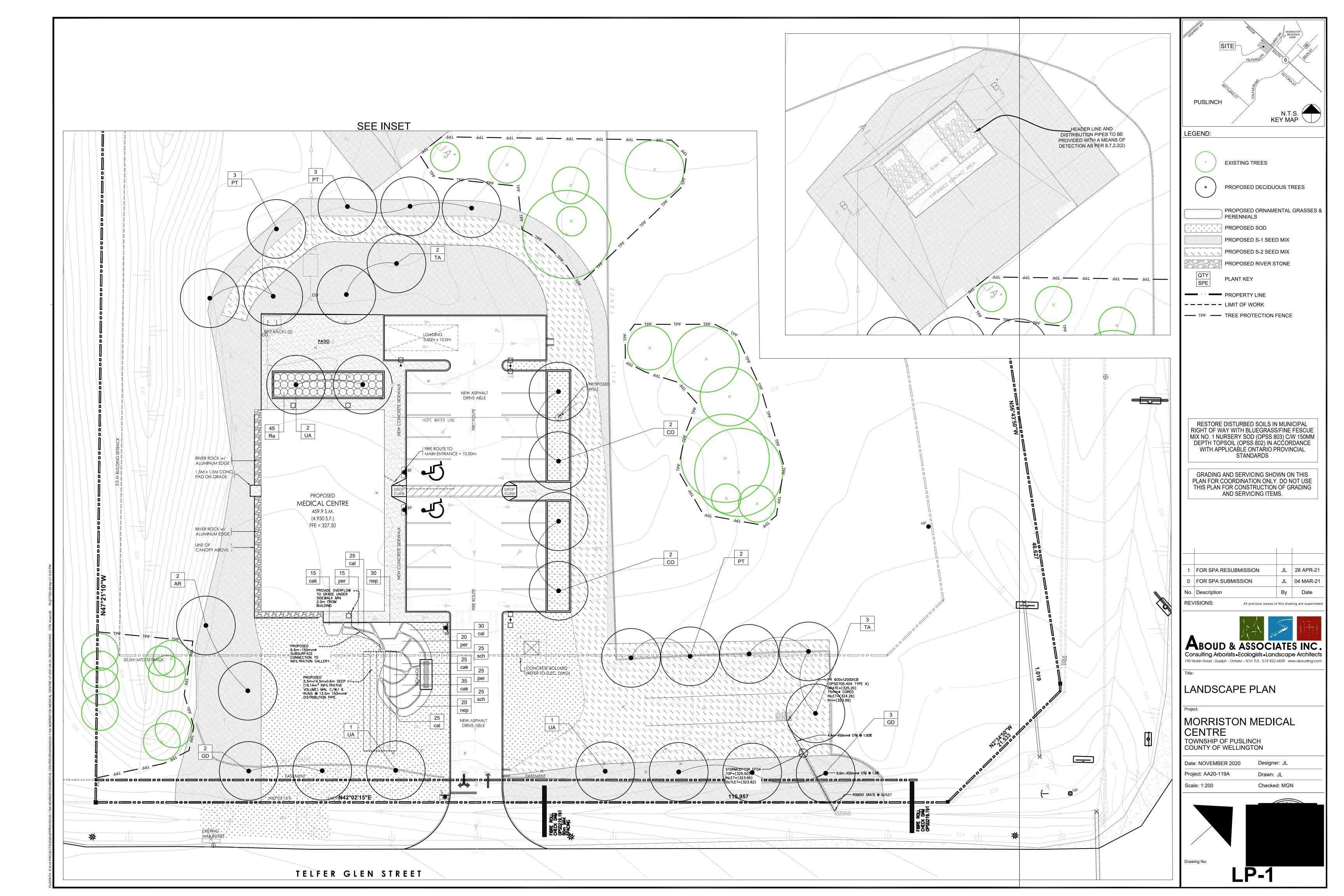


DRAFT TREE PRESERVATION PLAN

MORRISTON MEDICAL CENTRE TOWNSHIP OF PUSLINCH **COUNTY OF WELLINGTON**

Date: NOVEMBER 2020 Designer: DB Project: AA20-119A Drawn: EE Scale: NTS Checked: MGN





basket without damaging root ball. Do not pull burlap or rope from under

600mm depth Growing Medium (Existing Topsoil and/or Imported Topsoil)

Placed in 150mm lifts, tamped around rootball compacted to max. 80%

to assist with settling and reducing air pockets. After water has been absorbed, place growing medium in remaining portion of planting pit.

Planting pit with sloped sides. Scarify sides and bottom to a depth of

that could impede root development.

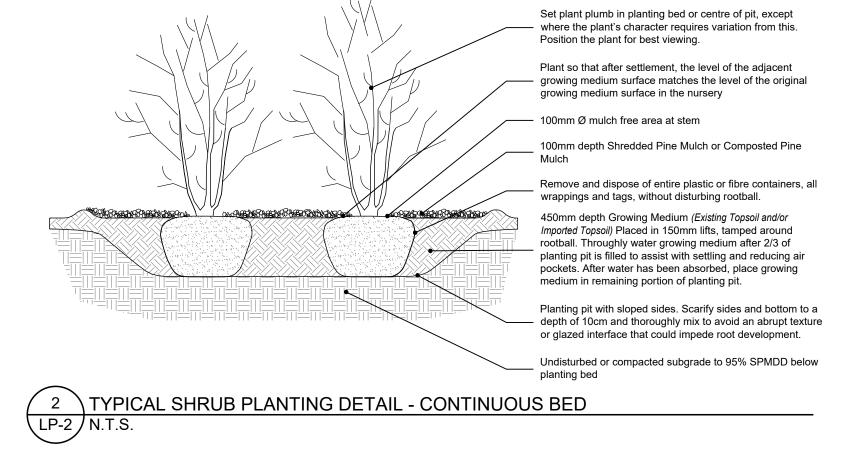
30cm and thoroughly mix to avoid an abrupt texture or glazed interface

Undisturbed or compacted subgrade to max 95% SPMDD below rootball

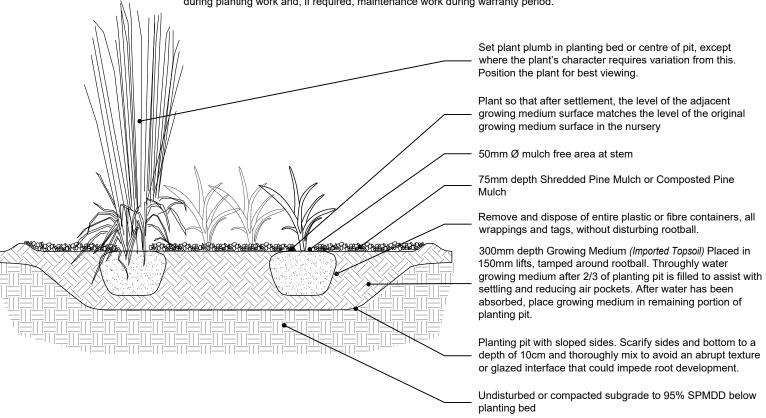
SMPDD. Throughly water growing medium after 2/3 of planting pit is filled

1 \TYPICAL DECIDUOUS TREE PLANTING DETAIL

Plant Characteristics, Rootballs, Rootball Standards including minimum rootball diameters, Harvesting Practices, Transporting, Unloading, Handling/Protection, Scheduling, Water/Irrigation, Digging of Plants and Preparing Roots prior to planting in accordance with the Section 9 of the Canadian Landscape Standard. Do not perform work under adverse field conditions such as frozen soil, excessively wet soil or soil covered with snow, ice, or standing water. Contractor to supply required water, free from any organic or chemical contaminants detrimental to humans, animals or healthy plant growth, during planting work and, if required, maintenance work during warranty period.



Plant Characteristics, Rootballs, Rootball Standards including minimum rootball diameters, Harvesting Practices, Transporting, Unloading, Handling/Protection, Scheduling, Water/Irrigation, Digging of Plants and Preparing Roots prior to planting in accordance with the Section 9 of the Canadian Landscape Standard. Do not perform work under adverse field conditions such as frozen soil, excessively wet soil or soil covered with snow, ice, or standing water. Contractor to supply required water, free from any organic or chemical contaminants detrimental to humans, animals or healthy plant growth, during planting work and, if required, maintenance work during warranty period.



3 TYPICAL PERENNIAL PLANTING DETAIL - CONTINUOUS BED

MA	STE	R PLANT LIST				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	REMARKS
TREES	3					
AR	2	ACER RUBRUM	RED MAPLE	60mm CAL	WB	10m O.C. SPACING
СО	4	CELTIS OCCIDENTALIS	HACKBERRY	60mm CAL	WB	10m O.C. SPACING
GD	5	GYMNOCLADUS DIOICUS	KENTUCKY COFFEE TREE	60mm CAL	WB	10m O.C. SPACING
PT	8	POPULUS TREMULOIDES	TREMBLING ASPEN	60mm CAL	WB	10m O.C. SPACING
TA	5	TILIA AMERICANA	BASSWOOD	60mm CAL	WB	10m O.C. SPACING
UA	4	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE ELM	60mm CAL	WB	10m O.C. SPACING
	26	TOTAL TREES				
SHRUI	3S					
Ra	45	RHUS AROMATICA 'GRO LOW'	GROW LOW FRAGRANT SUMAC	50cm HT	POTTED	1m O.C. SPACING
	45	TOTAL SHRUBS				
ORNAI	MENTA	L GRASSES AND PERENNIALS				
cak	75	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	-	1 GAL	0.75m O.C. SPACING
cal	80	CALAMINTHA NEPETA 'WHITE CLOUD'	LESSER CALAMINT	-	1 GAL	0.5m O.C. SPACING
nep	50	NEPATA FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	-	1 GAL	0.5m O.C. SPACING
per	60	PEROVSKIA X 'LITTLE SPIRE'	RUSSIAN SAGE	-	1 GAL	0.5m O.C. SPACING
sch	50	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	-	1 GAL	0.5m O.C. SPACING
					•	·

BOTANICAL NAME	COMMON NAME	PERCENTAGE OF MIX (%)
Asclepias syriaca	Common Milkweed	5
Andropogon gerardii	Big Bluestem	30
Monarda fistulosa	Wild Bergamot	5
Aster novae-angliae	New England Aster	1
Rudbeckia hirta	Black Eyed Susan	15
Clematis virginiana	Virgins Bower	5
Symphyotrichum cordifolius	Blue Wood Aster	1
Schizachyrium scoparium	Little Bluestem	20
Solidago canadensis	Canada Goldenrod	2
Anemone canadensis	Canada Anemone	1
Oenethera biennis	Evening Primrose	2
Euthamia graminifolia	Grass Leaved Goldenrod	1
Carex granularis	Meadow/Open Field Sedge	12

* From Conservation Halton Seed Mixes Suitable for Our Watershed, May 2018.

315 TOTAL ORNAMENTAL GRASSES AND PERENNIALS

BOTANICAL NAME	COMMON NAME	PERCENTAGE OF MIX (%)
Rudbeckia hirta	Black Eyed Susan	5
Verbena hastata	Blue Vervain	10
Anemone canadensis	Canada Anemone	1
Calamagrostis canadensis	Canada Blue-joint	2
Solidago canadensis	Canada Goldenrod	2
Schizachyrium scoparium	Little Bluestem	10
Asclepias syriaca	Common Milkweed	5
Poa palustirs	Fowl Bluegrass	25
Carex granularis	Meadow/Open Field Sedge	20
Symphyotrichum novae-angliae	New England Aster	1
Juncus tenuis	Path Rush	10
Symphyotrichum puniceum	Purple Stemmed Aster	1
Clematis virginiana	Virgins Bower	4
Monarda fistulosa	Wild Bergamot	4

* From Conservation Halton Seed Mixes Suitable for Our Watershed, May 2018.

BOTANICAL NAME	COMMON NAME	PERCENTAGE OF MIX (%
Elymus canadensis	Canada Wild Rye	35
Avena sativa	Annual Oats	25
Agrostis stolonifera	Creeping Bent Grass	20
Festuca rubra	Red Fescue	20

* From Conservation Halton Seed Mixes Suitable for Our Watershed, May 2018.

1. Base information sources:

1.1. Site plan dated February 26, 2021 obtained from Edge Architects.

1.2. Topographic Survey plan dated April 21, 2020 by Van Harten Surveying Inc 2. All dimensions are in metric unless otherwise noted.

3. Do not scale drawings. Dimensions are to be verified on site by Contractor prior to commencement of the work. 4. These plans shall be read in conjunction with all details, notes, reports, written specifications, general conditions, any

supplemental conditions and agreement which form the contract documents. 5. These drawings shall not be used for construction purposes unless noted as "Issued for Construction" and signed by the Landscape Architect or Professional Engineer.

6. Contractor shall review all drawings and verify actual field conditions to determine the total scope of work and all required coordination prior to submission of bids and commencement of the work. Report any discrepancies to the Landscape Architect, for action to the satisfaction of the Owner. 7. Contractor shall locate all underground, at grade and overhead utilities prior to commencement of the work. All utilities not

necessarily shown on these drawings. Aboud & Associates assumes no responsibility for the accuracy of any utilities shown in

8. Contractor shall perform all work in accordance with the most current Ontario Building Code, CAN/CSA-Z614, Occupational Health and Safety Act and it's regulations, as well as local municipal codes, regulations and by-laws.

9. Contractor shall identify the location of all internal/external construction access routes, parking and storage of materials in conformance with project erosion and sediment control plans for acceptance by the Owner. Construction, maintenance and removal/restoration of access, parking and storage facilities shall be included in the Contractor's bid price.

10. Contractor shall submit shop drawings where indicated in these drawings. Shop drawings shall be certified by a Professional Engineer licensed to practice in Ontario and reviewed by the contractor for dimensional correlation with the drawings and field conditions. Fabrication of elements on shop drawings shall not proceed until drawings have been reviewed and approved by a Professional Engineer and have been accepted for general design conformation by the Landscape Architect in writing. The cost of preparing shop drawings, as well as the services of a Professional Engineer, shall be included in the Contractor's bid price.

11. Contractor proposed substitution of materials and products shall be submitte∮ in writing for review by Landscape Architect and acceptance by Owner and Municipality.

12. Material quantities on drawings shall take precedent over those in lists and schedules.

13. Where traffic control is necessary, Contractor shall use the guideline of the Construction Safety Association of Ontario, municipal by-laws, the Highway Traffic Act and the Ontario Traffic Manual (Book 7). The cost of preparing, obtaining approvals and implementing traffic control plans shall be included in the Contractor's bid price, unless otherwise noted.

14. Contractor shall erect temporary barriers, as required, to secure the work area. Contractor shall maintain temporary barriers in good repair and remove at the end of the work.

15. Contractor shall provide layout and grade staking, for general review for design conformance by Landscape Architect and acceptance by Owner. Where the work occurs within 3 metres of a property boundary, layout and staking shall be completed by an Ontario Land Surveyor. The cost of layout and grade staking, as well as the services of an Ontario Land Surveyor, shall be included in the Contractor's bid price, unless otherwise noted.

16. Contractor is responsible for protecting and/or reinstating site elements indicated in these drawings.

17. Contractor is responsible for restoration of adjacent surfaces and existing site elements damaged by the Contractor in the performance of the work, including but not limited to roads, driveways, playground equipment, utilities, buildings, curbs, sidewalks, retaining walls, fencing, turf, flowers and woody vegetation. Restoration work shall be performed by the Contractor at no cost to the Owner and be completed in conformance with applicable Provincial, Municipal or Agency standards and requirements, to the satisfaction of the Owner/Agency of the damaged element.

18. Where new paving or earthwork meets existing, smoothly blend line and grade of existing with new.

19. Test existing topsoil to be reused as growing medium on site in accordance with: 19.1. Top Soil Basic Package (by SGS Laboratories or approved equal testing facility) Testing the following properties: Texture (%sand, %silt, %clay), total salts, pH, buffer pH, phosphorus, potassium, magnesium, calcium, cation exchange capacity,

19.2. The cost to amend existing topsoil to be reused shall be paid for by the Owner.

chloride, sodium, sodium absorption ratio, organic matter. Written recommendations for amendments.

20. Contractor shall provide imported topsoil test results (using analysis requirements for existing topoil) prior to delivery to place of work, for each source.

21. Plants specified on these plans are to be in accordance with the Canadian Nursery Landscape Association Canadian Standards for Nursery Stock from the Canadian Landscape Standard, current edition. Only nursery grown plants will be accepted. • Landscape Architect reserves the right to reject any plant material not in conformance with the standard, displaying

life-threatening, poor growth habits, injury, disease or not true to name. Contractor shall remove rejected plants from the site immediately and replace at no additional cost to the Owner. 22. Proposed plants which come over or under any utility shall be relocated by the Contractor for review by the Landscape Architect,

to the satisfaction of the utility provider. 23. All work and materials are to be warrantied by the Contractor for twenty-four (24) months from date of initial acceptance of all

items by Municipal Staff and Project Landscape Architect. 23.1. The Contractor shall perform maintenance, as described in these drawings for all the installed trees, shrubs, grasses and

seeding during the warranty period.

23.2. The Owner shall provide maintenance as described in these drawings for all installed trees, shrubs, grasses and seeding during the warranty period.

GENERAL LANDSCAPE NOTES

1. Perform following maintenance operations from time of planting to end of warranty period two (2) years following substantial

performance of the work. 1.1. Water to maintain soil moisture conditions for optimum establishment, growth and health of plant material without causing erosion. In a typical loam soil, optimum soil moisture in planting beds at root depth is 65% of field capacity.

Guidelines during a typical growing season are as follows:

1.1.1. Deep root water newly planted plants once per week for the first three weeks, such that the water penetrates to a

minimum depth of 300mm.

Deep root or surface water trees and shrubs a minimum of every ten (10) days between May 15 and September 15. Deep root or surface water trees and shrubs a minimum of every twenty-one (21) days between September 15 and

1.1.4. Water evergreen plants thoroughly in late fall prior to freeze_up to saturate soil around root system.

1.2. Soil moisture to be monitored throughout the growing 1.2.1. Watering schedule to be increased when plant materials are reaching the permanent wilting point.

1.2.2. Watering schedule to be reduced when a sufficient volume of rainfall has penetrated the soil fully as required.

1.3. Replace or respread damaged, missing or disturbed mulch. 1.4. If required to control insects, fungus and disease, use appropriate control methods in accordance with Federal,

Provincial and Municipal regulations. Obtain product approval from Consultant prior to application. 1.5. Control outbreaks of perennial weeds as directed by Consultant, and annual weeds by mechanical or chemical means

utilizing acceptable integrated pest management practices to meet acceptance/success targets

1.5.1. If chemical means are used, comply with all municipal, provincial, and federal legislation and regulations. 1.6. Remove dead or broken branches from plant material using clean sharb horticultural tools using current arboricultural

1.7. Keep trunk protection and guy wires in proper repair and

1.8. Provide adequate protection from winter, wind and rodent damage.

1.9. Remove and replace dead plants and plants not in healthy growing condition. Make replacements in same manner as specified for original plantings, unless otherwise directed by Consultant.

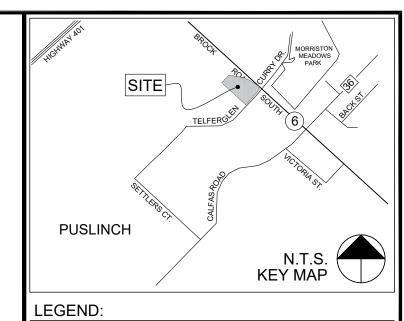
1.10. Remove trunk protection, tree supports and level watering saucers at end of warranty period, unless otherwise directed by Consultant. 1.11. Submit monthly written reports in during the growing season (April - September) to Consultant identifying:

1.11.1. Maintenance work carried out.

Watering method, quantity of water used, water source. General development and condition of plant material.

1.11.4. Preventative or corrective measures required which are outside Contractor's responsibility.

ANDSCAPE MAINTENANCE NOTES



FOR SPA RESUBMISSION JL 28 APR-21 0 FOR SPA SUBMISSION JL 04 MAR-21 No. Description By |

All previous issues of this drawing are superced

Consulting Arborists • Ecologists • Landscape Architects 190 Nicklin Road . Guelph . Ontario . N1H 7L5 . 519.822.6839 . www.aboudtng.con

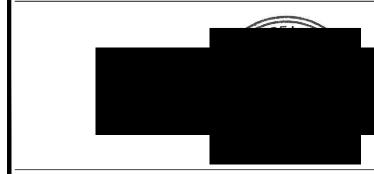
DRAFT LANDSCAPE DETAILS & NOTES

REVISIONS:

MORRISTON MEDICAL CENTRE TOWNSHIP OF PUSLINCH

COUNTY OF WELLINGTON

Date: NOVEMBER 2020 Designer: JL Project: AA20-119A Drawn: JL Scale: NTS Checked: MGN



COUNTY OF WELLINGTON



PLANNING AND DEVELOPMENT DEPARTMENT Aldo Salis, M.C.I.P., DIRECTOR TEL: (519) 837-2600 FAX: (519) 823-1694 1-800-663-0750 ADMINISTRATION CENTRE
74 WOOLWICH STREET
GUELPH, ONTARIO
N1H 3T9

January 21st, 2021

BY E-MAIL

Lynne Banks, Development and Legislative Coordinator Township of Puslinch 7404 Wellington Road 34 Puslinch, ON N0B 2J0

Dear Ms. Banks:

Re: Site Plan Application
Morriston Medical Clinic
Highway 6 and Tefler Glen
Township of Puslinch

Thank you for circulating the above noted application for our review. The subject property is designated as Central Business District (CBD) in the County of Wellington Official Plan and is zoned Core Mixed Use (CMU). The proposal indicates the use would be a medical clinic which is a permitted use in the zoning By-law and Official Plan.

The site plan appears to meet the setback and parking requirements in the Townships Zoning Bylaw, note no loading spaces are required in the zoning Bylaw. A minor variance for the 1 storey building was submitted and approved by the Committee of Adjustment in November 2020. Based on our review, we provide the following comments:

- 1. The Township's Urban Design Guidelines also apply to this site. The proposed building elevations show a modern building with many windows, on all sides of the building. Planning staff have no concerns with the proposed building elevations. Regarding framing and lining the street, there is a large setback required from Highway 6 which supersedes the reduced front yard and side yard permissions in the Township's zoning By-law. At the time that a future Phase 2 is proposed there may be an opportunity to frame the main street if the setback is requirement on Highway 6 can be reduced. Regarding pedestrian connections, there are no sidewalks along Tefler Glen at this time and a sidewalk connection within the site would not connect to any active transportation infrastructure on Tefler Glen.
- 2. The enhanced swale is proposed to be an early succession plant material mix along with a large portion of the site, is this area intended to be maintained or remain undisturbed after seeding, is there an opportunity for perennial plantings within the enhanced swale?
- 3. Regarding the location of the refuse containers, is there an adequate turnaround for pick up, based on the curbing locations access may be restricted.

I trust that these comments will be of assistance.

Yours truly Zach Prince MCIP RPP Planner



Township of Puslinch

7404 Wellington Road 34, Puslinch, ON, N0B 2J0

T: (519) 763 – 1226 F: (519) 763 – 5846 www.puslinch.ca

Zoning By-law Amendment Application

Date submitted:_					
The Amendment:					
Type of amendment:					
Site specific:					
Other (specify):					
Purpose of and reasons for the proposed amendment(s):					
to a Specialized Agricultural to prob the barn. A surplus farm residence	dment is to rezone the Retained Parcel from Agricultural nibit a residential dwelling and to prohibit livestock in severance was applied for with the County and this is of Approved Application B111-20. Please see our				
General Information:					
1. Applicant Information:					
Registered Owner's Name(s):	John STUBBS & Mary LAKE				
Address:	4363 Wellington Road 35				
City:	Cambridge, ON				
Postal Code:	N3C 2V4				
Email Address:	a				
Telephone Number:					
Fax:					

Applicant (Agent) Name(s):	Jeff Buisman of Van Harten Surveying Inc.
Address:	
City:	
Postal Code:	
Email Address:	
Telephone Number:	
Fax:	
Other Name(s):	
Address:	T T
City:	
Postal Code:	
Email Address:	
Telephone Number:	
Fax:	15 ************************************
encumbrances on the property.	C578750 with the Royal Bank of Canada located
Send correspondence to: Own	er: Agent: X Other:
When did the current owner acc	quire the subject land? Date:March 2004
4. What does the amendment c	over?
The "entire" property:	
A "portion" of the property:	X Retained Parcel
(This information should be illus	strated on the required drawing under item 24 of this
application)	
5. Provide a description of the	'entire" property:
Municipal address: 4363 V	Vellington Road 35, Puslinch

Concession:	2	Lot:	16	
Registered Plan Numb	oer:			
Area:ha	Depth:	m	Frontage:	m
ac		ft.		ft.
6. Provide a description	on of the area to be	amended if only a		roperty: k 195m / 868m
Area: <u>33.2ha</u> ha	Depth:	404m m	Frontage:	
ac		ft.	-	ft.
7. Is the application to Statement?	o amend the zoning	g by-law consisteı	nt with the Provinc	ial Policy
Yes: X No:				
8. Is the subject land plans?	within an area of I	and designated u	nder any provincia	al plan or
Greenbelt Plan:	Places to Gro	w: X Othe	r: (specify):	
If yes, does the applic plan or plans?	cation conform to a	and not conflict wit	h the application p	rovincial
Yes: X No:				
9. County Official Plan	1			
What is the current Co	ounty Official Plan	designation of the	subject property?	•
Prime Agricultur	ral and Core Gree	nlands		
List land uses permitt	ad by the current (Official Plan design	nation:	==== ≥.
The permitted uses secondary uses inc agricultural-related Section 6.4.3 of the	in Prime Agricultu luding home busi uses, existing use	ural Areas include	e: agricultural use sinesses,	s,
How does the applicat	ion conform to the	Official Plan?		

The subject property is designated as Prime Agricultural and Core Greenlands in the Official Plan and this zone change is required as part of the Guidelines set out in Section 10.3.4 for surplus farm residence severances.

3

settlement or to implement a new area of settlement, provide details of the Official Plan or Official Plan amendment that deals with the matter.
N/A
If the application is to remove land from an area of employment, provide details of the Official Plan or Official Plan amendment that deals with the matter.
N/A
If the subject land is within an area where zoning with conditions may apply, provide an explanation of how the application conforms to the Official Plan policies relating to zoning with conditions.
N/A
10. Zoning:
What is the current zoning of the property? Agricultural & Natural Environment
What uses are permitted? Agricultural use, Accessory Apartment, Bed and Breakfast, Community Garden, Single Detached Dwelling, Farm Related Business See Section 11.2 of the zoning by-law.
If the subject land is within an area where zoning with conditions may apply, provide an explanation of how the application conforms to the Official Plan policies relating to zoning with conditions.
N/A
If the subject land is within an area where the municipality has pre-determined minimum and maximum density requirements or the minimum and maximum height requirements provide a statement of these requirements.
N/A

If the application is to implement an alteration to the boundary of an area of

Existing and Proposed Land Uses and Buildings:

11. What is the "existing" use(s) of the subject land?

Agricultural			

12. How long has the "existing" use(s) continued on the subject land?

Many years

13. What is the "proposed" use(s) of the subject land?

Agricultural	>.		

14. Provide the following details for all buildings or structures on the subject land:

Existing

Building Details	Ex	isting	Pro	posed
Type of Building(s) or structures	Drive Shed	Barn	Shed	
Date of construction	Many years ago	Many years ago	Many years ago	
Building height	m	ft	m	ft
Number of floors				
* Total floor area	m ²	ft ²	m ²	ft²
Ground floor area (exclude basement)	126±m ² m²	372±m² ft ²	148±m² m²	ft²
Distance from building	ng			
structure to the:				
Front lot line	m	ft	m	ft
Side lot line	m	ft	m	ft
Other side lot line	m	ft	m	ft
Rear lot line	m	ft	m	ft

See sketch for details

N/A

Building Details	Existing	Proposed
*Percentage lot		
coverage		
*Number of parking		
spaces		
*Number of loading		
spaces		

Existing and Proposed Services	
15. What is the access to the subject	t property?
Provincial Highway:	
Continually maintained municipal road:	
Right-of-way:	
Seasonally maintained municipal road:	
Water access:	
Other (please specify):	X
16. What is the name of the road subject property.	or street that provides access to the
Corner Lot - Wellington County Roa Existing access is from County Roa	
17. If access is by water only, please facilities used or to be used and facilities from subject land to the	the approximate distance of these
N/A	
(This information should be illustrated of this application)	on the required drawing under item 24 of
18. Indicate the applicable water sup	ply and sewage disposal:

Water Supply	Existing	Proposed
Municipal water		

Existing on Severed Parcel, Not Required for Retained Parcel.

Water Supply	Existing	Proposed
Communal water		
Private well	X	
Other water supply		
Water sewers		
Municipal sewers		
Communal sewers		
Private septic	X	
Other sewage disposal		

Private septic	X	
Other sewage disposal		
operated individual o	Ild permit development or r communal septic systen oduced per day as a resu	
Yes: No: 2	K	
If yes, the following reports	are required:	2
Servicing options report		
A hydrogeological report		
20. How is storm drainage Storm Sewers:	ge provided?	
Ditches:		
Swales:		
Other: (explain belo	ow)	

Other Related Planning Applications:

21. Has the current owner (or any previous owner) made application for any of the following, either on the subject property or within 120 metres of the subject lands?

Planning Application	Yes	No	*File Number	Approval Authority	Subject Lands	Purpose	*Status
Official Plan Amendment							
Zoning By- Law Amendment					×		
Minor Variance							
Plan of Subdivision							
Consent (Severance)	х		B111-20	County of Wellington	Part of Lot 16, Concession 2	Surplus Farm Dwelling Severance	Approved subject to conditions
Site Plan Control							

22.	Has the su	ubject la	and ever been the subject of a Minister's Zoning
Yes:		No:	X
If yes	, provide the (Ontario R	Regulation number of that order, if known:
Oth	er Suppo	rting l	nformation
lı T	mpacts Stud Fraffic Study	dy, Hydr y, Marke	of any supporting documents: (e.g. Environmental rogeological Report, Servicing Options Report, et Area Study, Aggregate Licence Report, ement Report, etc.)
PI	ease see cov	ering let	tter for details.

Application Drawing

- 24. Please provide an accurate drawing of the proposal, preferably prepared by a qualified professional. In some cases, it may be more appropriate to submit additional drawings at varying scales a lot better illustrate the proposal. The drawing must include the following information (see on following page):
- Owner/applicant's names;
- Legal description of the property;
- Boundaries and dimensions of the subject and its current land use;
- Dimensions of area of amendment (if not, the entire property);
- The size and use of all abutting land;
- All existing and proposed parking and loading areas, driveways, and lanes;
- The location and nature of any easements or restrictive covenants on the property;
- The location of any existing drains or award drains;
- Woodlots, forested areas, ANSIs, ESAs, wetlands, floodplain, and all natural watercourses (rivers, stream banks, etc.);
 - The location, size, and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line, and side lot lines;
 - The name, location, and width of each abutting public or private road, unopened road allowance or right-of-way;
- If access to the subject land is by water only, provide the location of the parking and docking facilities to be used;
- Other features both on site or nearby that in the opinion of the applicant will have an effect on the application (such as bridges, railways, airports, roads, drainage ditches, wells, septic systems, springs, slopes, gravel pits); and
- The drawing should also include the scale, north arrow, and date when the drawing was prepared.

Authorization for Agent/Solicitor to act for Owner

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

I (we)	John STU	BBS & Mary LAKE	of the
Township	of	Puslinch	County/ Region of
We	llington	do hereby	authorize
	E. Buisman, OL Irten Surveying		s my agent in this application.
/ Signature of	· Owner(s)		March 9 2021

Affidavit

l (we) Jeffrey E. B	uisman, OLS, of \	Van Harten Sur	veying Inc.	of the
City	of	Guelph	County	/ Region of
Wellingto	n	solemnly	declare that all	the statements
contained in this applic	cation are true, and	II, (we), make th	nis solemn ded	laration
conscientiously believi	ng it to be true, and	d knowing that it	is of the same	e force and effect
as if made under oath	and by virtue of the	e CANADA EVII	DENCE ACT. I	DECLARED
before me at the	City	of	Guelph	in the
County/ Region of	Wellington		this	<u>\()</u> day of
May	, 20 <u></u> U			
			May 10	. 2021
Signature of Owner or solicitor or agent	authorized	=	, "VY (D	ate
onloker or agom	James Michael La	ws,		
	a Commissioner	H().	MGY 10	12021
Signature of Commiss	ioner van Harten 38 Expires May 11, 2	2021.	, , D	ate
Agreement to P	ost Sign and	Permit Site	Visits	
For the purpose of put accordance with the T				
date Township staff ha			omplete, and r	emove the sign
Furthermore, for the p			ion. I permit	
staff/representatives o	f the Township of F	Puslinch to enter	onto my lands	•
my property at the follo	owing times (piease	e check one of the	ne following bo	ixes).
Any and all times:	Certain days	as specified:	By appoir	ntment only:
	_		110 . 10 (2021
Signature)	<u></u>	M(M 10"	LUL1 ate

For Administrative Purposes Only:

Application fee of	\$	_received by the municipality	
Date Fee Received:	***		
Date Application Filed:		<u>—</u> a	
File Number:		_	
Application deemed comp	plete:		
Signature of Municipal	Employee	Date	

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.



LAND SURVEYORS and ENGINEERS

May 10, 2021 28314-20 Jeff.Buisman@vanharten.com

Township of Puslinch 7404 Wellington Road 34 R.R. #3 Guelph, Ontario N1H 6H9

Attention: Lynne Banks

Dear Ms. Banks:

Re: Zoning By-Law Amendment & Sketch for Severance Application B111-20

4363 Wellington Road No. 35 Part of Lot 16, Concession 2

PIN 71201-0018

Township of Puslinch

Please find enclosed an application for a Zoning By-law Amendment on the above-mentioned property. Included with this submission are copies of the sketch, the completed application form, the required deed, PIN Report and Map, and a cheque of \$15,094.00 to the Township of Puslinch for the application fee.

<u>Proposal</u>

This Zoning By-law Amendment application is being made to meet the requirements for Severance Application B111-20 which was approved February 2021 subject to conditions. The application severed a surplus farm dwelling from the rest of the agricultural farm parcel.

The following zone change requests are being made to satisfy Conditions 5 & 8 of the approved severance application:

- A) To rezone the Retained Parcel from Agricultural to a Site Specific Agricultural to prohibit a residential dwelling.
- B) To rezone the Retained Parcel from Agricultural to a Site Specific Agricultural to prohibit livestock in the barn.

572 Weber Street North, Unit 7 Waterloo ON N2L 5C6 519-742-8371

> Elmira, ON: 519-669-5070

423 Woolwich Street Guelph, ON N1H 3X3 519-821-2763

660 Riddell Road, Unit 1 Orangeville, ON L9W 5G5 519-940-4110

> Collingwood, ON 249-499-8359

www.vanharten.com



LAND SURVEYORS and ENGINEERS

The severed parcel has a width of 128±m, depth of 157±m for an area of 1.5±ha where the existing dwelling and shed will remain. The severed parcel was configured around the existing driveway, hydro line, buildings, septic and natural features. There is a small field at the front of the severed parcel; however, this area is "trapped" from the rest of the farm by the wetland feature. We also wanted to keep the whole of the wetlands on one parcel. The rear/side limit is approximately 2m from the rear wall of the shed so that the Zoning requirements can be met.

The retained parcel has an area of approximately 33.2±ha and will continue to be used for agricultural purposes. The parcel contains an existing barn, shed and driveshed which will remain. The barn is in good condition and a request is included to prohibit livestock so that the barn can remain. The existing shed and driveshed will also remain as the farmer can use this for additional storage space and the remainder of the land will continue to be used for agricultural purposes. The remaining Zoning requirements are met for the Retained Parcel.

The request to prohibit a dwelling on the retained (farm) parcel is a requirement for "surplus residence severances" as laid out in Section 10.3.4 of the Wellington County Official Plan.

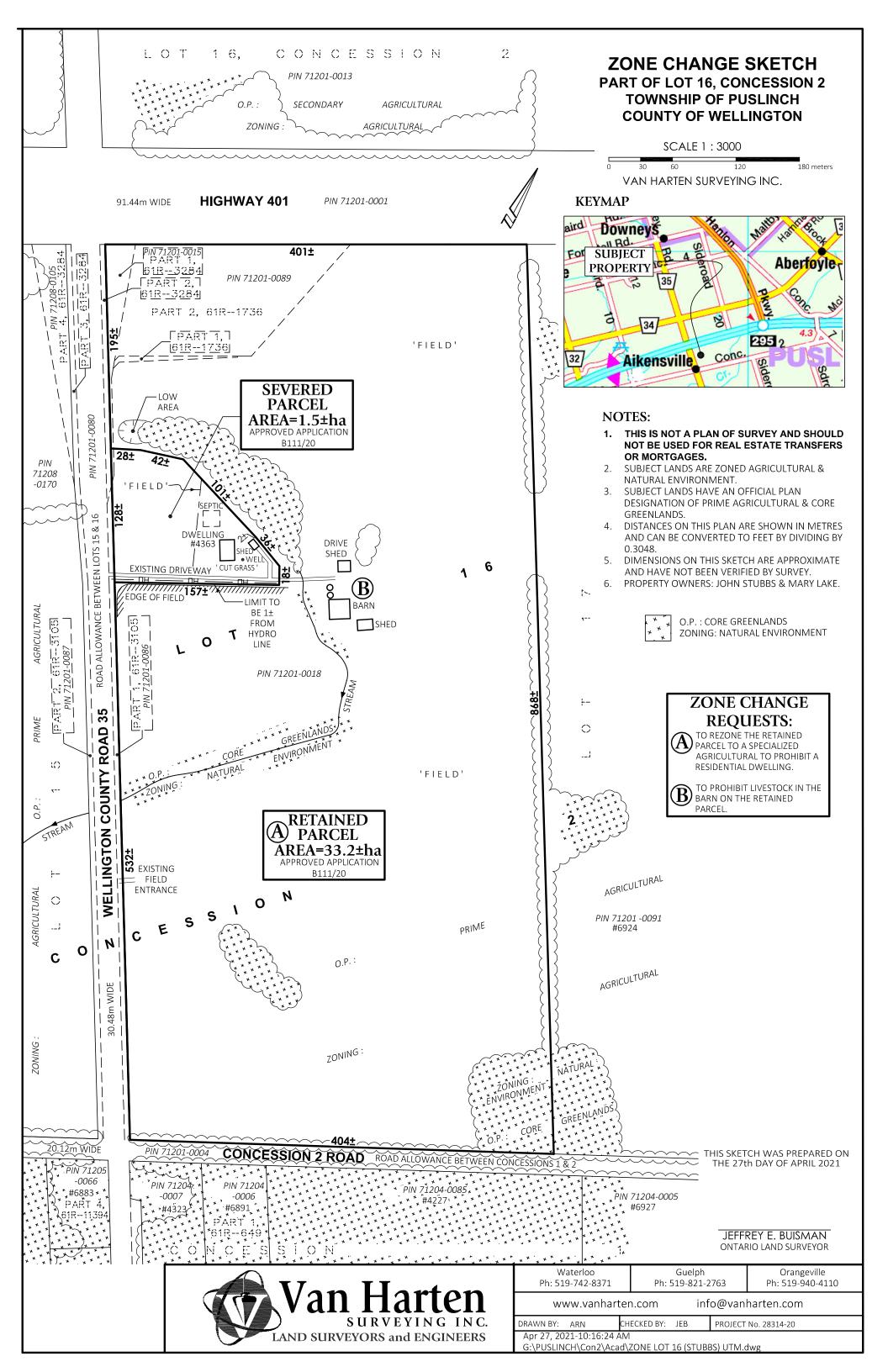
Please call me if you or the Planning Staff have any questions.

Very truly yours, Van Harten Surveying Inc.



Jeffrey E. Buisman B.E.S, B.Sc. *Ontario Land Surveyor*

cc John Stubbs & Mary Lake





Township of Puslinch 7404 Wellington Road 34, Puslinch, ON, N0B 2J0

T: (519) 763 – 1226 F: (519) 763 – 5846 www.puslinch.ca

Zoning By-law Amendment Application

Date	submitted:_	(A) Little Agricultural (A) with angula use
	Amendment:	whereby 50% of the space is used to store and maintain motorized personal vehicles.
Туре	of amendment:	No change to NE portion of the lands is proposed.
Site	specific:	X
Othe	r (specify):	
		*
Purn	ose of and reason	s for the proposed amendment(s):
Pleas	se see Planning Justif	ication Report.
Gen	eral Informati	on:
1. Ap	plicant Information	on:
Regi	stered Owner's N	lame(s): _ James and Wanda Xuereb
Addr	ess:	4290 Victoria Road South
City:		Township of Puslinch
Posta	al Code:	N0B 2CO
Emai	I Address:	
Telep	ohone Number:	
Fax:		

Applicant (Agent) Name(s): _ Trevor Hawkins	
Address:	
City:	
Postal Code:	
Email Address:	
Telephone Number:	
Fax:	
Other Name(a)	
Other Name(s):	
Address:	
City:	
Postal Code:	
Email Address:	
Telephone Number:	
Fax:	
Name, address, and phone number of all persons having any mortga	ages, charges, or
Name, address, and phone number of all persons having any mortga encumbrances on the property.	ages, charges, or
encumbrances on the property.	ages, charges, or
encumbrances on the property. Send correspondence to: Owner: Agent: X Other:	ages, charges, or
encumbrances on the property. Send correspondence to: Owner: Agent: X Other: When did the current owner acquire the subject land? Date: 2010	ages, charges, or
encumbrances on the property.	ages, charges, or
encumbrances on the property. Send correspondence to: Owner: Agent: Other: When did the current owner acquire the subject land? Date: 4. What does the amendment cover?	ages, charges, or
encumbrances on the property. Send correspondence to: Owner: Agent: X Other: When did the current owner acquire the subject land? Date: 4. What does the amendment cover? The "entire" property:	
encumbrances on the property. Send correspondence to: Owner: Agent: X Other:	
encumbrances on the property. Send correspondence to: Owner: Agent: X Other:	

, o

Concession:			Lot		
Registered F	Plan Number:				-
Area:	ha	Depth:	m	Frontage:	m
-	ac	-	ft.		ft.
6. Provide a	description	of the area to be arr	nended if only	a "portion" of the	property:
Area:	ha	Depth:	m	Frontage:	m
	ac		ft.	F-27-7-	ft.
7. Is the app Statement		nend the zoning by	y-law consist	ent with the Provir	ncial Policy
Yes: X	No:				
8. Is the sub plans?	bject land wit	hin an area of land	d designated	under any provinc	cial plan or
Greenbelt Pl	lan:	Places to Grow:	X Oth	er: (specify):	
If yes, does plan or plan		on conform to and	not conflict w	ith the application	provincial
Yes: X	No:	Please see Plar	nning Justific	ation Report	
9. County Of	fficial Plan				
	current Cour lary Agricul		signation of t	he subject propert	y?
List land use	es permitted	by the current Offi	cial Plan des	ignation:	
b) small		in the Prime Agmercial, industr			
How does th	e application	conform to the Offi	cial Plan?		
Please s	ee Planning	Justification Re	port		

If the application is to implement an alteration to the boundary of an area of settlement or to implement a new area of settlement, provide details of the Official Plan or Official Plan amendment that deals with the matter.
N/A
If the application is to remove land from an area of employment, provide details of the Official Plan or Official Plan amendment that deals with the matter.
N/A
If the subject land is within an area where zoning with conditions may apply, provide an explanation of how the application conforms to the Official Plan policies relating to zoning with conditions.
10. Zoning:
What is the current zoning of the property? Agricultural (A) and Natural Environment (NE)
What uses are permitted? *Agricultural use; Agriculture-related use; Single detached dwelling; Home busin *Home industry. If the subject land is within an area where zoning with conditions may apply, provide an explanation of how the application conforms to the Official Plan policies relating to zoning with conditions.
N/A
If the subject land is within an area where the municipality has pre-determined minimum and maximum density requirements or the minimum and maximum height requirements provide a statement of these requirements.
N/A

Existing and Proposed Land Uses and Buildings:

11. What is the "existing" use(s) of the subject land?

The site is currently used for agriculture purposes, with large sections of the property actively farmed. There is a single detached dwelling with detached garage located towards the front of the property. A second accessory building is located further along the existing driveway. Shipping and other storage sea containers are located adjacent to the accessory building. A portion of this accessory building is used to store automobiles not owned by the property owner.

12. How long has the "existing" use(s) continued on the subject land?

Since approximately 2010 however, existing single detached dwelling, detached garage and agricultural uses of the land pre-date the current owner.

13. What is the "proposed" use(s) of the subject land?

	ΡI	ease	see	Planning	Justification	Report.
--	----	------	-----	----------	---------------	---------

14. Provide the following details for all buildings or structures on the subject land: No additional construction is proposed

Building Details		Exist	ing		Pro	posed
Type of Building(s) or structures	Single - far dwelling	nily				
Date of construction	1990's					
Building height	2 storeys 6	m	20	ft	m	ft
Number of floors						
Total floor area	230	m ²	2500	ft ²	m ²	ft ²
Ground floor area (exclude basement)	115	m ²	1250	ft ²	m ²	ft ²
Distance from buildir structure to the:	ıg					
Front lot line		m		ft	m	ft
Side lot line		m		ft	m	ft
Other side lot line		m		ft	m	ft
Rear lot line	(L	m		ft	m	ft

Building Details	Existing	Prop	osed
*Percentage lot			The second
coverage *Number of parking			
spaces			
*Number of loading spaces			
Existing and Propose	d Services:		
15. What is the access t	o the subject prope	ty?	
Provincial Highway:			
Continually maintained mu	inicipal road:		
Right-of-way:			
Seasonally maintained mu	nicipal road:		
	of the road or stree	t that provides a	access to the
Other (please specify):	of the road or stree	t that provides a	access to the
Other (please specify): 16. What is the name of subject property.	only, please descrik	e the parking an	d docking
Other (please specify): 16. What is the name of subject property. Victoria Road South 17. If access is by water	only, please descrik ne used and the app	e the parking an	d docking
Other (please specify): 16. What is the name of subject property. Victoria Road South 17. If access is by water facilities used or to be	only, please descrik ne used and the app	e the parking an	d docking
Other (please specify): 16. What is the name of subject property. Victoria Road South 17. If access is by water facilities used or to be	only, please descrik ne used and the app	e the parking an	d docking
Other (please specify): 16. What is the name of subject property. Victoria Road South 17. If access is by water facilities used or to be	only, please descrik se used and the app t land to the nearest	e the parking an roximate distanc public road.	d docking e of these
Other (please specify): 16. What is the name of subject property. Victoria Road South 17. If access is by water facilities used or to be facilities from subject facilities facilities from subject facilities facilities from subject facilities facili	only, please descrike used and the app t land to the nearest	e the parking an roximate distanc public road.	d docking e of these der item 24 of
Other (please specify): 16. What is the name of subject property. Victoria Road South 17. If access is by water facilities used or to be facilities from subjection (This information should be this application)	only, please descrike used and the app t land to the nearest	e the parking an roximate distance public road.	d docking e of these der item 24 of

Water Supply	Existing	Proposed
Communal water		
Private well	X	
Other water supply		
Water sewers		
Municipal sewers		
Communal sewers		
Private septic	X	
Other sewage disposal		

19. If the application would permit development on privately owned and operated individual or communal septic systems, would more than 4500 litres of effluent be produced per day as a result of the development being completed?
Yes: No:
If yes, the following reports are required:
Servicing options report
A hydrogeological report
20. How is storm drainage provided?
Storm Sewers:
Ditches: X
Swales:
Other: (explain below)

Other Related Planning Applications:

21. Has the current owner (or any previous owner) made application for any of the following, either on the subject property or within 120 metres of the subject lands?

Planning Application	Yes	No	*File Number	Approval Authority	Subject Lands	Purpose	*Status
Official Plan Amendment							
Zoning By- Law Amendment			I Market 6				
Minor Variance							
Plan of Subdivision							
Consent (Severance)							
Site Plan Control							

22.	Has the Order?	subject	land ever	been the	subject o	f a Minister's	s Zoning
Yes:		No:	X				
If yes,	provide the	e Ontario F	Regulation i	number of th	at order, if k	nown:	
Oth	er Supp	orting I	nforma	tion			
lr T	npacts St raffic Stu	udy, Hyd dy, Marke	rogeolog et Area St	ical Repor	t, Servicing	: (e.g. Enviro g Options Re nce Report,	
Pla	nning Justi	fication Re	port				

Application Drawing

- 24. Please provide an accurate drawing of the proposal, preferably prepared by a qualified professional. In some cases, it may be more appropriate to submit additional drawings at varying scales a lot better illustrate the proposal. The drawing must include the following information (see on following page):
- Owner/applicant's names;
- Legal description of the property;
- Boundaries and dimensions of the subject and its current land use;
- Dimensions of area of amendment (if not, the entire property);
- The size and use of all abutting land;
- All existing and proposed parking and loading areas, driveways, and lanes;
- The location and nature of any easements or restrictive covenants on the property;
- The location of any existing drains or award drains;
- Woodlots, forested areas, ANSIs, ESAs, wetlands, floodplain, and all natural watercourses (rivers, stream banks, etc.);
 - The location, size, and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line, and side lot lines;
 - The name, location, and width of each abutting public or private road, unopened road allowance or right-of-way;
- If access to the subject land is by water only, provide the location of the parking and docking facilities to be used;
- Other features both on site or nearby that in the opinion of the applicant will have an effect on the application (such as bridges, railways, airports, roads, drainage ditches, wells, septic systems, springs, slopes, gravel pits); and
- The drawing should also include the scale, north arrow, and date when the drawing was prepared.

Authorization for Agent/Solicitor to act for Owner

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

l (we)James Xue	reb	of the
Township	of Puslinch	County/Region of
Wellington		do hereby authorize
MHBC Planning (Tre-	or Hawkins)	to act as my agent in this application.
		11
	2	May 5/21
	-	pate

Affidavit					
I (we)Tre	evor Hawkins			3	of the
City	of Wate	erloo	Count	ty/Region o	
Waterloo		soler	nnly declare that a		
contained in this on	plication are true an				momo
	plication are true, an				
conscientiously beli	eving it to be true, ar	nd knowing t	hat it is of the sam	ne force an	d effec
as if made under oa	ith and by virtue of th	ne CANADA	EVIDENCE ACT.	DECLAR	ΞD
before me at the	City	of	Kitchener		_ in the
County/Region of_	Waterloo		this	10th	_day of
May	, 2021				
			May 10, 20	21	
Signature of Owner	or authorized			ate	
solicitor or agent					
				1	
-			MAY	0/21	
Signal Dead Floor April Regional Municipality of W	aterioo, for		, c	ate	
MacNaughton Hermsen Br Planning Limited.					
Agreement2to	Post Sign and	Permit S	Site Visits		
accordance with the date Township staff	ublic notification and Township of Puslind has deemed that the has been given fina	ch's sign requ application	uirements within o	ne week o	f the
staff/representatives	purposes of process of the Township of F llowing times (please	Puslinch to e	nter onto my lands		ect
Any and all times:	Certain days	as specified	: By appoir	ntment only	y: 🗶
1_5_	T				
	~		May 10, 202	1	
Signatu	re		Da	ate	

For Administrative Purposes Only:

Application fee of	\$	_received by the municipality	
Date Fee Received:		- :	
Date Application Filed:	-	=	
File Number:		=	
Application deemed comp	olete:		
Signature of Municipal I	Employee	Date	

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.

*



KITCHENER WOODBRIDGE LONDON KINGSTON BARRIE BURLINGTON

May 7, 2021

Township of Puslinch Planning and Zoning Department 7404 Wellington Road 34, Puslinch, ON NoB 2Jo

via e-mail

RE: **Zoning By-law Amendment**

4290 VICTORIA ROAD S, TOWNSHIP OF PUSLINCH

OUR FILE: 20449

On behalf of our clients' James and Wanda Xuereb who own property at 4290 Victoria Road South in the Township of Puslinch (subject lands) we are pleased to submit a Zoning Bylaw Amendment Application to introduce new site specific provisions on the lands, to permit the limited use of shipping containers and an accessory building for gain or profit.

Further to the above, as the Township is aware, a portion of the existing driveway is located on adjacent lands. The previous and enclosed air photo do not accurately reflect the actual location of the driveway in relation to the property boundary. The owner is working to resolve the minor encroachment of a portion of the driveway - it is understood that the matter would need to be resolved prior to final approval of the Zoning By-law Amendment and/or Site Plan application. The Site Plan application will be submitted at a later date, following Council's consideration of the Zoning By-law Amendment.

In support of the application, the following is provided:

- 1. A completed and fully executed Zoning Bylaw Amendment application; and
- 2. A Planning Justification Report

The owner has made separate arrangements for payment of the application fees with the Township.

Should you have any questions regarding the information discussed above, please let us know.

Yours truly,



Trevor Hawkins, M.PL, MCIP, RPP

Partner



WOODBRIDGE LONDON KINGSTON BARRIE BURUINGTON

PLANNING JUSTIFICATION REPORT

ZONING BY-LAW AMENDMENT

4290 Victoria Rd S

Township of Puslinch

Date:

May 2021

Prepared for:

James and Wanda Xuereb

Prepared by:

MacNaughton Hermsen Britton Clarkson Planning Limited (MHBC)

540 Bingemans Centre Drive, Suite 200

Kitchener, Ontario

T: 519.576.3650

F: 519.576.0121

Our File 20449A

1.0 INTRODUCTION

1.1 Overview

MHBC has been retained by James Xuereb to assist with applications to amend the Township of Puslinch Zoning By-law to permit site specific uses on the lands. The subject property measures approximately 29.1 hectares in area and is located on the southwest side of Victoria Road South, north of Highway 401. The lands are primarily used for agriculture. A single detached dwelling and accessory buildings are also located on the lands. The westerly portion is treed and remains in a natural condition.

The Township of Puslinch provided the owner with a notice of infraction on December 16, 2020. The notice identified the following zoning infractions:

- An accessory structure used for the storage, maintenance and repair of vehicles. The notice indicated that a portion of the building was being rented (tenanted);
- 2. The outdoor storage of heavy machinery and trailers (excavator, skid steers);
- 3. The outdoor storage of 12 shipping containers.

The Zoning By-law Amendment has been advanced in response to the notice described above, with the intent that the use on the lands, as proposed in this application, would be recognized and permitted in the Zoning By-law.

1.2 Report Framework

This Planning Justification Report includes a detailed description of the subject lands, the existing policy framework and the rationale for the ZBA application. The Report has been prepared for submission to the Township of Puslinch and includes the following primary components:

- An introduction and general description of the subject lands, surrounding uses and existing conditions to provide an understanding of the locational context;
- A review of the planning permissions applicable to the subject lands; and
- An assessment of the proposal relative to the existing framework of planning policies and development regulations.

As part of this planning analysis, the following documents were reviewed:

- Provincial Policy Statement;
- The Growth Plan for the Greater Golden Horseshoe;
- County of Wellington Official Plan;
- Township of Puslinch Zoning By-law.

2.0

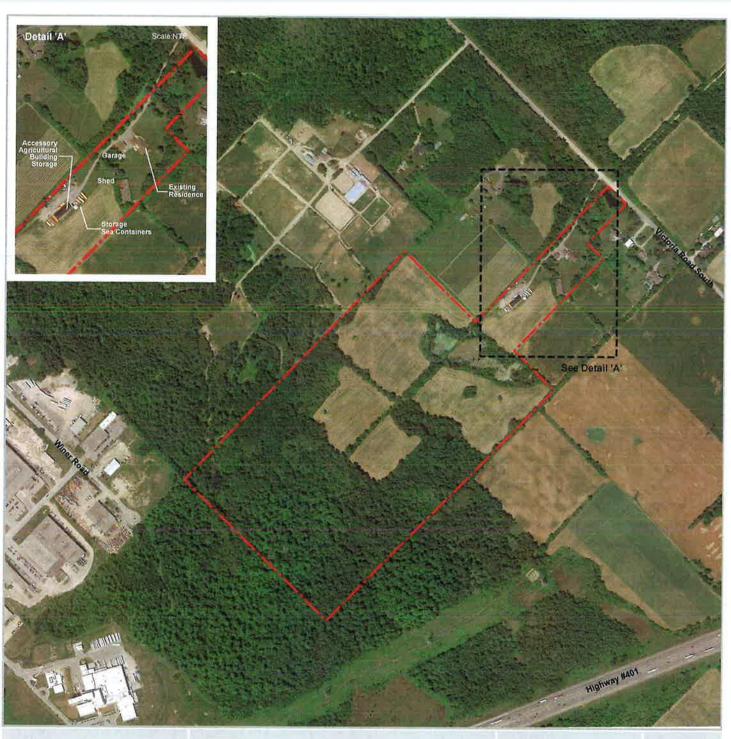
SITE AND SURROUNDING LAND USES

2.1 Site Location and Description

The subject property (site) is situated on the southwest side of Victoria Street South, north of Highway 401 and County Road 36, in the Township of Puslinch. The property is narrow at its front with a driveway access from Victoria Road South leading to a large, rectangular shaped parcel. **Figure 1** illustrates the location of the subject lands.

The site is currently used for agriculture purposes, with large sections of the property actively farmed. There is a single detached dwelling with detached garage located towards the front of the property. A second accessory building is located further to the west—accessed from the same driveway. Shipping and other storage containers are located adjacent to the accessory building. A portion of this accessory building is used to store automobiles not owned by the property owner.

As noted above, access to the lands is provided from Victoria Road South via an existing driveway. We have visited the site and as the Township is aware, a portion of the driveway is located on the adjacent lands to the north. The air photo and related property fabric do not accurately delineate that boundary – in fact, a portion of the driveway close to the road is located on the subject lands. The owner is working through the appropriate process to have the entirety of the driveway legalized and has engaged a surveyor. As per our discussions with Township staff, we understand that final approval of this application will be dependent upon the establishment of legal access to the lands that meets Township standards, and the resolution of the portion of the driveway that appears to encroach onto the neighbour's lands.



Location Map Figure 1



Subject Lands (±29.1 ha)

DATE: February 5, 2021

SCALE: ±1:7,500

FILE: 20449A

DRAWN: DGS

K:120449A-4290 VICTORIA ROAD SOUTH-PUSLINCH/RPT/LOCATION MAP DWG



James and Wanda Xuereb 4290 Victoria Road South Township of Puslinch, County of Wellington

Base Map Source: Google Earth

2.2 Surrounding Land Uses

The following table identifies the land uses surrounding the Site.

Table 1 – Surrounding Land Uses

Relative Location TO THE NORTH:	Existing Land Uses Agriculture use with several accessory outbuildings
TO THE EAST:	Environmental lands, agricultural uses with multiple outdoor storage uses and equipment
TO THE SOUTH:	Agricultural uses, environmental lands and the 401. There are residential dwellings along Victoria Street South to the southeast of the subject lands.
TO THE WEST:	Environmental lands and further to the west, industrial uses

More specifically, there are significant environmental features generally in the area, which are identified in the Official Plan. The general area includes a mix of rural residential properties and larger, agricultural properties similar in size and scale to the subject lands. Some of these properties also contain large amounts of outdoor storage and storage buildings/shipping containers not unlike those located on the subject lands (though the other properties appear to have significantly more of them).

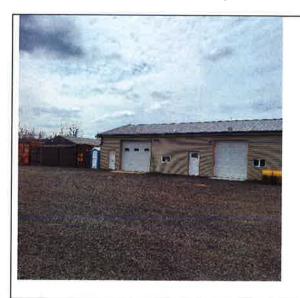
3.0 THE PROPOSAL

3.1 Background

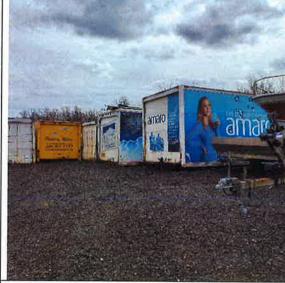
The owners do not reside on the subject lands, however they utilize the lands. The majority of the lands are farmed and will continue to be farmed – save for the environmental features identified in the Official Plan. Access to the property is from Victoria Road South, adjacent to a small wetland feature regulated by the Grand River Conservation Authority (GRCA). The driveway provides access to the existing single detached dwelling and detached garage. The detached garage is utilized by the property owner.

Further to the west, the driveway provides access to an additional accessory storage building and a route for farm vehicles to access and cultivate the agricultural fields on the property. The owner has a backhoe that is utilized to maintain the driveway access to the agricultural fields.

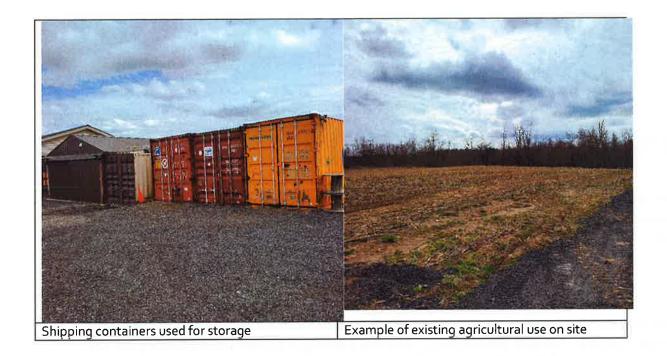
Adjacent to the westerly accessory building are a series of shipping and other storage containers. They are located a significant distance from Victoria Road South and would not be visible from either that road, or County Road 36. There is a recreational vehicle temporarily stored next to the shipping (a boat). The following photos illustrate the existing situation:



Existing accessory building – portion is used to store vehicles



Example of existing containers used for storage. Temporary boat also stored on site.



3.2 Proposed Use

The lands are zoned Agriculture, which permits limited ancillary uses. Shipping containers are permitted in the Township's Zoning By-law, based on the size of the property. The storage of vehicles would also be permitted, provided they are owned by the property owner. Although the Township identified outdoor storage of machinery and equipment, the owner intends to only store an existing backhoe, used for property maintenance, on the lands.

The Zoning By-law Amendment application proposes the following additional land uses:

- 1. Permission for a maximum of 10 storage containers, of which a maximum of 4 may be rented out for gain or profit;
- 2. Permission for the storage of up to 4 automobiles within an existing accessory building for gain or profit. The storage of the vehicles would not include services or activities generally associated with a professional automotive garage use, but would include the limited maintenance of the vehicles typically undertaken by private property owners (e.g. changing tires and similar personal maintenance).

The lands will continue to be used for agricultural uses, and for the single detached dwelling. No changes to the existing Environmental Features are proposed. The accessory building and the shipping containers are more than 30 metres from either wetland regulated by the GRCA.

4.0 POLICY ANALYSIS

The following section outlines how the proposal addresses relevant policies from the Provincial Policy Statement, The Growth Plan for the Greater Golden Horseshoe and the County of Wellington Official Plan.

4.1 Provincial Policy Statement

The Provincial Policy Statement (PPS) sets the policy foundation for regulating the development and use of land in Ontario. The 2020 PPS was issued under the authority of Section 3 of the Planning Act and applies to the proposed Zoning By-law Amendment application.

Section 3(5) of the Planning Act requires that all decisions affecting planning matters 'shall be consistent with' policy statements issued under the Act. The following considers the relevant policies of the PPS.

4.1.1 Rural Areas in Municipalities

Rural areas are a system of lands that may include rural settlement areas, rural lands, prime agricultural area, natural heritage features and other resource areas. The subject lands are primarily used for agricultural uses, though they are not designated prime agricultural. The small scale "commercial" use, which includes the renting of 4 storage containers and a portion of an existing accessory storage building will not impact the continued use of the lands for agricultural purposes, nor impact adjacent lands. The proposed development is consistent with the rural landscape, which includes many similar uses on similar sized properties, and can be sustained by existing services levels, which include a year round maintained municipal road, with easy access to County Rod 36 and Highway 401.

No changes to the existing services on the site are proposed. The natural heritage features that exist on site, and that are so designated in the County Official Plan are outside of the area where the accessory building and storage containers are located. No impacts on the features are anticipated – the structures/containers exist and some are proposed to be removed.

4.1.2 Conclusion

In light of these considerations and our broader evaluation of this proposal, it is our opinion that the application to permit very small scale and specific commercial uses on the Site is consistent with the PPS.

4.2 The Growth Plan for the Greater Golden

The Growth Plan guides the long term planning and growth within the Greater Golden Horseshoe. The Township of Puslinch is located within the boundaries of the Growth Plan and is subject to its policies.

The subject lands are located in a Rural Area (outside of a settlement area) where municipalities are expected to plan for a variety of cultural and economic opportunities to serve the needs of rural residents and area businesses. Development outside of settlement areas may be permitted on rural lands for:

- a) the management or use of resources;
- b) resource-based recreational uses; and
- c) other rural land uses that are not appropriate in settlement areas, provided they:
 - i. are compatible with the rural landscape and surrounding local land uses;
 - ii. will be sustained by rural service levels; and
 - iii. will not adversely affect the protection of agricultural uses and other resourcebased uses such as mineral aggregate operations.

The proposed additional land uses, including the shipping containers and the use of the existing accessory building to store vehicles represent low intensity land uses that will not impact the continued use of the majority of the lands for agricultural uses. They will also not impact the rural residential uses located close to Victoria Road South, southeast of the accessory building and shipping containers. More intensive and larger commercial or industrial operations would be better suited to a settlement area within the Township or an area designated for that use. However given the very small scale proposed for the site and the lack of impact on the existing agricultural use, or surrounding lands, this small scale commercial use is better suited to a rural location, such as the subject lands.

In our opinion, the proposed site specific Zoning By-law Amendment conforms to the Growth Plan.

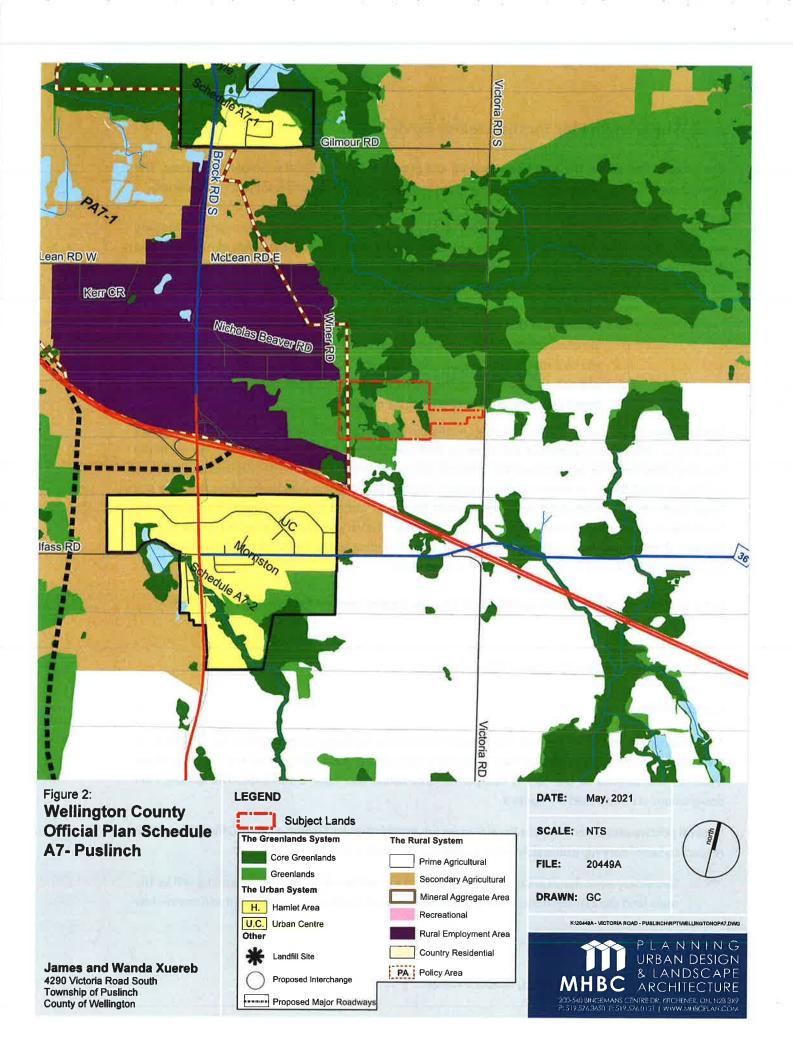
4.3 County of Wellington Official Plan

4.3.1 Policies

The developable portion of the Site is designated Secondary Agricultural on Schedule A7 – Puslinch, of the County of Wellington Official Plan. Secondary Agricultural areas are part of the County's 'Rural System.' The balance of the Site is designated Greenlands and Core Greenlands. The Official Plan designations are illustrated on **Figure 2**.

General policies associated with the Rural System are provided under Section 6 of the Official Plan. With respect to Secondary Agricultural Areas, it is noted under Section 6.3 that:

Secondary agricultural areas of non-prime farmland will be identified. While farming will be the main land use activity in these areas, a broader range of residential, employment and community



uses will be allowed than in prime agricultural areas so long as the use does not adversely impact existing agricultural operations and is in keeping with the rural character of the area.

Policies associated with the Secondary Agricultural designation are provided under Section 6.5 of the Official Plan and are defined under Section 6.5.1 accordingly:

Secondary Agricultural Areas include lands within the Rural System which are determined to be non-prime agricultural areas but which can sustain certain agricultural activities.

Section 6.5.3 lists the permitted uses under the Secondary Agricultural designation, as follows:

Permitted uses and activities in Secondary Agricultural Areas may include:

- a) all uses allowed in the Prime Agricultural Area;
- b) small scale commercial, industrial and institutional uses;
- c) public service facilities.

In Secondary Agricultural Areas, all types, sizes and intensities of agricultural uses and normal farm practices shall be promoted and protected in accordance with provincial standards.

Section 6.5.4 provides further policy direction regarding small scale commercial uses. Such uses are permitted, provided that:

- a) appropriate sewage and water systems can be established;
 - a. No changes to the existing systems are proposed. The shipping containers will not include any plumbing. The accessory building is already provided with services and no changes are contemplated.
- b) the proposed use is compatible with surrounding uses;
 - a. The majority of the developable portion of the site is used for agriculture. The vehicles are proposed to be stored within an existing building (that is permitted) and will not be visible from adjacent properties. The Bylaw permits shipping containers to be stored on site. The owner has requested more than the Bylaw permits, and permission to rent up to 4 containers for commercial purposes. Both of these additional uses will have minimal impact on surrounding land uses and will not impact their continued use. We note also that a significant portion of the lands to the west are treed. Neither use is anticipated to generate regular visits to the property.
- the use requires a non-urban location due to market requirements, land requirements and/or compatibility issues;
 - a. The scale of the use is better suited to a rural location such as the subject lands, rather than occupying limited commercial or industrial lands within the Township that are better suited to land uses that serve the broader community and that generate employment. Neither of the proposed uses will generate employment and they are better suited to a property such as the subject lands which has space for these limited ancillary uses that do

not impact adjacent properties nor the continued agricultural use of the subject lands. Several other surrounding properties contain similar buildings for storage and many surrounding properties have significantly more outdoor storage.

- d) the use will not hinder or preclude the potential for agriculture or mineral aggregate operations;
 - a. No change to the current agricultural operation is proposed the accessory building and driveway access exist and the storage containers are located adjacent to the accessory building – they do not remove lands from active farming.
- e) the use will be small scale and take place on one lot and large scale proposals or proposals involving more than one lot will require an official plan amendment.
 - a. The use is very small scale and will occur within an existing identified area on the lands that is not used for agriculture. The lands constitute a single lot.

4.2.3 Conclusion

The Secondary Agriculture designation permits small scale commercial and industrial uses, subject to criteria. The proposed uses of the land for storage within shipping containers and for the limited storage of automobiles is very small scale, will occur either within an existing building, or an existing portion of the property not farmed. Neither use will negatively impact adjacent properties, the adjacent natural features or the continued use of the majority of the developable area of the lands for agricultural purposes. The very small scale of the use is suitable for the lands.

5.0 ZONING ANALYSIS

5.1 Current Zoning

The developable portion of the site is currently zoned 'Agricultural (A) Zone' pursuant to the Township of Puslinch Zoning By-law (Zoning By-law 023-2018, as amended). The balance of the lands are subject to the Natural Environment (NE) Zone. The existing accessory building and the location of the shipping containers are within the portion of the site zoned Agriculture. No new buildings are proposed. The existing zoning is illustrated on **Figure 3**.

5.1.1 Agricultural Zone

Permitted uses within the Agricultural Zone include (but are not limited to) the following:

- Agricultural use;
- Agriculture-related use;
- Single detached dwelling;
- Home business;
- Home industry.

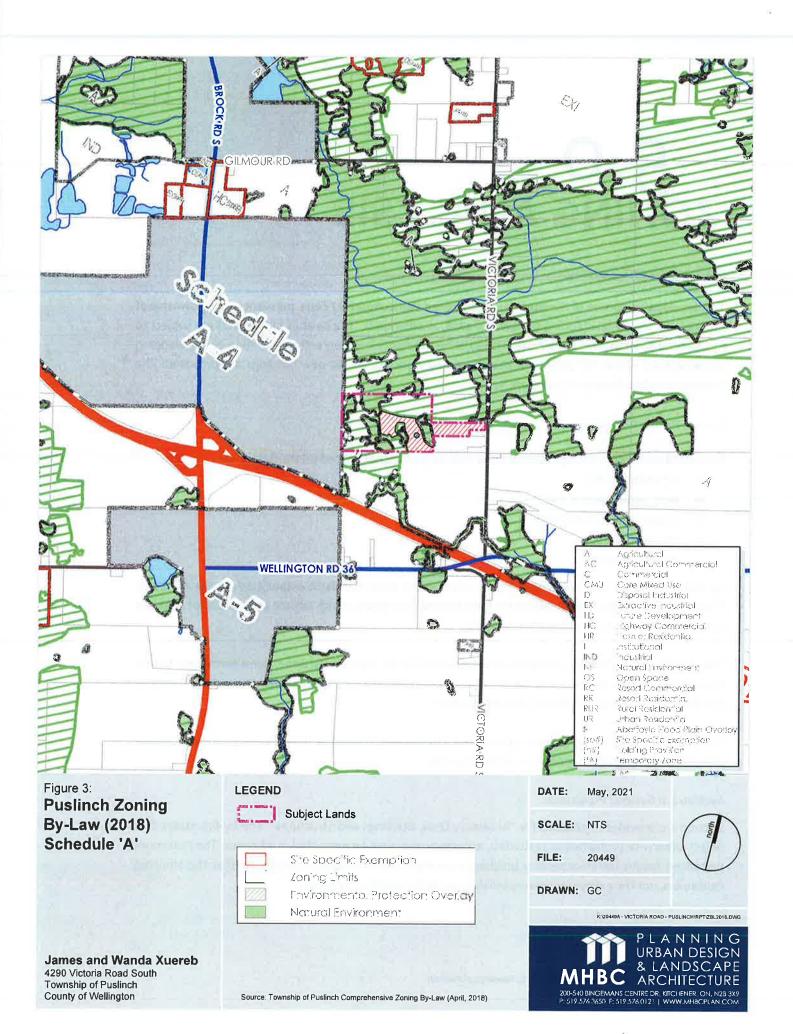
Agriculture-related uses are subject to the Commercial Zone standards established for the AC Zone. There are also additional regulations for farm related businesses, which include permission for a certain amount of floor area and ability for retail sales.

The specific use of shipping containers is not identified in the Agricultural Zone, nor is permission to rent shipping containers to the public for storage, or permission to rent space within an existing accessory building for the storage of vehicles owned by others.

The use of the lands for agriculture is permitted. The General Provisions of the By-law provide additional direction regarding other ancillary or accessory uses.

Section 4.0 General Provisions

Section 4.4 provides regulations for "Accessory Uses, Buildings and Structures." The By-law states that unless otherwise prohibited or restricted, accessory uses shall be permitted in all zones. The maximum permitted height for an accessory building in an Agricultural Zone is 7 metres. Neither the shipping containers, nor the existing accessory building exceed a height of 7 metres.



Section 4.22 provides regulations for "Outdoor Storage Uses and Areas." The storage of derelict or scrap motor vehicles or machinery is prohibited. The owner does not propose to store any scrap machinery or vehicles. The owner does intend to locate one backhoe on the property, which is used for property maintenance purposes. The backhoe will not be stored in a front yard and is not proposed to be stored close to either the side or rear lot lines.

Section 4.24 regulates the use of "shipping containers." Shipping containers are permitted as an accessory structure for storage purposes in the Agricultural zone. The following regulations apply to the use of shipping containers on the subject lands:

- They are only permitted on a lot within a minimum area of o.4 ha;
 - The subject lands are more than 0.4 ha
- A maximum of one (1) shipping container is permitted per 0.4 ha of lot area to a maximum of 255
 m² in total for all shipping containers;
 - The proposed Zoning By-law amendment would permit up to 10 shipping containers;
- Shipping containers are only permitted in the rear yard;
 - o The shipping containers would be located in the rear yard.
- Shipping containers are permitted where outdoor storage and/or outdoor storage use is also permitted;
 - o Shipping containers are permitted in the Agricultural Zone. The definition of "agricultural use" includes "accessory outdoor storage area."
- Shipping containers shall not be used for human habitation;
 - o Human habitation is not proposed.
- The maximum size of a shipping container is 51 m²; and
 - o The shipping containers are a standard size and all will comply with the maximum size;
- On any lot zoned Agricultural, a minimum of 75% of all shipping containers, based on floor area, shall be located within 50 metres of an agricultural building or structure.
 - The proposed containers are located within 50 metres of the existing accessory building on the lands, a portion of which is used to store materials and equipment used for the agricultural operation and maintenance of the property.

The By-law permits shipping containers within the Agricultural zone, however the size limitation of 255 m² would limit the maximum number of containers, based on the size of each container. The owner proposed a maximum of 10 shipping containers, the location of which complies with the By-law. Of the 10 containers, only 4 would be available for rent (gain or profit). Section 4.29 (a)xii does not permit the use of any accessory building or structure for gain or profit, unless otherwise permitted in the By-law. The proposed Zoning By-law Amendment would permit up to 4 containers to be used for gain or profit. The Site Plan process could be utilized to distinguish between the 4 containers used for gain/profit and the remaining 6 containers used by the owner.

The existing accessory building located on the lands has two separate internal components. One portion of the building is used by the owner for the storage of materials and equipment used for the subject lands. The other portion is proposed to be rented for gain/profit to permit individuals that do not reside at the

property to store their vehicles inside the building and to perform typical routine maintenance that would be expected of any typical homeowner. As the by-law does not permit an accessory building to be used for gain or profit, an amendment to the Zoning By-law is required. The proposed Amendment would permit a maximum of 4 vehicles within the building, with the floor area limited to 50% of the accessory building, provided that the storage and maintenance of the vehicles is limited to routine minor activities that would typically occur at a private residence. The intent is not to permit an automotive garage or similar. It is expected that if such repairs/maintenance is required, the tenant would take their vehicle to have it properly serviced off-site.

The Zoning By-law also provides a definition of "Commercial self-storage facility", as follows:

any premises used for the temporary storage of items, which contains secured storage areas and/or lockers which are generally accessible by individual loading doors for each storage unit or locker, or stored outdoors in a secured area.

The owner is not proposing to use the entire lot for a commercial self-storage facility or operation, which would be better suited to a commercial designation. Rather, the owner is proposing to rent 4 shipping containers for the temporary storage of items by others and to rent a portion of an existing accessory building to be used to store vehicles. The scale of the use is important, as it is very minor compared to the much more significant use of the lands for agriculture.

The Zoning By-law defines "Private Garage" as:

an enclosed building that is detached or part of the principal building, and is designed and used for the storage of one or more vehicles and in which there are no facilities for repairing or servicing such vehicles for gain or profit.

The owner proposes to use an enclosed building that is detached from the principal building and that is designed for the storage of more than one vehicle. The vehicles are not intended to be repaired and serviced on the subject lands, other than the aforementioned routine maintenance. The owner is also not charging for the repair/servicing of the vehicles – the gain or profit is solely related to the ability to store the vehicles on the property within the accessory building. As such, the proposed use is more consistent with a private garage than with a Motor Vehicle Body Shop or Motor Vehicle Service Establishment (both definitions included below).

Motor Vehicle Body Shop means any premises used for the painting and/or repairing of the exterior and/or the undercarriage of motor vehicle bodies and includes the temporary parking of motor vehicles in the process of repair.

Motor Vehicles Service Establishment means any premises where services are performed or executed on motor vehicles and may include the installation of exhaust systems, repair of the electrical systems, transmission repair, brake repair, radiator repair, tire repair and installation, rustproofing, motor vehicle diagnostic centre, major and minor mechanical repairs or similar use.

As the above definitions make clear, the owner's proposal to permit the storage of up to 4 vehicles within a portion of an existing accessory building is neither a Motor Vehicles Body Shop, nor a Motor Vehicles Service Establishment. The intent of those uses is for repairs and fulsome maintenance of vehicles, by professionals for gain and profit.

5.3 Proposed Zoning

5.3.1 Agricultural (A) Zone Special Provision

In our opinion an 'A' Zone Special Provision is an appropriate mechanism to accommodate the proposed small scale commercial uses on the subject property.

The proposed Special Provision presented below would permit the uses, with additional regulations to ensure its successful operation.

A-(_) (4290 Victoria Road South)

Notwithstanding the uses permitted in the Agricultural Zone and any provisions in this By-law to the contrary, and in addition to the uses permitted in the 'A' zone, the lands zoned A-(_) may be used for the following uses, subject to the included special provisions:

- (i) A maximum of 10 shipping containers where:
 - a. No single container is more than 51 m2;
 - b. A maximum of 4 containers may be rented for the storage of household goods and materials for gain or profit;
 - c. The containers shall be located adjacent to the existing accessory building and shall not interfere with the agricultural operation on the lands.
- (ii) Storage of up to 4 motorized personal vehicles, where:
 - a. The vehicles are stored within the existing accessory building on the lands;
 - b. Up to a maximum of 50% of the accessory building may be used for the storage of the vehicles;
 - c. Minor repair and maintenance may be carried out, provided the maintenance and repair would be consistent with the typical repair and maintenance undertaken by a homeowner for their own personal vehicle.

5.4 Summary

The proposed small scale commercial uses are an appropriate land use for the subject lands. Shipping containers and storage (private garage) are already permitted uses. The minor commercial component will not impact the continued use of the lands for agricultural purposes, nor will it impact surrounding lands. The small scale nature of the use is better suited to a larger rural property such as the subject lands. A more intensive and larger scale commercial/industrial use would be more appropriate within an area so designated in the Official Plan.

6.0

CONCLUSIONS

In conclusion, the requested Amendment to the Zoning By-law is appropriate for the subject property, as the proposed uses are very small scale, will not impact the continued use of the lands for agricultural purposes and will not impact adjacent properties. This assessment is based, in part, upon the following considerations:

- 1. The Official Plan permits small scale commercial and industrial uses. While the proposed use is very small scale, it is appropriate for a rural context and does not require a more urban location.
- 2. The Township's By-law permits shipping containers, and a private garage. The proposed use of 4 shipping containers for gain/profit the use of a portion of an existing accessory building to store vehicles for gain/profit is better suited to the rural location, as the uses do not warrant a commercial land use designation or zone.
- 3. Shipping containers and outdoor storage occur in the immediate area, in some cases at a much greater scale than the subject lands.
- 4. The owner is responding to a By-law Enforcement infraction and the proposed site specific zoning is an appropriate manner in which to address the infraction, while allowing some aspects of the use to continue, through recognition and permission through a site specific Zoning By-law Amendment.