



PLANNING & DEVELOPMENT ADVISORY COMMITTEE
JUNE 8, 2021
7:00 p.m.

Register in advance:

https://us02web.zoom.us/webinar/register/WN_5tNmBP0NSwu13PkWcDf9IQ

Or join by phone:

Dial (for higher quality, dial a number based on your current location):

Canada: +1 613 209 3054

or +1 647 374 4685

or +1 647 558 0588

or +1 778 907 2071

or +1 438 809 7799

or +1 587 328 1099

Webinar ID: 811 8020 4214

Passcode: 308793

International numbers available: <https://us02web.zoom.us/j/kcAOPdISMj>

AGENDA

COMMITTEE OF ADJUSTMENT:

- 1. CALL THE MEETING TO ORDER**
- 2. ROLL CALL**
- 3. OPENING REMARKS**
- 4. DISCLOSURE OF PECUNIARY INTEREST**
- 5. APPROVAL OF MINUTES**
 - May 11, 2021
- 6. APPLICATIONS FOR MINOR VARIANCE OR PERMISSION** under section 45 of the Planning Act to be heard by the Committee this date:
 - 6(a) Minor Variance Application D13-HUT – James and Sharon Hutton – 6547 Wellington Road 34, Rear Part Lots 2 and 3, Concession 2, Township of Puslinch.**

Requesting relief of Zoning By-law #23-2018, as amended, from Section 4.2(b)(i) - Accessory Apartments, to permit an accessory apartment to be located 74 meters from the single detached dwelling on the lot instead of a maximum of 15 meters, as required.



PLANNING & DEVELOPMENT ADVISORY COMMITTEE

JUNE 8, 2021

7:00 p.m.

6(b) Minor Variance Application D13-JON – Andrew, Paul & Wendy Jones – 4553 Watson Road South, Part Lot 17, Concession 10, Township of Puslinch.

Requesting relief of Zoning By-law #23-2018, as amended, from Section 4.16.2 General Provisions MDS II New or Expanding Livestock Facilities and Manure Storage facilities.

The purpose and effect of the application is to provide relief from the Minimum Distance Separation II (MDS II) setback requirement to permit a reduced Minimum Distance Separation Type II of approximately 65 meters instead of 93 meters (Type A) (a difference of 28 meters).

6(c) Minor Variance Application D13-SLA – Mark & Karen Slade - 17 Calfass Road, Lot 30, Concession 7, Township of Puslinch.

Requesting relief of New Comprehensive Zoning By-law # 23-2018, as amended, from Section 4.17.1(b) and Section 12.4 to increase the size of an existing garage.

6(d) Minor Variance Application D13-SAV – James Savoie – 596 Arkell Road, Part Lot 3, Plan 131, Part 1 on Reference Plan 61R-9995, Township of Puslinch.

Requesting relief of New Comprehensive Zoning By-law # 23-2018, as amended, from Section 4.17.1(b) to increase the size of an existing residential dwelling.

7. OTHER MATTERS

- None

8. ADJOURNMENT OF COMMITTEE OF ADJUSTMENT

PLANNING & DEVELOPMENT ADVISORY COMMITTEE

1. CALL THE MEETING TO ORDER

2. OPENING REMARKS

3. ROLL CALL

4. DISCLOSURE OF PECUNIARY INTEREST

5. APPROVAL OF MINUTES

- May 11, 2021



PLANNING & DEVELOPMENT ADVISORY COMMITTEE

JUNE 8, 2021

7:00 p.m.

6. APPLICATION FOR SITE PLAN URBAN DESIGN REVIEW

- None

7. ZONING BY-LAW AMENDMENT

- None

8. LAND DIVISION

8(a) Severance Application B24-21 (D10-BOR) – Jeffrey Born and Vicki Dickson – Part Lot 15, Concession 10, municipally known as 4614 Concession 11, Township of Puslinch.

Proposed severance is 4039.3 square meters with 46.37 meters frontage (Part 1 on sketch), existing paddock area for proposed rural residential use.

Retained parcel is 22.07 hectares with 109.85 meters frontage, existing and proposed residential land agricultural use with existing dwelling and storage building with 5 animal stalls.

8(b). Severance Application B31-21 (D10-WEL) – 6580 Wellington Road Inc. – Part Lot 4, Concession 3, 6580 Wellington Road 34, Township of Puslinch.

Proposed severance is 50 meters frontage x 122 meters = 0.61 hectares, existing agricultural use for proposed rural residential use.

Retained parcel is 21.3 hectares with 100 meters frontage, existing and proposed agricultural use with existing dwelling, garage and pool.

8(c). Severance Application B37-21 (D10-HAM) – William & Lisa Hamilton – Part Lot 13, Concession 9, known municipally as 4674 Watson Road S., Township of Puslinch.

Proposed severance is 0.9 hectares with 100 meters frontage (severed 1 on sketch), vacant land for proposed rural residential use.

Retained parcel is 11.7 hectares with 168 meters frontage, existing and proposed agricultural use (retained 1 on sketch).

8(d). Severance Application B38-21 (D10-HAM) – William & Lisa Hamilton – Part Lot 13, Concession 9, known municipally as 4674 Watson Road South, Township of Puslinch.

Proposed lot line adjustment is 11.7 hectares with 168 meters frontage (severed 2 on sketch), vacant land to be added to abutting agricultural parcel – William, Lisa, Nancy Hamilton & Estate of William Hamilton.

Retained parcel is 78 meters frontage x 111 meters = 0.9 hectares, existing and proposed rural residential use with existing dwelling, garage and shed (retained 2 on sketch).



PLANNING & DEVELOPMENT ADVISORY COMMITTEE
JUNE 8, 2021
7:00 p.m.

9. OTHER MATTERS.

None.

10. CLOSED MEETING

- None

11. NEXT MEETING Tuesday, July 13, 2021 @ 7:00 p.m.

12. ADJOURNMENT



MINUTES

1. CALL THE MEETING TO ORDER

The May 11, 2021 Committee of Adjustment Meeting was held on the above date and called to order at 7:00 p.m. via electronic participation.

2. ROLL CALL

MEMBERS IN ATTENDANCE

Councilor John Sepulis, Chair
Deep Basi
Paul Sadhra
Dan Kennedy
Dennis O'Connor

MEMBERS ABSENT

None

STAFF IN ATTENDANCE

Lynne Banks, Development and Legislative Coordinator
Courtenay Hoytfox, Clerk
Jeff Bunn, Deputy Clerk
Zachary Prince, Planner, County of Wellington

3. OPENING REMARKS

The Chair welcomed those attending the meeting to the Committee of Adjustment and informed the attendees that Township Staff would present the application, then the applicant would have the opportunity to present the purpose and details of the application and provide any further relevant information. Following this, the public can obtain clarification, ask questions and express their views on the proposal. The members of the Committee can then obtain clarification, ask questions and express their views on the proposal. All application decisions are subject to a 20 day appeal period.

4. DISCLOSURE OF PECUNIARY INTEREST

None

5. APPROVAL OF MINUTES

Moved by: Paul Sadhra

Seconded by: Dennis O'Connor

That the Minutes of the Committee of Adjustment meeting held Tuesday, April 13, 2021 be adopted.

CARRIED

6. APPLICATIONS FOR MINOR VARIANCE OR PERMISSION under section 45 of the Planning Act to be heard by the Committee this date:

6(a) Minor Variance Application D13-HUT – James and Sharon Hutton – 6547 Wellington Road 34, Rear Part Lots 2 and 3, Concession 2, Township of Puslinch.

Requesting relief of Zoning By-law #23-2018, as amended, from Section 4.2(b)(i) - Accessory Apartments, to permit an accessory apartment to be located 74 meters from the single detached dwelling on the lot instead of a maximum of 15 meters, as required.

- Matthew Robson, agent for the applicant, requested that the Committee defer the application until he has more time to review the County of Wellington planning report and address any concerns noted in the report.
- The Committee voted unanimously to defer the application until the June 8, 2021 Committee of Adjustment meeting.

That Application D13/HUT requesting relief from provisions of Zoning By-Law #023/2018, as amended, from Section 4.2(b)(i) - Accessory Apartments, to permit:

An accessory apartment to be located 74 meters from the single detached dwelling on the lot instead of a maximum of 15 meters, as required.

Is deferred until the June 8, 2021 Committee of Adjustment meeting.

CARRIED

6(b) Minor Variance Application D13-BUU – Ross Buurma – 6923 Concession 1, Part Lot 17, Concession Gore, Township of Puslinch.

Requesting relief of Zoning By-law #23-2018, as amended, from Section 4.16.2 General Provisions MDS II New or Expanding Livestock Facilities and Manure Storage facilities.

The purpose and effect of the application is to provide relief from the Minimum Distance Separation II (MDS II) setback requirement to permit approximately a reduced Minimum Distance Separation Type II of 106.6 meters (a difference of 30.32 meters) instead of 137 meters. The applicant is proposing a new barn and cannot meet the required distance from the residential dwelling located at 6895 Concession 1.

- Ross Buurma, applicant, provided an overview of the application.
- There were no comments from the public.
- Dan Kennedy asked if the new barn could be moved more to the left of its proposed location to put it in compliance
- Ross Buurma advised that there is a barn located on the neighbouring property and will be working with the owner of the neighbouring barn as a community manure holding and sawdust facility so it was important to have the two barns as close as possible.
- There were no further questions or comments.

That Application D13/BUU requesting relief from provisions of Zoning By-Law #023/2018, as amended, to permit:

Requesting relief of Zoning By-law #23-2018, as amended, from Section 4.16.2 General Provisions MDS II New or Expanding Livestock Facilities and Manure Storage facilities.

The purpose and effect of the application is to provide relief from the Minimum Distance Separation II (MDS II) setback requirement to permit approximately a reduced Minimum Distance Separation Type II of 106.6 meters (a difference of 30.32 meters) instead of 137 meters. The applicant is proposing a new barn and cannot meet the required distance from the residential dwelling located at 6895 Concession 1.

Is approved with no conditions.

CARRIED

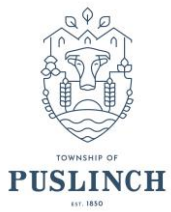
7. OTHER MATTERS

None

8. ADJOURNMENT

Moved by: Deep Basi

Seconded by: Dan Kennedy



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH
COMMITTEE OF ADJUSTMENT
MAY 11, 2021
7:00 PM
VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

The Committee of Adjustment meeting adjourned at 7:14 p.m.

CARRIED

Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property.

Send correspondence to: Owner: ☐ Agent: ☒ Other: _____

2. Provide a description of the "entire" property:

Municipal address: 6547 Wellington RD 34

Concession: 2 Lot: Rear Pt Lots 2&3

Registered Plan Number: _____

Area: ~22.72 ha Depth: ~294.57 m Frontage: ~655.49 m
~56.15 ac ~966.44 ft ~2150.56 ft

Width of road allowance (if known): ~30m

Reason for Application:

3. Please indicate the Section of the Planning Act under which this application is being made. Select one:

☒ Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.); or

☐ Section 45(2) relates to a change to or expansion of an existing legal non-conforming use.

4. What is the nature and extent of the relief that is being applied for? (please specifically indicate on sketch).

Relief from Section 4.2(b)(i) of the Township of Puslinch Zoning By-law 023-2018 as amended, to permit an accessory apartment to be located 74 metres from the single detached dwelling on the lot, whereby, the Zoning By-law permits a maximum separation distance of 15 metres.

Please see attached sketch detailing the requested relief.

**5. Why is it not possible to comply with the provisions of the by-law?
(please specifically indicate on sketch).**

The existing structure proposed to contain the accessory apartment is located 74m from the existing single detached dwelling on the property. The owner wishes to utilize the upper floor of this existing structure for this accessory apartment versus constructing a new structure within the required 15m setback requirement.

6. What is the current Official Plan and zoning status?

Official Plan Designation: Secondary Agricultural / Greenlands / Core Greenlands

Zoning Designation: Agricultural "A", Natural Environment, Environmental Protection Overlay

7. What is the access to the subject property?

Provincial Highway:

☐

Continually maintained municipal road:

☒

Seasonally maintained municipal road:

☐

Other: ☐ (please specify below)

8. What is the name of the road or street that provides access to the subject property?

Wellington Road #34

9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

N/A

Existing and Proposed Service:

10. Indicate the applicable water supply and sewage disposal:

| Water Supply/Sewage Disposal: | Existing: | Proposed: |
|-------------------------------|-------------------------------------|--------------------------|
| Municipal Water: | <input type="checkbox"/> | <input type="checkbox"/> |
| Communal Water: | <input type="checkbox"/> | <input type="checkbox"/> |
| Private Well: | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Other Water Supply: | <input type="checkbox"/> | <input type="checkbox"/> |
| Municipal Sewers: | <input type="checkbox"/> | <input type="checkbox"/> |
| Communal Sewers: | <input type="checkbox"/> | <input type="checkbox"/> |
| Private Septic: | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Other Sewage Disposal: | <input type="checkbox"/> | <input type="checkbox"/> |

11. How is storm drainage provided?

Storm Sewers: ☐

Ditches: ☒

Swales: ☒

Other means: ☐ (explain below)

Existing Subject and Abutting Property Land Uses, Buildings and their Locations:

12. What is the existing use of:

The subject property? Rural Residential and Agricultural

The abutting properties? Rural Residential and Agricultural

13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)

| Type of Building(s)/ structures | Single Detached Dwelling | | Accessory Structure | |
|--------------------------------------|--------------------------|-----------------------|---------------------------------|----------------------|
| Main Building height | 10.9m m | 35.7 ft. | 6.1 m | 20 ft. |
| *Percentage lot coverage | 0.24% m | ft. | 0.05% m | ft. |
| *Number of parking spaces | N/A | | | |
| *Number of loading spaces | N/A | | N/A | |
| Number of floors | 2 + Finished basement | | 1 + partially finished basement | |
| Total floor area | 1169 m ² | 12580 ft ² | 241 m ² | 2594 ft ² |
| Ground floor area (exclude basement) | 557 m ² | 5999 ft ² | 120.5 m ² | 1297 ft ² |

Including entire basement and attached garage

14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)

| | | | | |
|------------|------------|---------------|------------|---------------|
| Front Yard | ~196 m | ~643 ft. | ~135 m | ~443 ft. |
| Rear Yard | ~60 m | ~197 ft. | ~146 m | ~479 ft. |
| Side Yards | ~626/164 m | ~2054/538 ft. | ~577/226 m | ~1893/742 ft. |

15. What are the dates of acquisition and construction of subject property and building property?

Date of acquisition of subject property: September 2014

Date of construction of buildings property: Detached dwelling - Spring 2014, Accessory structure (former farmhouse) - 1960s

16. How long have the existing uses continued on the subject property? ____

Detached dwelling - no change since construction.

17. Has the owner previously applied for relief in respect of the subject property?

Accessory structure - operating as a secondary dwelling since acquisition. The previous owner was to decommission the previous residential use but either did not do so or converted back to residential prior to acquisition by current owner.

Yes ☐ No ☒

If the answer is yes, please indicate the file number and describe briefly:

N/A

Other Related Planning Applications:

18. Has an application for any of the following on the subject lands?

| Planning Application: | Yes: | No: | File Number: | Approval Authority: | Subject Lands | Purpose: | Status: |
|-------------------------|--------------------------|-------------------------------------|--------------|---------------------|---------------|----------|---------|
| Official Plan Amendment | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Zoning By-Law Amendment | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Plan of Subdivision | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Consent (Severance) | | | | | | | |
| Site Plan | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Minor Variance | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |

Authorization for Agent/Solicitor to act for Owner:

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

I (we) [REDACTED] of the
Township of Puslinch County/Region of
Wellington do hereby authorize

Matthew Robson to act as my agent in this application.

[REDACTED] Signature of Owner(s) April 14, 2021 Date

Affidavit:

I (we) Matthew Robson of the
City of Kitchener County/Region of
Waterloo solemnly declare that all the statements

contained in this application are true, and I, (we), make this solemn declaration
conscientiously believing it to be true, and knowing that it is of the same force and effect
as if made under oath and by virtue of the CANADA EVIDENCE ACT. DECLARED **

before me at the Township of Blandford Blenheim in the
County/Region of Oxford this 14th day of
April, 2021.

***before me by Matthew Robson on behalf of James Hutton at the Township of Blandford Blenheim in accordance with O.
claration Remotely

[REDACTED]
Signature of Commissioner
Craig Robson

April 14th 2021

Date

April 14, 2021

Date

Agreement to Post Sign and Permit Site Visits:

A form is included in the Zoning By-law Amendment application to agree to erect a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits.

The applicant is required to erect and maintain a sign on the proposed lands within one week of the application being deemed complete by staff and to remove the sign when the application has been given final approval. The sign shall be a minimum of 1.2 x 1.2 metres on posts 0.5 metres above grade and include the following wording to be approved by Township staff:

A PROPOSAL HAS BEEN MADE
ON THIS SITE FOR: (50 mm text height)
A ZONING BY-LAW AMENDMENT TO xxx (100 mm text height)
FOR FURTHER INFORMATION
PLEASE CONTACT THE TOWNSHIP OF PUSLINCH 7404 WELLINGTON ROAD 34
(519) 763 - 1226 (30-50 mm text height)

For Administrative Purposes Only:

Application fee of \$ _____ received by the municipality

Date Fee Received: _____

Date Application Filed: _____

File Number: _____

Application deemed complete:

Signature of Municipal Employee

Date

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.



April 15, 2021

Township of Puslinch
7404 Wellington County Rd 34,
Puslinch, ON N0B 2J0

Attention: Lynne Banks, Development and Legislative Coordinator

RE: 6547 Wellington Road #34 - Minor Variance Application

Ms. Banks,

Please accept the attached Minor Variance application package (cover letter, application fee, sketch and images) submitted on behalf of Mr. James Hutton. The Minor Variance application is being submitted to address a zoning compliance manner regarding an existing secondary dwelling on the above noted lands.

Background

Mr. Hutton acquired the subject property in September 2014. Prior to this acquisition, the previous owner of the property had recently constructed a new single family dwelling (hereinafter referred to as the "new dwelling") on the lands to replace an existing dwelling which was constructed in the 1960s (hereinafter referred to as the "old dwelling"). The previous owner had proposed to convert the old dwelling into a recreational "clubhouse" with the kitchen and bedrooms removed. Based on recent discussions between Township Staff and Mr. Hutton, it is our understanding that a condition of the building permit to construct the new dwelling, was to decommission the residential use of the old dwelling.

Both the new dwelling and old dwelling have their own dedicated well and septic systems. Mr. Hutton has advised that both systems were professionally inspected last year and are in excellent working order. The well and septic system for the old dwelling is the same system which serviced the building when it was a permitted residential building prior to the construction of the new dwelling on the property.

At some point after the building permit was issued for the new dwelling and prior to Mr. Hutton acquiring the property, the previous owner either did not decommission the residential use in the old dwelling, or, converted the use back to residential. When Mr. Hutton acquired the subject property, the old dwelling was operating as a

residential use, and he was advised by the previous owner that all required permits had been received.

Through discussion with Mr. Hutton, and reviewing correspondence between him and Township Staff, I understand the Township received a complaint in late 2020 with respect to the old dwelling operating as a residential use in contravention to the Township's Zoning By-law. Mr. Hutton has acknowledged that this son has been living in the old dwelling since early 2020.

Zoning Review

While the Township's Zoning By-law permits accessory apartments within a detached structure within the Agricultural Zone, the old dwelling currently does not meet two standards. See applicable zoning provisions and commentary below:

Accessory apartment: a self-contained dwelling unit with a private kitchen, bathroom facilities and sleeping areas, which is within or subordinate to a detached, a semi-detached, or townhouse dwelling.

4.2(b.) In the Agricultural Zone, an accessory apartment may be permitted in a detached dwelling or within a detached building, subject to the following provisions:

| | |
|--|---|
| <i>i. the building is located within 15 metres of the single detached dwelling on the lot;</i> | The old dwelling is located ~73m from the existing single detached dwelling. Relief from zoning provision required. |
| <i>ii. the building does not exceed eight (8) metres in height;</i> | The old dwelling is ~6.1m (20ft) at its tallest point. Complies with zoning. |
| <i>iii. the building complies with the minimum interior side, exterior side, and rear yard requirements for a single detached dwelling in the Agricultural (A) Zone; and</i> | The old dwelling complies with all setback requirements for a single detached dwelling in the Agricultural (A) Zone. Complies with zoning. |
| <i>iv. a maximum of one accessory apartment is provided on the lot.</i> | The proposed accessory apartment would be the only accessory apartment on the subject property. Complies with zoning. |
| <i>v. the maximum floor area shall not exceed 40 percent of the floor area of the principal dwelling unit to a maximum of 130m²; and,</i> | The combined living area of the ground floor and upper floor of the old dwelling is approximately 2000ft ² (186m ²) which exceeds the 130m ² requirement. |

| | |
|---|---|
| | <p>To remedy this, Mr. Hutton has committed to limiting the area of the proposed secondary apartment to the upper floor of the old dwelling only and converting the ground floor area to secure file storage for his business. To clearly isolate the two uses from one another, Mr. Hutton proposes to construct a wall at the top of the staircase which currently connects the ground floor and upper floor.</p> <p>Proposed floor plan changes would comply with zoning.</p> |
| <p><i>vi. individual on site sewage and water services are approved for the lot and have adequate capacity for the accessory apartment and any other uses on the lot.</i></p> | <p>Both the new dwelling and old dwelling have their own dedicated well and septic systems. Mr. Hutton has advised that both systems were professionally inspected last year and are in good working order. The well and septic system for the old dwelling is the same system which serviced the building when it was a permitted residential building prior to the construction of the new dwelling.</p> <p>If required, a report from a well & septic professional can be provided verifying the systems are in good working order.</p> <p>Complies with zoning.</p> |

Review of the 4 Tests of a Minor Variance

Section 45(1) of the Planning Act sets out 4 tests for which minor variance is evaluated upon. Please see analysis on how we believe the requested variance satisfies these tests:

Is it desirable for the appropriate development or use of the land, building or structure?

We believe it would be a poor use of resources to construct a new structure on the subject property to contain the desired accessory apartment. The existing accessory building proposed to contain the accessory apartment on the property was previously utilized as a permitted single detached dwelling and represents an appropriate location for an accessory apartment on the subject lands. Given the previous use and fact a building permit will be required to formally convert the space to an accessory apartment; there should be limited concern on the suitability of the existing structure for a residential use.

The accessory apartment will also provide much needed additional rental housing to the Township and County and represents an efficient use of land and existing structures. It will have no negative impact on the subject or abutting lands and would continue to be hidden from public view based on the existing forest buffering it from Wellington Road #34 and the abutting property to the east. No new services will be required to service the accessory apartment as it will continue to utilize the existing well and septic which serviced the old dwelling.

The accessory apartment is located within the overall building cluster on the property. Given the scale of the new dwelling on the property and the size of the overall parcel, the location of the accessory apartment is logical and appropriate.

Is it in keeping with the general intent and purpose of the Zoning By-law?

As detailed above, the proposed accessory apartment is a permitted use in the Agricultural "A" Zone. The only zoning deficiency is the setback distance from the single detached dwelling being 74m whereby 15m is required by the Zoning By-law. The intent of the 15m setback requirement is to help ensure the accessory apartment is kept within an overall building cluster on a property and limit a potential negative visual impacts of having two buildings a significant distance apart from one another from the public view (which would be exaggerated on a small parcel). Given the scale of the new dwelling and overall size of the parcel, a 15m setback from the new dwelling could appear as crowding the new dwelling.

Furthermore, given the significant buffering provided by the existing forest on the property, and the fact the structure to contain the accessory apartment already

exists, there will be no change to, or negative visual impact associated with, the requested variance. The accessory apartment will continue to be subordinate to new dwelling on the property.

Is it in keeping with the general intent and purpose of the Official Plan?

With respect to accessory apartments, the County of Wellington's Official Plan offers the following:

4.4.6.2 Additional Residential Units Within an Ancillary Building or Structure

Local municipalities shall enact zoning provisions to allow one Additional Residential Unit within a building or structure that is ancillary to a single detached dwelling, semi-detached dwelling or rowhouse, provided that a residential unit does not already exist in an ancillary building on the property. For clarity, an Additional Residential Unit may be permitted as a separate standalone ancillary building or as part of an ancillary building. An Additional Residential Unit is prohibited from being severed from the property.

When developing zoning provisions to address Additional Residential Units in ancillary buildings local municipalities should give consideration to the items listed in section 4.4.6.1. and shall have zoning provisions to address the following:

- a) the Additional Residential Unit is located within the main building cluster on the property;*
- b) the Additional Residential Unit will be clearly secondary to the main residence on the property; and*
- c) Minimum Distance Separation formula is complied with, where applicable.*

As noted above, the County Official plan permits Additional Residential Units in standalone ancillary building or as part of an ancillary building.

The accessory apartment would be located within the overall building cluster on the property and would clearly secondary to the new dwelling on the property given the scale and site layout.

There are no MDS concerns with the proposed accessory apartment.

Is the application minor in nature?

While the requested 74m setback may appear as significant relief from the maximum 15m required by the Zoning By-Law, we believe it is minor in nature given it would permit the proposed accessory apartment to be located within an existing accessory building on the subject property which was previously used for permitted residential purposes. Given the structure is existing, and there is significant landscape buffering in place hiding it and the new dwelling from public view, the variance would have no negative visual impact. As such, the impact of the variance would be minor in nature.

We look forward to the opportunity to discuss further with Staff and the Township's Committee of Adjustment. Please do not hesitate to contact me should you require any further information or have any questions.

Thank you,

Matthew Robson

Robson Development Consulting

matthew@bertoholdings.ca

(226)-929-7701

cc: James Hutton (owner) – by e-mail only

Lynne Banks

From: Brent Smith
Sent: Monday, May 3, 2021 2:45 PM
To: Lynne Banks
Subject: RE: Notice of Public Hearing - Minor Variance - 6547 Wellington Rd 34 - Hutton

Sensitivity: Confidential

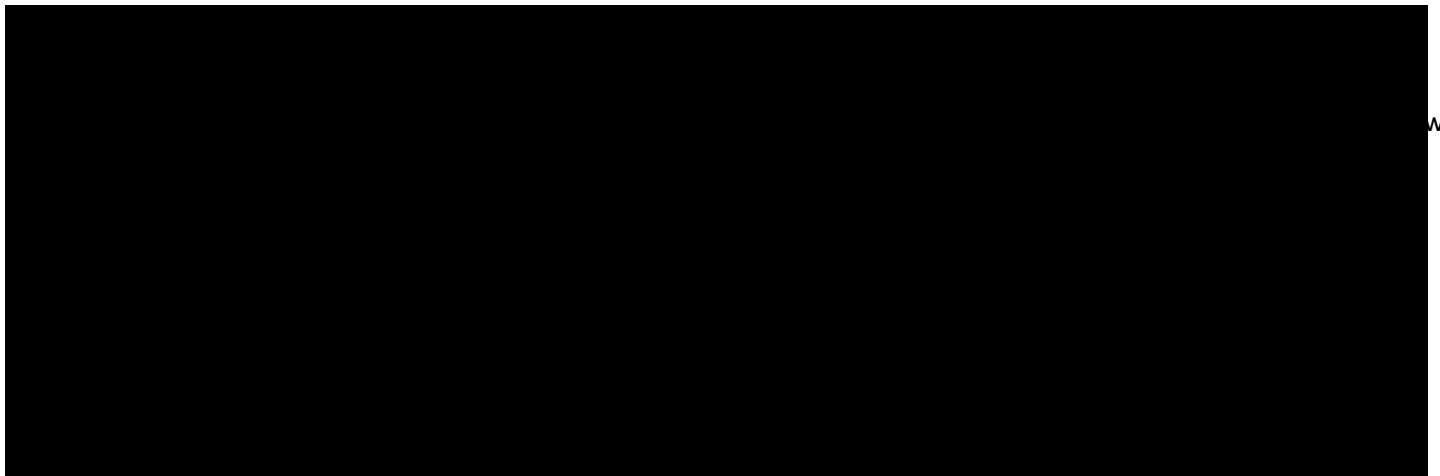
Hi Lynne,

Puslinch Fire and Rescue Services have reviewed the Minor variance submission for 6547 Wellington Road 34 on May, 3, 2021. To ensure adequate access to the principle residence and the proposed accessory apartment the access route from the street to the buildings must be wide enough , have suitable construction to be able to handle the heavy loads of our fire trucks loaded with water and have no overhead obstructions over the access route less than 5 meters high. It appears from the aerial photos that there could be an issue with tree limbs overhanging the driveway. We will need confirmation that the access route is suitable.

Brent Smith

CFPO

Puslinch Fire and Rescue Services

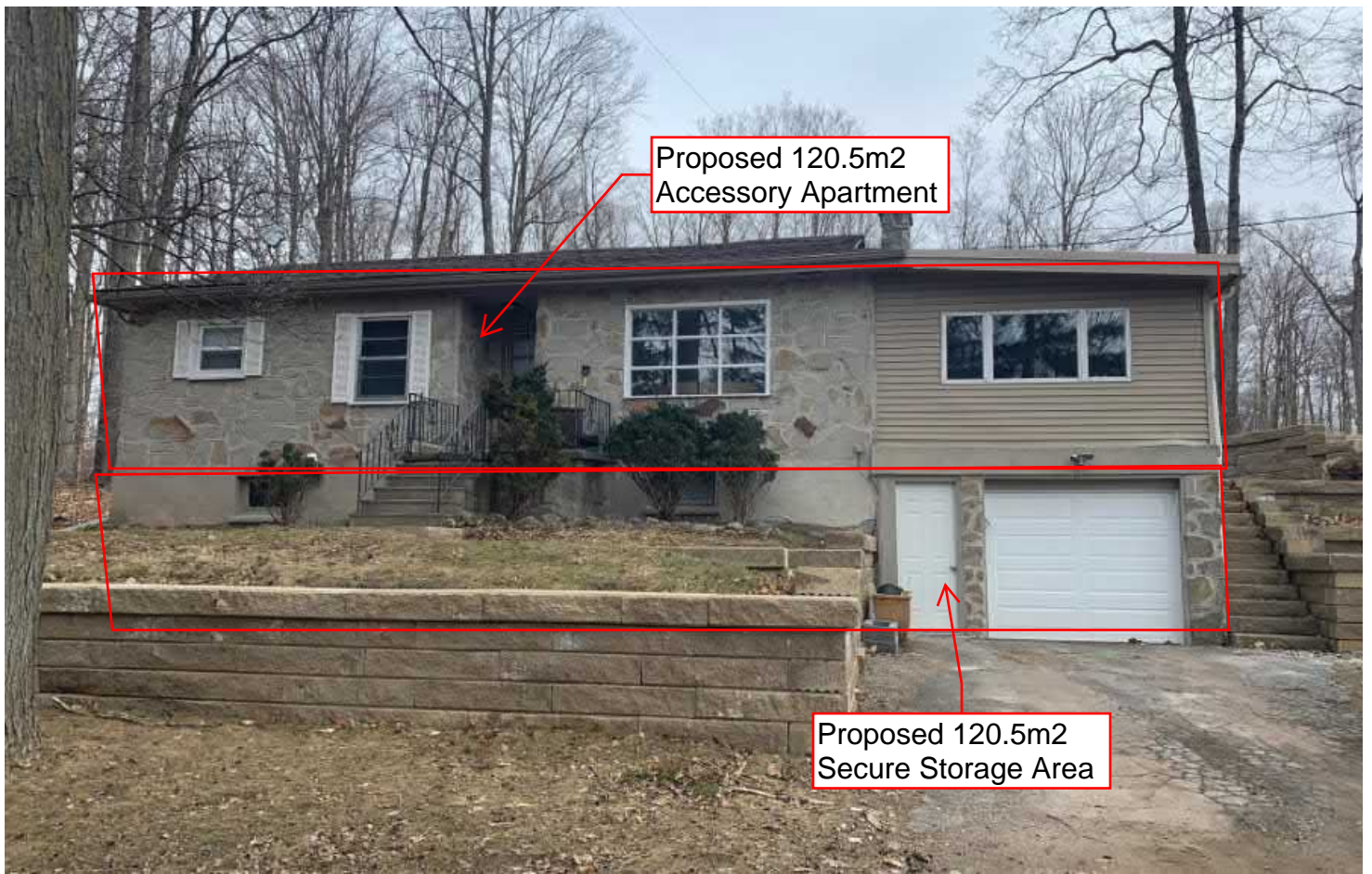


Lynne Banks
Development and Legislative Coordinator
Township of Puslinch
7404 Wellington Rd. 34, Puslinch, ON N0B 2J0
P: 519-763-1226 ext. 226/Fax: 519-763-5846 www.puslinch.ca
Email: lbanks@puslinch.ca

6547 Wellington Road #34 - Minor Variance Sketch & Images



*distance verified by laser rangefinder.





PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department

MEETING DATE: May 11th, 2021
TO: Lynne Banks, Secretary-Treasurer
Township of Puslinch
FROM: Zach Prince, Senior Planner
County of Wellington
SUBJECT: **MINOR VARIANCE APPLICATION D13/HUT (HUTTON)**
6547 Wellington Rd. 34, Puslinch
Rear Part Lots 2 and 3, Concession 2
ATTACHMENTS: 1 - Images submitted by the applicant - Accessory Apartment

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

Summary

The applicant is requesting relief from the Township Zoning By-law, specifically Section 4.2. b) (i), to permit an accessory apartment (also known as an accessory residential unit) to be located 73 m from the primary residential dwelling where the by-law requires an accessory apartment to be located within 15 m. If approved, the relief would permit the original dwelling on the subject lands to remain and be considered an accessory apartment. The history of the original dwelling is outlined in the background information section below.

The applicant has also indicated that the subject dwelling is approximately 186m² in size, which exceeds the Township's maximum size for an accessory apartment. In-lieu of requesting relief to permit a accessory apartment to be a stand-alone unit and relief from the maximum unit size, the applicant is proposing to convert the ground floor portion of the dwelling to storage in relation to the applicant's business. This would render the upper half of the dwelling, as shown in **Attachment 1**, to be the accessory apartment and the lower portion would be considered as storage.

A copy of the pictures submitted by the applicant has been included within **Attachment 1** to this report. The site location can also be seen in **Figure 1**.

Background

The original dwelling, which is now proposed to be considered an accessory apartment and is the subject of this application, was originally constructed in the 1960's (based on information from MPAC). The previous owner of the site was issued a permit to build what is now the primary dwelling on the site in and around 2014. However, in order for the new dwelling to be permitted the original dwelling was required to be removed. Instead of removing the original dwelling the dwelling was converted to a non-residential use by the previous owner.

The applicant acquired the subject property in September 2014 and prior to his acquisition, the previous owner had constructed the new single family dwelling. However, the original dwelling was identified by the applicant as being converted back to residential dwelling. Since that time, the

Township received a complaint regarding the use which has triggered the need to address this issue of non-compliance with the Zoning By-law.

Planning Opinion

Planning staff have concerns with this subject application based primarily on: (i) the location of the accessory apartment; (ii) the substantial setback of the accessory apartment from the primary dwelling; (iii) the size and proposal to convert the lower portion of the unit; and (iv) the timing and appropriateness of the application.

With regards to the building location – through the review of this application it has been identified that the proposed accessory apartment appears to be located within a portion of the site that is zoned as Natural Environment (NE) Zone. Section 4.2 of the Township's By-law allows an accessory apartment within a detached building that is located within the Agriculture (A) Zone. If approved, this would add a use where the use is not permitted. Further, a setback of 73 m from the primary dwelling is substantial and not minor when the maximum setback permitted is 15 m. A setback is included in the by-law to ensure compliance with County Official Plan policies that require an accessory apartment to be located within the existing building cluster.

In reference to the proposal to convert a portion of the unit to storage – the intent of the Township's Zoning By-law is to allow an accessory apartment unit within an accessory building which is "naturally and normally incidental to, subordinate to, or exclusively developed to a principle use or building on the same lot." To ensure the conversion of the ground floor portion of the unit is completed and that the storage use is used for purposes solely related to the primary dwelling is challenging to implement and regulate.

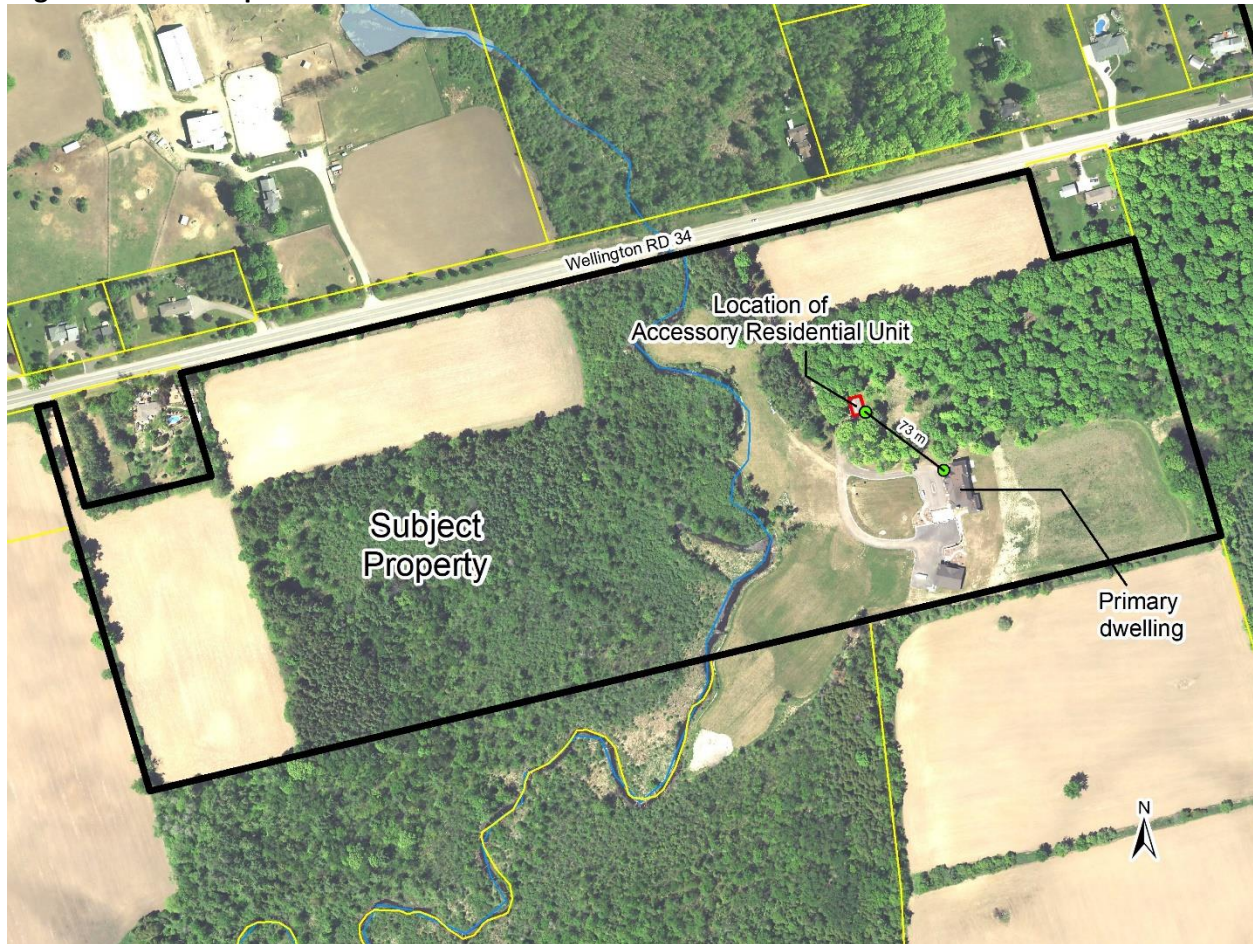
Finally, the Township is undertaking a zoning by-law review that would incorporate provisions for accessory apartments/accessory dwelling units to modernize the zoning provisions based on best practices and to also ensure consistency with an update to the County of Wellington Official Plan. To address this issue through a minor variance when this review is underway and has not yet been through a public process or been in front of Township Council is, in planning staff's opinion, not minor and is premature.

Due to these concerns, planning staff recommends that this application be **denied** and a Zoning by-law amendment application be submitted to permit the accessory apartment in the Natural Environment (NE) Zone and address the other non-compliances with the Zoning By-law.

The details of the minor variance application are included in the table below. It is noted that as part of the planning review that an additional item of relief was identified as being potentially required with regards to maximum lot coverage.

| Regulation | By-law Section | Required | Proposed | Relief Requested |
|---|-----------------------|-----------------|-----------------|-------------------------|
| Accessory Apartments - distance from the single detached dwelling | 4.2 (b)(i) | 15 m | 73.08 m | 58.08 m |

Figure 1: Aerial Map



Our discussion of this application relative to the four tests under the *Planning Act* is as follows:

| Four Tests | Discussion |
|---|--|
| That the requested variance is minor in nature | <ul style="list-style-type: none"> • The subject property is approximately 22.66 ha (55.84 ac) in size and is designated as Secondary Agriculture, Core Greenlands and Greenlands. • The original dwelling/proposed accessory apartment is located within lands that are designated as part of the County's Greenland System. • The accessory apartment is located within an area zoned as Natural Environment (NE) Zone, whereas the by-law only permits an accessory apartment within a detached structure, subject to criteria, in the Agriculture (A) Zone. • The relief from the maximum 15 m setback is substantial and is not considered minor. • The applicant is proposing a conversion to a portion of the proposed accessory apartment in order to meet the maximum permitted area of a unit which is 130 m² or less. • The Township is undergoing a review and update of their Zoning By-law provisions for accessory apartments to align with an update to the County Official Plan and to consider other approaches for these uses subject to appropriateness within the context of Puslinch. |

| | |
|--|--|
| That the intent and purpose of the Zoning By-law is maintained | <ul style="list-style-type: none"> • The subject property is zoned Agricultural, Natural Environmental (NE) with Environmental Protection Overlay. A part of the site has site specific zoning SP-1. • The 'A' Zone allows a single detached dwelling, an accessory building to the main dwelling, and an accessory apartment (subject to Section 4.2). The existing dwelling is located within the Natural Environment (NE) Zone – an accessory apartment is not permitted within this zone. • The site specific provision (SP-1) on-site permits establishment of kennel within a part of the site. • Section 4.2 of the Zoning By-law establishes maximum distance from the Primary Residential Unit, height and area requirements for accessory buildings and structures. |
| That the general intent and purpose of the Official Plan is maintained | <ul style="list-style-type: none"> • The property is designated as Secondary Agriculture, Core Greenlands and Greenlands. • Identified feature include Provincially Significant Wetlands, Wetlands, Significant Wooded areas, Flood Plain, Slope Erosion Allowances and Environmentally Sensitive Areas. • The Township Zoning by-law includes provisions related to location/distance from the dwelling, size and height restrictions etc. to align with permissions in the County of Wellington Official Plan. • Within the County Official Plan, additional residential units within an Ancillary building or structure is permitted, subject to criteria. • Accessory apartments are not permitted in hazardous areas as such, comments from the conservation authority should be considered as the existing unit is located within the Greenland System designation. • An accessory apartment/additional residential unit is prohibited from being severed from the property. |
| That the variance is desirable for the appropriate development and use of the land, building or structure | <ul style="list-style-type: none"> • The intent of the subject application is to regularize the existing accessory structure on-site that was supposed to be removed/decommissioned after the construction of a new single family dwelling. • Planning staff have concerns with the relief requested as it is not minor in nature and recommends that a Zoning By-law Amendment be submitted instead. |

In conclusion, planning staff is of the opinion that the requested variance application **be denied and a Zoning Bylaw Amendment application to be submitted**. I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application.

Respectfully submitted
County of Wellington Planning and Development Department

ATTACHMENT 1

Images submitted by the applicant - Accessory Apartment





Township of Puslinch
7404 Wellington Road 34
Puslinch, ON, N0B 2J0
T: (519) 763 – 1226
F: (519) 763 – 5846
www.puslinch.ca

Minor Variance or Permission Application

General Information:

1. Applicant Information:

Registered Owner's Name(s): Andrew, Paul and Wendy Jones

Address:

Puslinch

City:

N0B 2J0

Postal Code:

E-mail Address:

Telephone Number:

Fax:

Applicant (Agent) Name(s):

MHBC Planning Attn: Pierre Chauvin

Address:

540 Bingeman's Centre Drive, Suite 200

City:

Kitchener

Postal Code:

N2B 3X9

E-mail Address:

pchauvin@mhbcplan.com

Telephone Number:

519 580 4912

Fax:

Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property.

See above: Andrew, Paul and Wendy Jones

Send correspondence to: Owner: ☒ Agent ☐ Other: _____

2. Provide a description of the "entire" property:

Municipal address: 4553 Watson Rd S, Puslinch

Concession: 10 Lot: 17

Registered Plan Number: _____

Area: 6.4 ha Depth: +/-250 m Frontage: +/- 200 m
_____ ac _____ ft _____ ft

Width of road allowance (if known): _____

Reason for Application:

3. Please indicate the Section of the Planning Act under which this application is being made. Select one:

☒ Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.); or

☐ Section 45(2) relates to a change to or expansion of an existing legal non-conforming use.

4. What is the nature and extent of the relief that is being applied for? (please specifically indicate on sketch).

This request is in response to a Notice of Zoning Violation issued by the Township's Building Official regarding MDS II setback.

The property owner has a livestock hobby barn that has a current setback of 65 metres from a residential cluster of single detached dwellings. According to our MDS II calculations, the barn should have a setback of 93 metres to Type A land uses. This application is seeking relief from the MDS II requirements to permit the existing 65 metre setback.

**5. Why is it not possible to comply with the provisions of the by-law?
(please specifically indicate on sketch).**

Due to the location of the hobby barn within a heavily wooded area, relocation would result in tree removal to accommodate a setback of 93 metres. Given that the wooded area comprises a large portion of the subject property, relocation would be difficult.

6. What is the current Official Plan and zoning status?

Official Plan Designation: Secondary Agricultural

Zoning Designation: Agricultural

7. What is the access to the subject property?

Provincial Highway: ☐

Continually maintained municipal road: ☒

Seasonally maintained municipal road: ☐

Other: ☐ (please specify below)

8. What is the name of the road or street that provides access to the subject property?

Watson Rd S

9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

Existing and Proposed Service:

10. Indicate the applicable water supply and sewage disposal:

| Water Supply/Sewage Disposal: | Existing: | Proposed: |
|-------------------------------|-------------------------------------|--------------------------|
| Municipal Water: | <input type="checkbox"/> | <input type="checkbox"/> |
| Communal Water: | <input type="checkbox"/> | <input type="checkbox"/> |
| Private Well: | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Other Water Supply: | <input type="checkbox"/> | <input type="checkbox"/> |
| Municipal Sewers: | <input type="checkbox"/> | <input type="checkbox"/> |
| Communal Sewers: | <input type="checkbox"/> | <input type="checkbox"/> |
| Private Septic: | <input type="checkbox"/> | <input type="checkbox"/> |
| Other Sewage Disposal: | <input type="checkbox"/> | <input type="checkbox"/> |

11. How is storm drainage provided?

Storm Sewers: ☐

Ditches: ☐

Swales: ☐

Other means: ☐ (explain below)

N/A

Existing Subject and Abutting Property Land Uses, Buildings and their Locations:

12. What is the existing use of:

The subject property? Agricultural

The abutting properties? Residential

13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)

| Type of Building(s)/ structures | hobby barn | | |
|---|----------------|---------------------------|--------------------------------|
| Main Building height | m | ft. | m ft. |
| *Percentage lot coverage | m | ft. | m ft. |
| *Number of parking spaces | | | |
| *Number of loading spaces | | | |
| Number of floors | | | |
| Total floor area | m ² | 750 sq.ft ft ² | m ² ft ² |
| Ground floor area (exclude basement) | m ² | ft ² | m ² ft ² |

14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)

| | Hobby Barn | | |
|------------|------------|-----|-------|
| Front Yard | +/- 60 m | ft. | m ft. |
| Rear Yard | +/- 250 m | ft. | m ft. |
| Side Yards | +/-20 m | ft. | m ft. |

15. What are the dates of acquisition and construction of subject property and building property?

Date of acquisition of subject property: _____ N/A _____

Date of construction of buildings property: _____ N/A _____

16. How long have the existing uses continued on the subject property? 50 years

17. Has the owner previously applied for relief in respect of the subject property?

Yes ☐ No ☒

If the answer is yes, please indicate the file number and describe briefly:

| |
|----------------------|
| |
|----------------------|

Other Related Planning Applications:

18. Has an application for any of the following on the subject lands?

| Planning Application: | Yes: | No: | File Number: | Approval Authority: | Subject Lands | Purpose: | Status: |
|-------------------------|--------------------------|-------------------------------------|--------------|---------------------|---------------|----------|---------|
| Official Plan Amendment | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Zoning By-Law Amendment | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Plan of Subdivision | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Consent (Severance) | | X | | | | | |
| Site Plan | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Minor Variance | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |

Authorization for Agent/Solicitor to act for Owner:

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

I (we) Paul, Wendy, Andrew Jones of the
Township of Puslinch County/Region of
Wellington do hereby authorize

 to act as my agent in this application.

21/05/03
Date

Affidavit:

I (we) Pierre Chauvin of the
Township of Centre Wellington County/Region of
Wellington solemnly declare that all the statements

contained in this application are true, and I, (we), make this solemn declaration
conscientiously believing it to be true, and knowing that it is of the same force and effect
as if made under oath and by virtue of the CANADA EVIDENCE ACT. DECLARED

before me at the City of Kitchener in the
County/Region of Waterloo this 5th day of
May, 20 21.



Signature of Owner or authorized



Signature of Commissioner

May 5, 2021

Date

MAY 5/2021

Date

Paul Ronald Britton, a Commissioner, etc.,
Regional Municipality of Waterloo, for
MacNaughton Hermesen Britton Clarkson
Planning Limited.
Expires April 24, 2022

Agreement to Post Sign and Permit Site Visits:

A form is included in the Zoning By-law Amendment application to agree to erect a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits.

The applicant is required to erect and maintain a sign on the proposed lands within one week of the application being deemed complete by staff and to remove the sign when the application has been given final approval. The sign shall be a minimum of 1.2 x 1.2 metres on posts 0.5 metres above grade and include the following wording to be approved by Township staff:

A PROPOSAL HAS BEEN MADE
ON THIS SITE FOR: (50 mm text height)
A ZONING BY-LAW AMENDMENT TO xxx (100 mm text height)
FOR FURTHER INFORMATION
PLEASE CONTACT THE TOWNSHIP OF PUSLINCH 7404 WELLINGTON ROAD 34
(519) 763 - 1226 (30-50 mm text height)

For Administrative Purposes Only:

Application fee of \$ _____ received by the municipality

Date Fee Received: _____

Date Application Filed: _____

File Number: _____

Application deemed complete: _____

Signature of Municipal Employee

Date

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.

Description:
Application Date: Monday, April 26, 2021

Municipal File Number:
Applicant Contact Information

 Andrew Jones
 4553 Watson Road S.

Location of Subject Livestock Facilities

 County of Wellington, Township of Puslinch
 PUSLINCH, Concession: 10, Lot: 17

Roll Number: 23-01-000-006-01500-0000


Calculation Name: **Andrew Jones**
Description: Hobby Barn

The barn area is an estimate only and is intended to provide users with an indication of whether the number of livestock entered is reasonable.

| Manure Type | Type of Livestock/Manure | Existing Maximum Number | Existing Maximum Number (NU) | Total Maximum Number | Total Maximum Number (NU) | Estimated Livestock Barn Area |
|-------------|--|-------------------------|------------------------------|----------------------|---------------------------|-------------------------------|
| Solid | Chickens, Layer hens (for eating eggs; after transfer from pullet barn), Cages | 0 | 0.0 | 100 | 0.7 | Unavailable |
| Solid | Horses, Medium-framed, mature; 227 - 680 kg (including unweaned offspring) | 0 | 0.0 | 2 | 2.0 | 500 ft² |

Manure Storage: V3. Solid, outside, no cover, >= 30% DM

Existing design capacity (NU): 0.0

Design capacity after alteration (NU): 2.7

$$\begin{array}{ccccccc}
 \text{Factor A} & & \text{Factor B} & & \text{Factor C} & & \text{Factor D} \\
 \text{(Odour Potential)} & & \text{(Size)} & & \text{(Orderly Expansion)} & & \text{(Manure Type)} \\
 0.78 & \times & 150 & \times & 1.1400 & \times & 0.7 \\
 & & & & & & = \\
 & & & & & & \mathbf{93 \text{ m (304 ft)}}
 \end{array}$$

Building Base Distance 'F'
 (minimum distance from livestock barn)
 Storage Base Distance 'S'
 (minimum distance from manure storage)
93 m (304 ft)

MDS II Setback Distance Summary

| Description | Minimum Livestock Barn Setback Distance | Actual Livestock Barn Setback Distance | Minimum Manure Storage Setback Distance | Actual Manure Storage Setback Distance |
|---------------------------------|---|--|---|--|
| Type A Land Uses | 93 m 304 ft | TBD | 93 m 304 ft | TBD |
| Type B Land Uses | 186 m 609 ft | TBD | 186 m 609 ft | TBD |
| Nearest lot line (side or rear) | 9 m 30 ft | TBD | 9 m 30 ft | TBD |
| Nearest road allowance | 19 m 61 ft | TBD | 19 m 61 ft | TBD |

Minimum Distance Separation II

Worksheet 1

Prepared By: Pierre Chauvin, BSc(Agr), MA, MCIP, RPP, Partner, MHBC Planning

Preparer Information

Pierre Chauvin, BSc(Agr), MA, MCIP, RPP
Partner
MHBC Planning
540 Bingemans Centre Drive
Suite 200
Kitchener, ON, Canada N2B 3X9
Phone #1: (519)576-3650
Phone #2: (519)580-4912
Fax: (519)576-0121
Email: pchauvin@mhbcplan.com

Signature of Preparer: _____
Pierre Chauvin, BSc(Agr), MA, MCIP, RPP, Partner

Date: _____

NOTE TO THE USER:

The Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA) has developed this software program for distribution and use with the Minimum Distance Separation (MDS) Formulae as a public service to assist farmers, consultants, and the general public. This version of the software distributed by OMAFRA will be considered to be the official version for purposes of calculating MDS. OMAFRA is not responsible for errors due to inaccurate or incorrect data or information; mistakes in calculation; errors arising out of modification of the software, or errors arising out of incorrect inputting of data. All data and calculations should be verified before acting on them.



FARM DATA SHEET

Minimum Distance Separation I (MDSI)

County of Wellington

NOTE TO FARM OWNER(S)

By filling out this form you will help to ensure that new land uses will be located a suitable distance from your livestock operation. Feel free to contact the County Planning office with any questions.

Owner(s) of Livestock Facility Andrew, Paul and Wendy Jones

Contact Information

Email [REDACTED]
 Civic Address 4553 Watson Rd S Municipality Puslinch
 Lot 17 Concession 10 Division
 Lot Size (where livestock facility is located) 6.4 hectares acres

Signature of Livestock Facility Owner [REDACTED] Date May 6th, 2021

BARN(S) SIZE Please provide the size of the barns located on the property. This information is used to verify maximum livestock capacity. 780 sq.ft. ft²/m² ft²/m²

Manure Storage Types Solid manure: 18% dry matter, or more Liquid manure: <18% dry matter

- | | | | |
|----|---|----|---|
| V1 | Solid, inside, bedded pack | L1 | Solid, outside, no cover, 18% - <30% dry matter, with uncovered liquid runoff storage |
| V2 | Solid, outside, covered | L2 | Liquid, outside, with a permanent floating cover |
| V3 | Solid, outside, no cover, ≥30% dry matter | M1 | Liquid, outside, no cover, straight-walled storage |
| V4 | Solid, outside, no cover, 18% - <30% dry matter, with covered liquid runoff storage | M2 | Liquid, outside, roof, but with open sides |
| V5 | Liquid, inside, underneath slatted floor | H1 | Liquid, outside, no cover, sloped-sided storage |
| V6 | Liquid, outside, with a permanent, tight-fitting cover | | |

| Animal Type of Material | Description | Housing Capacity (maximum) | Manure Storage Type (select from list) |
|-------------------------|--|----------------------------|--|
| Beef Cattle | Cows, including calves to weaning (all breeds) | | |
| | Feeders (7 – 16 months) | | |
| | Backgrounders (7 – 12.5 months) | | |
| | Shortkeepers (12.5 – 17.5 months) | | |
| Dairy Cattle | Milking-age cows (dry or milking) | | |
| | Large-framed; 545 – 658 kg (e.g. Holsteins) | | |
| | Medium-framed; 455 – 545 kg (e.g. Guernseys) | | |
| | Small-framed; 364 – 455 kg (e.g. Jerseys) | | |
| | Heifers (5 months to freshening) | | |
| | Large-framed; 182 – 545 kg (e.g. Holsteins) | | |
| | Medium-framed; 148 – 455 kg (e.g. Guernseys) | | |
| | Small-framed; 125 – 364 kg (e.g. Jerseys) | | |
| | Calves (0 – 5 months) | | |
| | Large-framed; 45 – 182 kg (e.g. Holsteins) | | |
| | Medium-framed; 39 – 148 kg (e.g. Guernseys) | | |
| | Small-framed; 30 – 125 kg (e.g. Jerseys) | | |
| Horses | Large-framed, mature; >681 kg (e.g. draft or draft cross breeds including unweaned offspring) | | |
| | Medium-framed, mature; 227 – 680 kg (e.g. saddle, riding and racing breeds including unweaned offspring) | 2 | V3 |
| | Small-framed, mature; <227 kg (e.g. ponies and miniatures including unweaned offspring) | | |

FARM DATA SHEET (continued)
Minimum Distance Separation I (MDSI)

County of Wellington

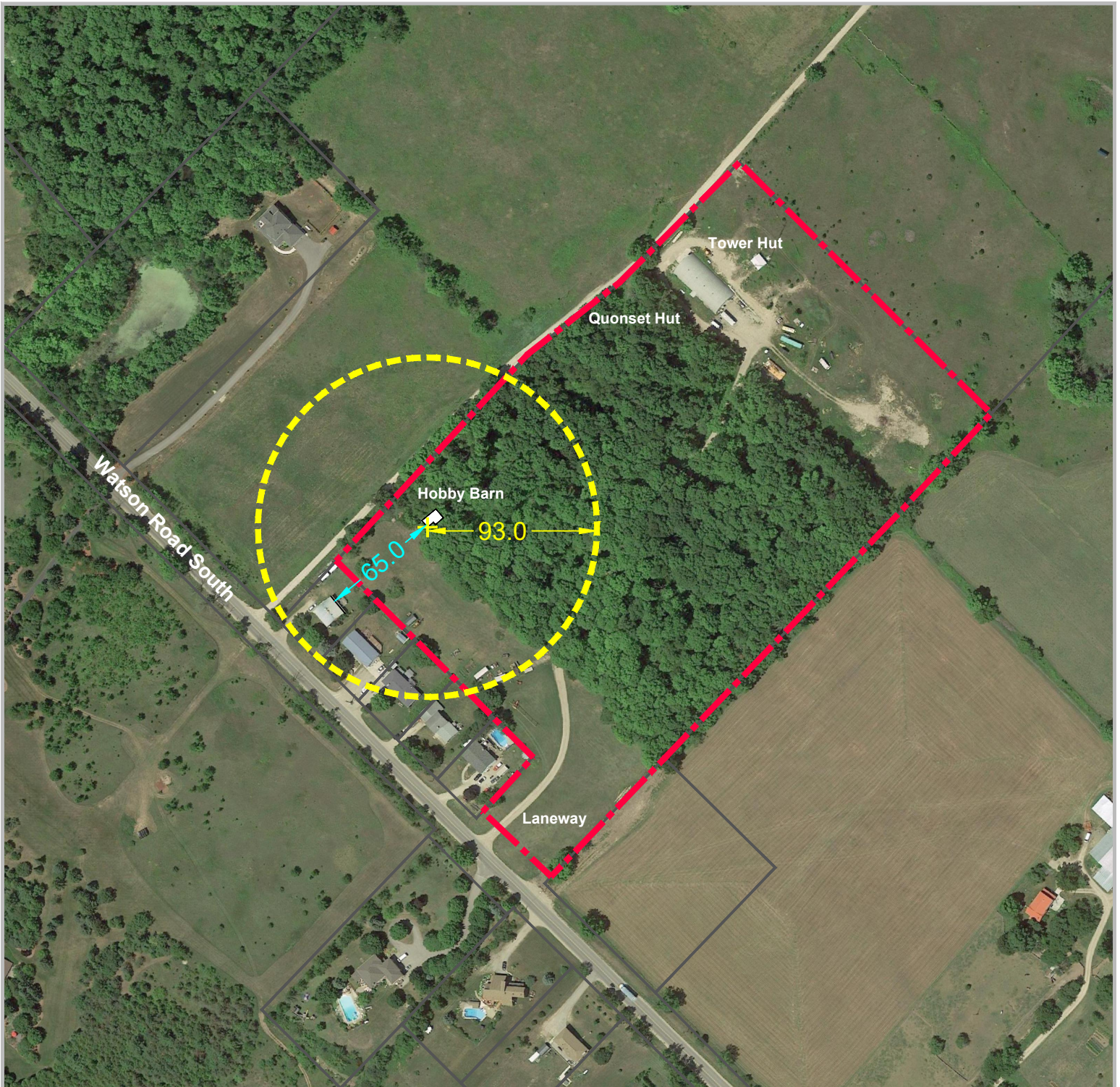
| Animal Type of Material | Description | Housing Capacity (maximum) | Manure Storage Type (select from list) |
|----------------------------|--|----------------------------------|--|
| Swine | Sows with litter, dry sows or boars | | |
| | Breeder gilts (entire barn designed specifically for this purpose) | | |
| | Weaners (7 – 27 kg) | | |
| | Feeders (27 – 136 kg) | | |
| Sheep | Ewes & rams (for meat lambs; includes unweaned offspring & replacements) | | |
| | Ewes & rams (dairy operation; includes unweaned offspring & replacements) | | |
| | Lambs (dairy or feeder lambs) | | |
| Goats | Does & bucks (for meat kids; includes unweaned offspring and replacements) | | |
| | Does & bucks (for dairy; includes unweaned offspring & replacements) | | |
| | Kids (dairy or feeder kids) | | |
| Chickens | Layer hens (for eating eggs; after transfer from pullet barn) | 100 | V3 |
| | Layer pullets (day-olds until transferred into layer barn) | | |
| | Broiler breeder growers (males/females transferred out to layer barn) | | |
| | Broiler breeder layers (males/females transferred in from grower barn) | | |
| | Broilers on any length of cycle | | |
| Turkeys | Turkey poults (day-old until transferred to grow out turkey barn) | | |
| | Turkey breeder layers (males/females transferred in from grower barn) | | |
| | Breeder toms | | |
| | Broilers (day-olds to 6.2 kg) | | |
| | Hens (day-olds up to 6.2 to 10.8 kg; 7.5 kg is typical) | | |
| | Toms (day-olds to over 10.8 to 20 kg; 14.5 kg is typical) | | |
| | Turkeys at any other weights, or if unknown (by floor area) | | |
| Veal | Milk-fed | | |
| | Grain-fed | | |
| Other | Please refer to Factor Table 1 of The Minimum Distance Separation (MDS) Document for complete list of animal types | | |
| | | | |
| | | | |
| Imported manure | Use the volume of the manure storages | | |
| Unoccupied livestock barns | A livestock barn that does not currently house any livestock, but that housed livestock in the past and continues to be structurally sound and reasonably capable of housing livestock.* | | |

*NOTE: This should only be used where obtaining information from the farm operator(s) and/or owner(s) was not possible (see Implementation Guideline 20 for more information).

QUESTIONS?
PLEASE CONTACT

County of Wellington
Planning and Development Department
74 Woolwich Street, Guelph
ON N1H 3T9

P 519.837.2600 x2170
F 519.923.1694



Minimum Distance Separation (MDS) II Calculation

LEGEND



Subject Lands



Minimum Distance Separation (MDS) II



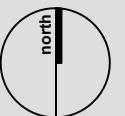
Parcel Fabric

DATE: May 5, 2021

FILE: 21144A

SCALE: 1:3,000

DRAWN: DGS



K:\21144A-4553 WATSON ROAD-PUSLINCH\IPT\MDS CALCULATIONS MAY5 2021.DWG

Andrew and Wendy Jones
4553 Watson Road South
Township of Puslinch
County of Wellington

Base Map Source:
Google Earth



**PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE**

200-540 BINGEMAN'S CENTRE DR. KITCHENER, ON, N2B 3X9
P: 519.576.3650 F: 519.576.0121 | WWW.MHBCPLAN.COM

May 6, 2021

Lynne Banks
Development and Legislative Coordinator
Township of Puslinch
7404 Wellington Rd. 34, Puslinch

Dear Ms. Banks,

**RE: Minor Variance Application
MDS II Setback
4553 Watson Road S, Puslinch**

On behalf of our client, Andrew Jones, we are pleased to submit this minor variance application for the property municipally addressed as 4553 Watson Road South ('the subject property'). This request is in response to a Notice of Zoning Violation issued by the Township's Building Official dated, December 22, 2020.

The subject lands are zoned Agricultural (A) in the Township of Puslinch Zoning By-Law 23/2018 and have a total area of 6.4 hectares, largely comprised of a woodlot and small pasture land. The subject lands are occupied by an existing hobby barn that is currently housing livestock, a run-in shelter, a Quonset hut and a cellular tower. This application pertains only to the hobby barn housing the livestock. The livestock facility has an area of approximately 780 square feet, and has existed for over 50 years in its current location, which is within the wooded area on the property. According to our client, the hobby barn has housed various livestock intermittently over this period of time, all for personal/hobby purposes. Most recently, our client has been housing horses and a small flock of laying hens in the barn. Note, the Quonset hut is not used for housing livestock.

The existing livestock facility is in close proximity to a cluster of residential dwellings fronting Watson Road South, located immediately adjacent to the western property line. The livestock facility most recently housed 2 horses and 40 laying hens. Based on our calculations, the livestock facility requires an MDS II setback of 93 metres to Type A land uses (measured to the nearest existing dwelling). The actual distance is approximately 65 metres to the closest dwelling. The existing livestock facility does not meet MDS II setback requirements. A Minor Variance application is proposed to seek relief from section 4.16.2 of the Zoning By-law to permit a livestock facility with the existing Minimum Distance setback.

The Ontario Ministry of Agriculture and Rural Affairs (OMAFRA) *Minimum Distance Separation (MDS) Document* (Publication 853) allows for a reduction to MDS II in limited site specific circumstances. The process for reducing MDS II typically involves a minor variance to the local zoning by-law provisions. We have reviewed the proposed variance application in relation to the four tests under section 45(1) of the Planning Act. The following summarizes our opinion as it relates to these tests.

General Intent and Purpose of the Official Plan

The County of Wellington Official Plan designates the lands 'Secondary Agricultural' within the Rural System. The Rural System is a natural resource area that includes Prime and Secondary Agricultural Areas, among others. The lands are non-prime agricultural, however, permitted uses for Secondary Agricultural include all uses within prime agricultural, small scale commercial, industrial and institutional uses, and public service facilities. The policies of the Official Plan promote all types, sizes and intensities of agricultural uses and normal farm practices within Agricultural areas. Consistent with provincial policy, the County Official Plan also provides policy direction for MDS setbacks within Prime and Secondary Agricultural Areas, as per Section 6.4.10 and 6.5.6. The policies of the County Plan direct that the provincial minimum distance formula is to be applied.

Section 2.1 sets out the Fundamental Beliefs of the County, which includes policy 2.2.10, to protect the agricultural land base as well as policy 2.2.15, to protect and improve the diversity and ecological functions of natural heritage, including woodlands. The County policies also advise that minor variances from the by-law are allowed in accordance with the Planning Act, so long as they reflect the general intent of the Official Plan and Zoning By-law.

In accordance with the Official Plan designation, the subject lands are currently used as agricultural. The current location of the livestock facility is within a woodland that surrounds the livestock facility. Overall, the livestock facility is in conformity with the Secondary Agricultural uses permitted. The MDS II setback requirement is 93 metres to the nearest Type A use. The existing setback is 65 metres. Re-locating the livestock facility an additional 28 metres may damage the surrounding woodland as a new space would need to be created. The County Plan policies allow for minor variances, and it is the intent of the Official Plan to protect agricultural uses as well as protect natural heritage. In our opinion, the proposed variance is in general conformity with the County Official Plan policies.

General Intent and Purpose of the Zoning By-law

The subject lands are zoned Agricultural (A) in the Township of Puslinch Zoning By-Law 23/2018. Agricultural uses are permitted, subject to meeting MDS setbacks. The minimum lot area for an agricultural use in the Zoning By-law is 4 hectares. The subject lands have a lot area of approximately 6.4 hectares.

The existing livestock operation is permitted in the Agricultural zone in the Township Zoning By-law and new or expanding livestock operations must comply with MDS II. As noted above, the provincial MDS Guidelines permit variances to the MDS II setback requirements. Implementation Guideline No. 43 of Publication 853 reads as follows:

*"MDS II setback should not be reduced **except in limited site specific circumstances that meet the intent of this MDS Document**. Examples include circumstances that mitigate environmental or public health and safety impacts, or avoid natural or human-made hazards.*

If deemed appropriate by a municipality, the process by which a reduction to MDS II may be considered would typically be through a minor variance to the local zoning by-law provisions. To a lesser extent a site specific zoning by-law amendment may also be appropriate”.

The intent of MDS is to prevent land use conflicts between agricultural uses and sensitive uses, and minimize nuisance complaints from odour. While MDS setbacks are an important and effective tool in dealing with nuisances relating to odour, it is important to note that it will not eliminate all potential odour complaints nor will it address other nuisances such as noise, dust, light, smoke, vibration. However, the proper application of MDS may incidentally reduce conflicts associated with these other nuisances. The provincial MDS Guidelines represent standards with respect to the calculation of MDS setback. The potential reduction in MDS setbacks under Implementation Guideline No. 43 represents one of the limited areas where municipalities may exercise flexibility with respect to MDS. It is noted, the direction of prevailing winds, surrounding topography and presence of trees, berms or other screening are not part of or intended to affect the calculation of MDS setbacks. However, Implementation Guideline No. 42 does indicate that these or other similar elements could be considered in applications to vary or reduce MDS setbacks in accordance with Implementation Guideline No. 43.

As previously noted, the livestock facility is located within a wooded area. This provides a mature tree screen consisting of tall trees along the property line. Manure is stored behind the barn, furthest away from the dwellings, and is used as garden compost for the owner’s residential property. In our opinion, the location of the livestock facility within the wooded area, and the manure mitigation measures, meet the intent of the MDS Guidelines and assist in reducing the odour potential from the livestock operation.

Desirable for the appropriate development or use of the land, building or structure

The general character of the area is agricultural. This will not change as a result of the minor variance. If the livestock facility were to be located at the required MDS II setback of 93 metres from the existing dwellings, additional trees would need to be taken out of the woodland to accommodate the relocation. Given that the wooded area comprises a large portion of the subject property, relocation would be difficult. Additionally, farming activity on the subject property will be maintained and be made more convenient as a result of this variance.

Is the Variance Minor

The measure of “minor” in the context of Section 45 (1) of the Planning Act is not a numeric measure in terms of percent reduction, but rather a measure of the degree of impact that may result with the proposed variance. The raising of livestock is a common use within the Rural System and the proposed livestock facility is compatible with the permitted land uses. The scale and type of livestock proposed is small-scale and used for personal enjoyment rather than commercial purposes. The amount of manure produced from the proposed quantity of livestock is small and is able to be managed by the owner. The livestock facility is situated in a woodland which minimizes potential impacts related to its operation. Additionally, manure is taken off the property and used for garden compost at the owner’s residential property. In recognition of the location of the facility within the wooded area, and the removal of manure, the odour impact from the livestock operation can be mitigated to the extent that it is consistent with the intent of the provincial MDS Guidelines and Implementation Guideline No.42.

Summary

In our opinion, the proposed minor variance to the required MDS II setback conforms to all the requirements under section 45 (1) of the Planning Act.

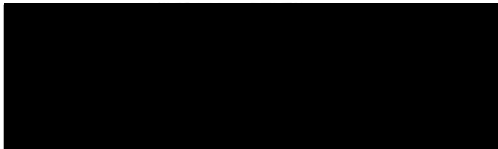
Please find enclosed with this letter:

- One signed copy of the minor variance application;
- One map depicting the existing hobby barn;
- One MDS II calculation sheet; and
- One MDS Farm Data Sheet

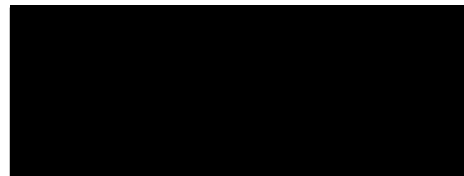
Payment for a minor variance type 2 will be sent under separate cover in the amount of \$1,241 payable to the Township of Puslinch.

Yours truly,

MHBC

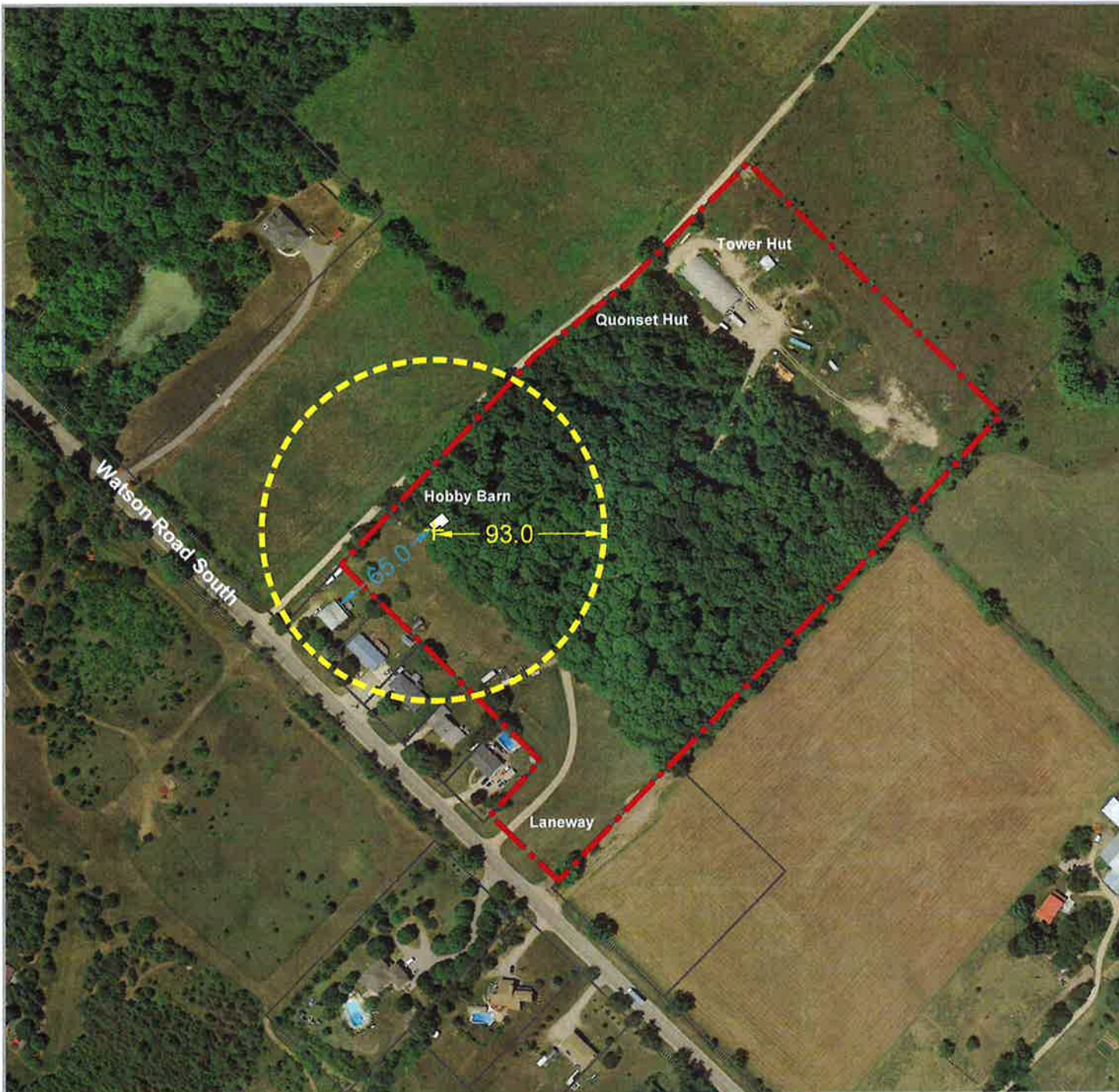


Pierre Chauvin, BSc (Agr), MA, MCIP, RPP
Partner



Gillian Smith, MSc
Planner

Encl.



Minimum Distance Separation (MDS) II Calculation

LEGEND



Subject Lands



Minimum Distance Separation (MDS) II



Parcel Fabric

DATE: May 5, 2021

FILE: 21144A

SCALE: 1:3,000

DRAWN: DGS



K:\21144A-4553 WATSON ROAD-PUSLINCH\PTMDS CALCULATIONS MAY5 2021.DWG

Andrew and Wendy Jones
4553 Watson Road South
Township of Puslinch
County of Wellington

Base Map Source:
Google Earth



PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

200-540 BINGEMANIS CENTRE DR. NICHESSE, ON. N2B 3X9
P: 519.576.3650 F: 519.576.0121 | WWW.MHBCPLAN.COM



PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department in our capacity as planning consultants for the Township

MEETING DATE: June 8th, 2021
TO: Lynne Banks, Development and Legislative Coordinator
Township of Puslinch
FROM: Zach Prince, Senior Planner
County of Wellington
SUBJECT: **MINOR VARIANCE APPLICATION D13 JON (Jones)**
Andrew, Paul, and Wendy Jones
4553 Watson Road S
Part Lot 15, Concession 10
SCHEDULES: **1 – Aerial with MDS setbacks provided by the applicant**
2 – Planning Review Letter

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

Planning Comment

The subject minor variance request would provide relief from Section 3.13(a) to permit a reduction in the Minimum Distance Separation (MDS II) setback for an existing hobby barn. The reduction would be from the required 93 m (305 ft) setback to permit a reduced setback of 65 m (207 ft). The property is surrounded by existing rural residential lots (**Figure 1**).

Staff have reviewed the MPAC data in the area and note that the existing lots (4555 to 4563 Watson Road S) were constructed between 1965 and 1971, the barn on the applicant's property was constructed in the late 1970's. It is unclear if the barn has been used as an agricultural structure for the entire length of time as the applicant has indicated that the barn has housed livestock intermittently since being constructed.

The applicant's planning consultant has submitted a planning review letter (Schedule 2) that is in support of the application, which is attached to this report for the Committee's consideration. It has also been identified that it would be challenging to relocate the barn on-site, therefore relief from the by-law is being sought.

The Minimum Distance Separation (MDS) Guideline (Publication 853) identifies in Guideline #43 that MDS II can be reduced, but in limited site specific circumstances. When implementing Guideline #43, the Committee should consider whether the requested relief meets the requirements under Section 45 (1) of the Planning Act and if the requested relief is warranted when considering surrounding land uses; environmental concerns, safety and practicality. The Committee should also consider comments received from the Township Building Official and if there is a need for a nutrient management plan.

The Committee should be satisfied that the subject application is minor in nature, maintains the intent and purpose of the County Official Plan and the Township's Zoning By-law, and represents desirable and appropriate development.

| Section of the By-law | Requirements | Proposed | Relief Requested |
|---|--|---------------------------------------|------------------|
| Section 3 (13) (a) – General Provision, | No residential, institutional, commercial, industrial or | Requesting relief to permit a reduced | 28 m (92 ft) |

| | | | |
|--|--|--|--|
| Minimum Distance Separation Requirements - MDS I – New Non-Farm Uses | recreational use, located on a separate lot and permitted within the Agricultural (A) Zone or any other zone in which agricultural uses are permitted, shall be erected or altered unless it complied with Minimum Distance Separation I (MDS I) setback from a livestock facility, calculated using the Formulas published by the Province of Ontario, as may be amended from time to time. | MDS 1 setback from the existing barn on the proposed retained parcel to the proposed severed parcel to be 93 m (305 ft) setback to permit a reduced setback of 65 m (207 ft) | |
|--|--|--|--|



Figure 1 - Subject Property

Our discussion of this application relative to the four tests under the Planning Act is as follows:

| Four Tests | Discussion |
|---|---|
| That the requested variance is minor in nature | <ul style="list-style-type: none"> The required MDS setback is from the applicant's existing barn. There are 5 existing dwellings in the area of the barn. The required MDS setback is not met for all but 1 or 2 of the dwellings. There are existing barns within the immediate area; however, the subject use is the closest livestock structure. |

| | |
|---|--|
| That the intent and purpose of the Zoning By-law is maintained | <ul style="list-style-type: none"> • The subject property is zoned Agricultural (A) and Natural Environment (NE). A single detached dwelling, accessory uses to a dwelling, and a barn are permitted uses within the Agricultural (A) Zone. • The intent of the MDS setback is to provide a minimum distance between livestock facilities and sensitive lands uses (i.e. dwellings). The intent of MDS setbacks is to promote and protect agricultural uses while also reducing odour complaints and land use incompatibility. • The application is for an existing structure approximately 72.5 m² (780 ft²) in size, which is proposed to be used to house livestock (2 horses and approximately 100 layer hens). |
| That the general intent and purpose of the Official Plan is maintained | <ul style="list-style-type: none"> • The property is designated Secondary Agricultural, Core Greenland System, and Greenland System. The features identified on the subject lands include – Provincially Significant Wetlands (PSW), and wetlands. The PSW and wetland feature are located immediately behind the proposed lot. • Section 6.5.6 requires that new agricultural facilities comply with MDS. |
| That the variance is desirable and appropriate development and use of the land, building or structure | <ul style="list-style-type: none"> • If the barn was to be expanded in the future, there are a number of dwellings in the area that would impact future expansion and would trigger additional MDS relief. • The MDS guidelines provide examples for when MDS can be reduced including circumstances that mitigate environmental or public health and safety impacts, or avoid natural or human-made hazards. • Justification for the reduction has been provided in the applicant's planning report. |

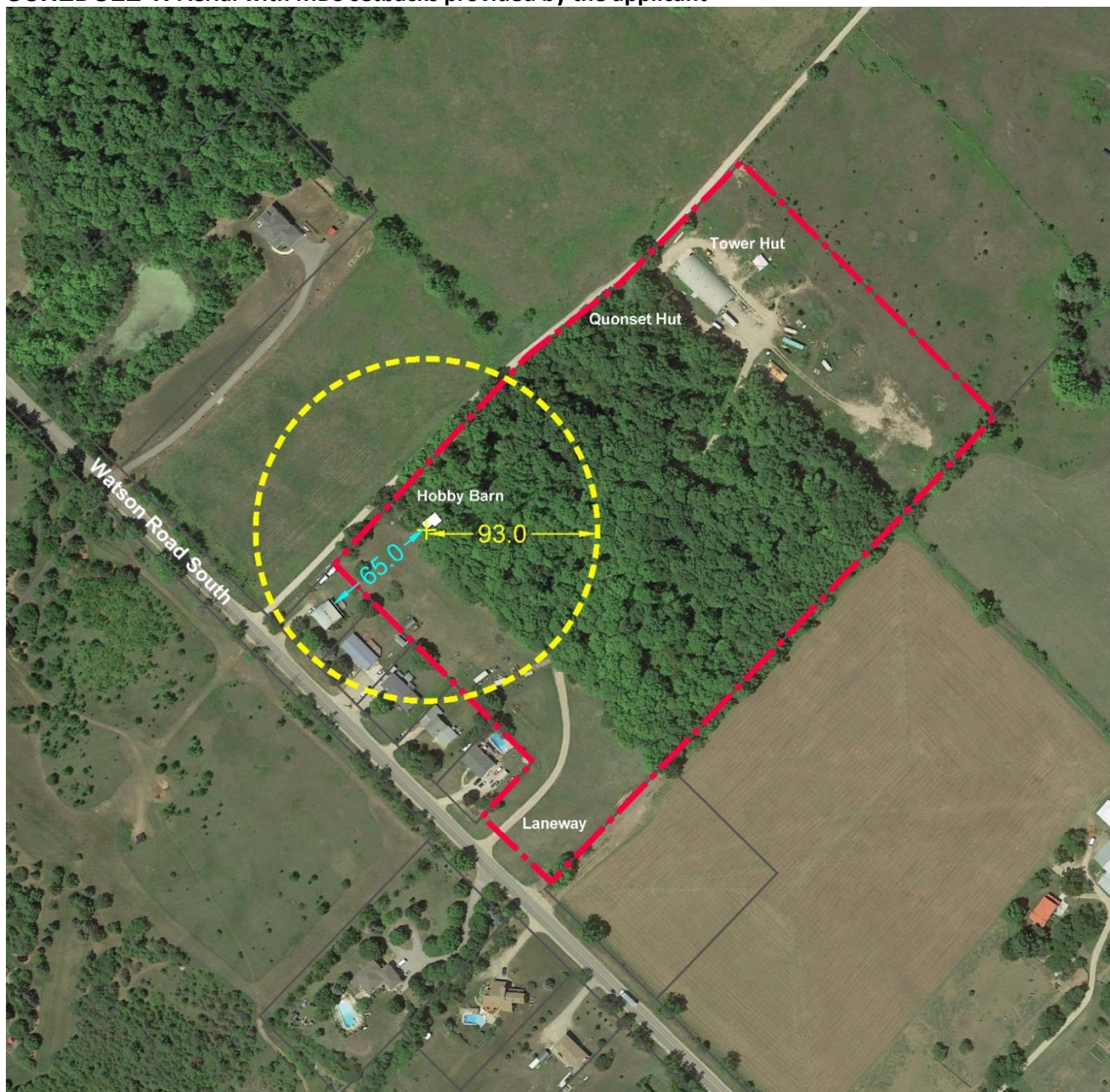
I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application.

Respectfully submitted
County of Wellington Planning and Development Department

[Redacted Signature]

[Redacted Name]
Senior Planner

SCHEDULE 1: Aerial with MDS setbacks provided by the applicant



Minimum Distance Separation (MDS) II Calculation

LEGEND

-  Subject Lands
-  Minimum Distance Separation (MDS) II
-  Parcel Fabric

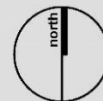
Base Map Source:
Google Earth

DATE: May 5, 2021

FILE: 21144A

SCALE: 1:3,000

DRAWN: DGS



K:\21144A-4553 WATSON ROAD-PUSLINCH\RP\TMDS CALCULATIONS MAY15 2021.DWG

Andrew and Wendy Jones
4553 Watson Road South
Township of Puslinch
County of Wellington

MHBC PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE
200-540 BINGEMANS CENTRE DR. KITCHENER, ON, N2B 3X9
P: 519.576.3650 F: 519.576.0121 | WWW.MHBCPLAN.COM



Township of Puslinch
7404 Wellington Road 34
Puslinch, ON, N0B 2J0
T: (519) 763 – 1226
F: (519) 763 – 5846
www.puslinch.ca

Minor Variance or Permission Application

General Information:

1. Applicant Information:

Registered Owner's Name(s): Mark & Karen Slade

Address: 17 Calfass Road

City: Morriston, ON

Postal Code: N0B 2C0

E-mail Address: [REDACTED]

Telephone Number: [REDACTED]

Fax: _____

Applicant (Agent) Name(s): _____

Address: _____

City: _____

Postal Code: _____

E-mail Address: _____

Telephone Number: _____

Fax: _____

Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property.

N/A

Send correspondence to: Owner: ☒ Agent ☐ Other: _____

2. Provide a description of the “entire” property:

Municipal address: 17 Calfass RD 2301000005158000000

Concession: 7 Lot: PT Lot 30

Registered Plan Number: CON 7 REAR PT LOT 30 PT OLD;ROAD ALLOWANCE CALFASS RD W;OF HY 6

Area: 0.2104365 ha Depth: 57 m Frontage: 59.387232 m
0.52 ac 187.008 ft 194.84 ft

Width of road allowance (if known): _____

Reason for Application:

3. Please indicate the Section of the Planning Act under which this application is being made. Select one:

☐ Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.); or

☒ Section 45(2) relates to a change to or expansion of an existing legal non-conforming use.

4. What is the nature and extent of the relief that is being applied for? (please specifically indicate on sketch).

Property is zoned Natural Environment (NE) in the Township Zoning By-law. Development is restricted in the NE Zone. We are seeking relief of non-conforming status (grandfathering) in order to expand and renovate existing structures. We are seeking relief from Section 4.17.1 of the zoning By-law specifically because we are looking to increase the size of the existing garage and we are reducing the existing yards.

**5. Why is it not possible to comply with the provisions of the by-law?
(please specifically indicate on sketch).**

We are wanting to expand our existing garage and it is on the boarder of the NE. We applied and received a building permit from the Township of Puslinch for the existing garage.

6. What is the current Official Plan and zoning status?

Official Plan Designation: Paris Galt Moraine Policy Area

Zoning Designation: Natural Environment

7. What is the access to the subject property?

Provincial Highway: ☐

Continually maintained municipal road: ☒

Seasonally maintained municipal road: ☐

Other: ☐ (please specify below)

8. What is the name of the road or street that provides access to the subject property?

Calfass Road

9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

N/A

Existing and Proposed Service:

10. Indicate the applicable water supply and sewage disposal:

| Water Supply/Sewage Disposal: | Existing: | Proposed: |
|-------------------------------|-------------------------------------|--------------------------|
| Municipal Water: | <input type="checkbox"/> | <input type="checkbox"/> |
| Communal Water: | <input type="checkbox"/> | <input type="checkbox"/> |
| Private Well: | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Other Water Supply: | <input type="checkbox"/> | <input type="checkbox"/> |
| Municipal Sewers: | <input type="checkbox"/> | <input type="checkbox"/> |
| Communal Sewers: | <input type="checkbox"/> | <input type="checkbox"/> |
| Private Septic: | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Other Sewage Disposal: | <input type="checkbox"/> | <input type="checkbox"/> |

11. How is storm drainage provided?

Storm Sewers: ☐

Ditches: ☐

Swales: ☐

Other means: ☒ (explain below)

Surface drainage

Existing Subject and Abutting Property Land Uses, Buildings and their Locations:

12. What is the existing use of:

The subject property? Residential

The abutting properties? Agricultural and Residential

13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)

| Type of Building(s)/ structures | Accessory structure-garage | | |
|---|----------------------------|---------------------------|--------------------------------|
| Main Building height | 4.8768 m | 16'-0" ft. | m ft. |
| *Percentage lot coverage | 5% m | 5% ft. | m ft. |
| *Number of parking spaces | 2 | | |
| *Number of loading spaces | 0 | | |
| Number of floors | 1 | | |
| Total floor area | 36.44 m ² | 112.99213 ft ² | m ² ft ² |
| Ground floor area (exclude basement) | 11.99213 m ² | 11.99213 ft ² | m ² ft ² |

14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)

| | | | | |
|------------|------------|----------------|-----------|-------------|
| Front Yard | 11.3538 m | 37'-3 1/2" ft. | m | ft. |
| Rear Yard | 1.9812 m | 6'-5" ft. | m | ft. |
| Side Yards | 115.4856 m | 35'-2" ft. | 39.0144 m | 128'-0" ft. |

15. What are the dates of acquisition and construction of subject property and building property?

Date of acquisition of subject property: November 19, 1980

Date of construction of buildings property: June 9, 1988

16. How long have the existing uses continued on the subject property? 33 years

17. Has the owner previously applied for relief in respect of the subject property?

Yes ☐ No ☒

If the answer is yes, please indicate the file number and describe briefly:

| |
|----------------------|
| |
|----------------------|

Other Related Planning Applications:

18. Has an application for any of the following on the subject lands?

| Planning Application: | Yes: | No: | File Number: | Approval Authority: | Subject Lands | Purpose: | Status: |
|-------------------------|--------------------------|-------------------------------------|--------------|---------------------|---------------|----------|---------|
| Official Plan Amendment | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Zoning By-Law Amendment | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Plan of Subdivision | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Consent (Severance) | | X | | | | | |
| Site Plan | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Minor Variance | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |

Authorization for Agent/Solicitor to act for Owner:

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

I (we) _____ of the
_____ of _____ County/Region of
_____ do hereby authorize
_____ to act as my agent in this application.

Signature of Owner(s) Date

Affidavit:

I (we) _____ of the
_____ of _____ County/Region of
_____ solemnly declare that all the statements
contained in this application are true, and I, (we), make this solemn declaration
conscientiously believing it to be true, and knowing that it is of the same force and effect
as if made under oath and by virtue of the CANADA EVIDENCE ACT. DECLARED
before me at the _____ of _____ in the
County/Region of _____ this _____ day of
_____, 20_____.

Signature of Owner or authorized solicitor or agent Date

Signature of Commissioner Date

Agreement to Post Sign and Permit Site Visits:

A form is included in the Zoning By-law Amendment application to agree to erect a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits.

The applicant is required to erect and maintain a sign on the proposed lands within one week of the application being deemed complete by staff and to remove the sign when the application has been given final approval. The sign shall be a minimum of 1.2 x 1.2 metres on posts 0.5 metres above grade and include the following wording to be approved by Township staff:

A PROPOSAL HAS BEEN MADE
ON THIS SITE FOR: (50 mm text height)
A ZONING BY-LAW AMENDMENT TO xxx (100 mm text height)
FOR FURTHER INFORMATION
PLEASE CONTACT THE TOWNSHIP OF PUSLINCH 7404 WELLINGTON ROAD 34
(519) 763 - 1226 (30-50 mm text height)

For Administrative Purposes Only:

Application fee of \$_____received by the municipality

Date Fee Received: _____

Date Application Filed: _____

File Number: _____

Application deemed complete:

Signature of Municipal Employee

Date

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk’s office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk’s office for assistance.

Drinking Water Source Protection Screening Form

Office Use Only

Roll Number: _____

File Number: _____

Submission Date: _____

WHPA, IPZ, ICA: _____

Vulnerability Score: _____

Find out if you live in a vulnerable drinking water area at www.wellingtonwater.ca

For assistance in completing this form, please refer to the “Explanatory Guide” beginning on page 6.

Please note that you may still need to contact the applicable Conservation Authority, as this is not considered correspondence on their behalf.

1. Property Information

Municipal Address of Subject Property: 17 Calfass Road Morriston Ontario N0B 2C0

Assessment Roll Number of Subject Property: 23-01-000-005-15800-0000

Property Owner: Karen and Mark Slade

2. Proposal (Please check all that apply to this application):

| Building | |
|-------------------------------------|--|
| <input type="checkbox"/> | New Structure |
| <input checked="" type="checkbox"/> | Expansion or Conversion of an Existing Structure |
| <input type="checkbox"/> | New Septic System |
| <input type="checkbox"/> | Replacement Septic System |
| <input type="checkbox"/> | Geothermal System (Transport Pathway) |
| <input type="checkbox"/> | Change of Use |

| Planning | |
|-------------------------------------|-------------------------------------|
| <input type="checkbox"/> | Minor Variance |
| <input type="checkbox"/> | Official Plan Amendment |
| <input type="checkbox"/> | Consent Application |
| <input type="checkbox"/> | Zoning By-law Amendment Application |
| <input type="checkbox"/> | Subdivision/Condominium Application |
| <input checked="" type="checkbox"/> | Site Plan Application |

Brief Description of the Proposed Use of Land, Proposed Buildings or Structures. If constructing a geothermal, please provide construction details including depth, vertical or horizontal, closed loop or open loop.

Addition to existing garage.

3. Potential Threat Activities Associated with the Application

Please check all applicable activities that may be associated with the development proposal:

3.1 Fuel Handling and Storage greater than 250 litres

| | Existing | Proposed | Greater than 2,500L | Underground Storage Tank | Aboveground Storage Tank | Inside Home | Outside Home |
|---------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|-------------|--------------------------|
| Liquid Fuel (i.e. gasoline or diesel) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | |
| Fuel oil (home heating) | <input type="checkbox"/> | <input type="checkbox"/> | | | | | <input type="checkbox"/> |
| Waste oil (heating) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | |

3.2 Chemical Handling and Storage

| | Yes | If Yes, please indicate the type(s) of chemicals if known: | | If Yes, please estimate the total amount |
|---|-------------------------------------|--|--------------------------|--|
| | | 3.2.1 Dense Non-Aqueous Phase Liquids (DNAPLs), including chlorinated solvents | 3.2.2 Organic Solvents | |
| Paints and other coatings (including stains, enamels, lacquers, rust paint) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 20 L |
| Dry cleaning chemicals | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Automotive repair/maintenance and/or industrial manufacturing and processing (e.g. degreasers, automotive fluids, oils, furniture stripping products, chemical solvents, adhesives) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 50 L |
| Solvent based degreasers or liquids for washing metal parts | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

3.3 Road Salt Application and/or Outdoor Storage

| | Covered | Uncovered | Estimated Volume Stored on Property (m ³) | Estimated Application Area (m ²) including private roads, parking lots, and sidewalks |
|--|--------------------------|--------------------------|---|---|
| Road Salt Storage | <input type="checkbox"/> | <input type="checkbox"/> | | |
| Road salt application (private roads, parking lots, sidewalks, etc.) | | | | |

3.4 Snow Storage (see guide)

| | Above Grade | Below Grade (buried) | Approximate Storage Area greater than: | | |
|--------------|--------------------------|--------------------------|--|----------------------------|---------------------------|
| | | | 0.01 ha (double driveway) | 0.5 ha (1 soccer field) | 1 ha (2 soccer fields) |
| Snow Storage | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

3.5 Waste Storage or Disposal (see guide)

| | Yes |
|---|--------------------------|
| 3.5.1 Storage and/or application of raw, untreated liquids and solids that are pumped out of septic systems and holding tanks (not including septic tanks) | <input type="checkbox"/> |
| 3.5.2 Storage and/or disposal of oils (does not include restaurant oil or grease); hazardous waste; liquid industrial waste; industrial and commercial waste; or PCB waste | <input type="checkbox"/> |

3.6 Storm Water Management/Industrial Sewage

| | Yes |
|--|--------------------------|
| Stormwater management facility (treatment, retention, infiltration, recharge or control of stormwater) | <input type="checkbox"/> |
| Car or truck washing facility | <input type="checkbox"/> |
| Oil and Water Separator | <input type="checkbox"/> |
| Sediment control (i.e. Stormceptor) | <input type="checkbox"/> |

3.7 Septic Systems

| | Existing | Proposed | |
|--|-------------------------------------|--------------------------|--------------------------|
| | | New | Replacement |
| Septic system for residential or small-scale commercial/industrial/institutional use (Ontario Building Code) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Septic system (Greater than 10,000 litres per day) for commercial/industrial/institutional use (note an Environmental Compliance Approval would be required) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

3.8 Water Taking

| | Proposed | Existing | If Existing, please provide the following: | | | |
|--|--------------------------|-------------------------------------|--|--------------------------|--------------------------|---------------------------|
| | | | Drilled | Dug | Well Not In Use* | Approx. Construction Date |
| 3.8.1 Private Well (<i>*Please note that if there is an existing well that is not in use, Section 3.9 must also be checked</i>) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 1960 |
| 3.8.2 Greater than 50,000 litres per day of water being used (note a Permit to Take Water may be required) | <input type="checkbox"/> | <input type="checkbox"/> | | | | |

3.9 Transport Pathway (see guide)

| | Yes |
|--|--------------------------|
| Creation of aggregate pits, geothermal systems, non-residential or large residential caissons/building piers, or utilities/excavation within fractured bedrock and underground parking garages | <input type="checkbox"/> |
| Existing private well not in use | <input type="checkbox"/> |

3.10 Recharge Reduction

| | Yes |
|--|--------------------------|
| Creation of impervious surfaces (including large roofed areas, pavement, etc.) – only applies within Town of Erin | <input type="checkbox"/> |

3.11 Agricultural

| | Application | Storage | Product Name(s) |
|---|--------------------------|--------------------------|-----------------|
| 3.11.1 Fertilizers | <input type="checkbox"/> | <input type="checkbox"/> | |
| 3.11.2 Pesticides | <input type="checkbox"/> | <input type="checkbox"/> | |
| 3.11.3 Agricultural source material (i.e. manure) | <input type="checkbox"/> | <input type="checkbox"/> | |
| 3.11.4 Non-agricultural source material (i.e. biosolids, commercial food wastes, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | |

| | Yes | Estimated Number of Animals | Type of Animals |
|--|--------------------------|-----------------------------|-----------------|
| 3.11.5 Grazing and Pasturing of livestock | <input type="checkbox"/> | | |
| 3.11.6 Outdoor Confinement Yard | <input type="checkbox"/> | | |
| 3.11.7 Nutrient Management Plan or Strategy, NASM Plan applies to or is registered for the property | <input type="checkbox"/> | | |
| Environmental Farm Plan | <input type="checkbox"/> | | |

3.12 None of the above are applicable

| | |
|---|--------------------------|
| Check off this box only if none of the above sections have been checked | <input type="checkbox"/> |
|---|--------------------------|

4. Declaration (Owner or Applicant) or Person Engaged in Activity

Owner

I, Mark Slade, declare that the information contained in this application and all attached documentation is true to the best of my knowledge.

February 12, 2021

Date


Signature

Applicant or Authorized Agent

I, Mark Slade, declare that the information contained in this application and all attached documentation is true to the best of my knowledge.

February 12, 2021

Date


Signature

Information is collected pursuant to the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56 and the *Clean Water Act*, 2006, S.O. 2006, c. 22 for the administration and enforcement of the *Clean Water Act*. Please note that business identity information is not considered personal information pursuant to the *Municipal Freedom of Information and Protection of Privacy Act*.

For any inquiries about the collection of this information, please contact the Risk Management Official, Wellington Source Water Protection, 7444 Wellington Road 21, Elora, ON, N0B 1S0, 519-846-9691 ext. 362.

Explanatory Guide for Completing the Drinking Water Source Protection Screening Form

Your property is located within a municipal well head protection area or intake protection zone and therefore may be subject to the *Clean Water Act*, 2006. The Wellhead Protection Area (WHPA) is the area around a municipal well where land use activities have the potential to affect the quality and quantity of water that flows into the wellhead. For more information, refer to www.wellingtonwater.ca or contact 1-844-383-9800.

To assist staff in determining whether your property and/or application is subject to the Act, the Drinking Water Source Protection Screening Form is completed to inventory the activities that are proposed on your property. The following sections explain the form.

Section 1 – Property Information:

Please fill out the municipal address and property owner for the subject property.

Section 2 – Proposal:

Please check all that apply to the application and provide a brief explanation of the proposed development and/or construction details if construction a geothermal (such as depth, vertical r horizontal, closed loop or open loop).

Section 3 – Potential Threat Activities Associated with Proposed Application:

Within this section please fill out all that apply to your application. If there is a circle provided in the table, please provide a check mark; if there is a blank space in the table please write in the applicable information.

3.1 Liquid Fuel Handling and Storage:

Fill out this section if on the property there is liquid fuel storage or handling greater than 250 litres (1 gal = 3.785 L). This can be located in land uses for residential, agricultural, gas, commercial, industrial or institutional purposes and includes gasoline, diesel or home heating oil. It does not include propane or natural gas.

3.2 Chemical Handling and Storage:

Fill out this section if the application is regarding one of the listed chemical handling or storage activities on the form.

3.2.1 Known DNAPLs:

Fill out this section only if applicant is aware of a Dense Non-Aqueous Phase Liquid (DNAPLS) on the property. DNAPLs are chemicals that are denser than water and therefore have the ability to contaminate the groundwater easily. The specific DNAPLs that pose a potential threat are poly-aromatic hydrocarbons (PAHs), 1, 4-dioxane, trichloroethylene, tetrachloroethylene or perchloroethylene (PCE or PERC) and Vinyl Chloride.

- **Vinyl Chloride:** Used to make polyvinyl chloride (PVC) pipes, wire coatings, vehicle upholstery and plastic kitchen ware
- **PAHs:** Used in wood preservatives, pharmaceuticals, dyes and asphalt products.

- **1,4-dioxane:** Used as a degreasing solvent or solvent stabilizer in various manufacturing processes.
- **Tetrachloroethylene** (PCE or PERC): Used in dry cleaning, metal cleaning and as an intermediate in manufacturing processes.
- **Trichloroethylene** (TCE): Mainly used for degreasing of metal parts in the automotive and metal industries and also found in some household products such as adhesives, paint removers, paints, rug cleaning fluids, and metal cleaners.

3.2.2 Known Organic Solvents:

Fill out this section if the applicant is aware of Organic Solvents on the property. Organic Solvents are liquid organic compounds with the ability to dissolve solid, gases or liquids and therefore have the ability to contaminate drinking water sources. Organic Solvents that are of potential concern include Carbon Tetrachloride, Chloroform, Dichloromethane and Pentachlorophenol (PCP).

- **Carbon Tetrachloride:** Once used widely in fire extinguishers, as a cleaning agent, in the manufacture of refrigerants as well as an industrial solvent and metal degreasing agent is a banned substance in Ontario since 1999. The only permitted uses of the chemical are in research laboratories or in the manufacturing process where the product is converted to an alternative product which does not contain a class of ozone-depleting substances.
- **Chloroform:** commonly used in a laboratory setting, and in the production of pharmaceuticals, dyes and pesticides.
- **Dichloromethane** (also known as methylene chloride): used as a solvent in paint strippers and removers. It is used as a process solvent in the manufacture of drugs, pharmaceuticals and film coatings. It is also used as a metal cleaning and finishing solvent in electronics manufacturing, aerosol propellant and as an agent in urethane foam blowing.
- **Pentachlorophenol** (PCP): used as an herbicide, insecticide, fungicide, algicide and disinfectant, and as an ingredient in antifouling paint. Its use has significantly declined due to its high toxicity. Today it is used industrially as a wood preservative and is not manufactured in Canada.

3.3 Road Salt Application, Handling and Storage:

Fill out this section if there will be road salt storage on the property or road salt application on a private road, parking lot, or sidewalk located on the property. Please provide estimates in m³ for volume and m² for area.

3.4 Snow Storage:

Fill out this section if there will be snow storage (above or below grade) on the property and indicate whether the storage will be greater than 0.01 hectare (0.03 acre or 10 metres by 10 metres), greater than 0.5 hectares (1.24 acres or 50 metres by 50 metres), or greater than 1 hectare (2.5 acres or 100 metres by 100 metres). For reference, 0.01 hectare is roughly the size of a double driveway, 0.5 hectares is roughly the size of one soccer field, and 1 hectare is roughly the size of two soccer fields.

3.5.1 Waste Storage or Disposal - Septic Tank Pump outs

Fill out this section only if application is involved in the pumping out or disposal/treatment of raw sewage or septage, porta potties or holding tanks.

3.5.2 Waste Storage or Disposal - Storage and/or Disposal of Hazardous Waste:

Fill out this section if there is hazardous waste or liquid industrial waste stored on the property including waste oil, solvents, and automotive fluids. Please note storage or disposal of oil does not include restaurant oil or grease. Storage of hazardous waste or liquid industrial waste includes wastes requiring registration with the Ontario Hazardous Waste Information Network (HWIN), if applicable. Disposal of waste on site includes landfilling and incineration. Typically, this will only be at commercial or industrial properties.

3.6 Storm Water Management/Industrial Sewage:

Fill out this section if one of the listed storm water management or industrial sewage activities is planned or present. For reference, a storm water management facility may include a retention or detention pond (wet or dry), catch basins, sediment control, recharge systems (such as infiltration galleries), swales and ditches.

3.7 Septic Systems:

Fill out this section if the property will be serviced by a septic system. Please indicate whether the septic system is existing or proposed. If the existing or proposed septic system has a design capacity of less than 10,000 litres, it is regulated under the Ontario Building Code (OBC). A building permit, obtained through the municipality, is required by the OBC for installation of a new septic system and for the repair/replacement of an existing system. If the existing or proposed septic system has a design capacity of greater than 10,000 litres a day, a provincial Environmental Compliance Approval may be required under the Ontario Water Resources Act. Please contact the local Ontario Ministry of the Environment and Climate Change office for more information.

3.8.1 Water Taking - Private well installed:

Fill out this section if there is an existing well present or a new well being installed on the property. This includes private drinking water wells, environmental test wells, geotechnical wells, irrigation wells, etc. Please indicate whether the well is proposed or existing, and fill out the rest of the section (dug or drilled as well as the approximate construction date) for existing wells only.

3.8.2 Water Taking - Greater than 50,000 litres per day

Fill out this section if more than 50,000 litres per day is being withdrawn from a well or a water body (1 gal = 3.785 gal).

3.9 Transport Pathway

Transport pathways are human constructed pathways through soil and bedrock that may increase the vulnerability of groundwater to certain contaminants.

Please check the first circle if your application will be installing a vertical geothermal system, installation of caissons or building piers for a non-residential application or for a large residential application, aggregate project, or installation of utilities or excavation within fractured bedrock. A road occupancy permit application could indicate when fracture bedrock excavation occurs. If geothermal, please provide construction details including depth, vertical or horizontal, closed loop or open loop in the space provided in Part 2 (on the first page of this document). A large residential application includes multi-story, multi-unit residential developments.

Please check the second circle if there is an existing private well that is not in use. Private wells include environmental and / or geotechnical monitoring wells and domestic wells. If you filled out Section 3.8.1 as private well not in use, Section 3.9 should also be completed.

3.10 Recharge Reduction:

Fill out this section if there is going to be an increase in impervious surfaces on the property. For example, asphalt (driveways and parking areas) and covered areas (roofs, decks and structures). If building within current building envelope then it is not an increase. Please note this box only applies within the Town of Erin.

3.11.1 Fertilizers and/or 3.11.2 Pesticides:

Fill out this if there is storage or use of fertilizer or pesticides for agricultural or commercial use. Do not fill out this section if used only for personal use.

3.11.3 Agricultural - Application, handling and storage of agricultural (i.e. manure) and/or 3.11.4 non-agricultural source material (bio solids):

Fill out this section if there is application, handling or storage of Agricultural Source Material (ASM) (manure) or Non-Agricultural Source Material (NASM) on the property. ASM and NASMs include; manure (ASM) and biosolids, commercial food waste, etc. For more information on NASMs and ASMs please look at fact sheet number 4, available on our website, www.wellingtonwater.ca

3.11.5 Agricultural - Grazing and pasturing of livestock:

Fill out this section if there is any grazing, pasturing or housing of one or more livestock on the property excluding household pets. Livestock can include cows, horses, sheep, goats and other animals. If unsure, please contact Wellington Source Water Protection for clarification. Please give an estimation of the number of animals, as well as the type of animal(s).

3.11.6 Outdoor Confinement Yard:

Fill out this section if there are any livestock including cows, horses, sheep, goats and other animals housed in an outdoor confinement yard on the property. If unsure, please contact Wellington Source Water Protection for clarification. Please give an estimation of the number of animals, as well as the type of animal(s).

3.11.7 Prescribed Instruments

Fill out this section if there are any provincially prescribed instruments that apply to or are registered for the property. This includes Nutrient Management Strategies, Nutrient Management Plans and Non-Agricultural Source Material Plans.

3.12 None of the above are applicable:

Check that none of the above sections in Part 3 are applicable to the application. This section should only be checked if none of the other sections have been checked.

Section 4 - Declaration:

Either the owner or the applicant must sign and date the form.

June 2, 2021

Lynne Banks, Secretary-Treasurer, Township of Puslinch
7404 Wellington Road. 34
Puslinch, ON N0B 2J0

BY EMAIL

Dear Lynne Banks:

Re: Minor Variance Application
File Number: D13/SLA
17 Calfass Road, Puslinch, ON
Slade – Applicants

Conservation Halton (CH) staff has reviewed the above-noted application as per our responsibilities under Ontario Regulation 162/06; the Provincial Policy Statement (PPS) (delegated responsibility for comments relating to provincial interests under Sections 3.1.1-3.1.7 inclusive); the Memorandum of Understanding (MOU, 1999) with Halton Region; and as a public body under the *Planning Act*. These responsibilities are not mutually exclusive. Comments that pertain to items contained in the MOU may also apply to areas regulated under Ontario Regulation 162/06.

The following comments relate to the items marked as “applicable” for this specific application. Comments under Ontario Regulation 162/06 are clearly identified and are requirements. Other comments are advisory.

Ontario Regulation 162/06

Applicable

Lake Ontario/Burlington Bay/Hamilton Harbour Shoreline Hazards &/or allowances
River and Stream Valley Hazards (flooding/erosion) &/or allowances
Wetlands &/or Other Areas*
Hazardous Lands (Unstable Soil/Unstable Bedrock)
CH Permit Requirements

☐
☐
☒
☐
☒

One Window Delegated Authority under PPS

Natural Hazards (Sections 3.1.1-3.1.7 inclusive)

☒

CA/MOU

Impacts on Lakes and Rivers
Wildlife Habitat
Endangered & Threatened Species
Fish Habitat
Stormwater Management (as per Schedule I)
Sub-watershed Planning/Master Drainage Planning

☐
☐
☐
☐
☐
☐

Other Comments (as a Public Body)

Niagara Escarpment Plan
Watershed Plan
Greenbelt Plan
Source Protection Plan
Hamilton Harbour Remedial Action Plan

☐
☐
☐
☐
☐

Proposal

The applicant is proposing the construction of an addition to an existing garage, subject to the following variance:

1. Requesting relief of New Comprehensive Zoning By-law # 23-2018, as amended, from Section 4.17.1(b) and Section 12.4 to increase the size of an existing garage.

Ontario Regulation 162/06

CH regulates all watercourses, valleylands, wetlands, Lake Ontario and Hamilton Harbour shoreline and hazardous lands, as well as lands adjacent to these features. The subject property is adjacent to lands containing the floodplain of a tributary of Bronte Creek and contains a portion of the East Morrison Swamp and Morrison Marsh Provincially Significant Wetland (PSW). CH regulates a distance of 15m from the floodplain and 120m from the limit of the PSW for this particular site. Permission is required from CH prior to undertaking any development within CH's regulated area and must meet CH's *Policies and Guidelines for the Administration of Ontario Regulation 162/06* (<https://conservationhalton.ca/policies-and-guidelines>).

Proposed Development

Based on a review of our Approximate Regulation Limit (ARL) mapping, and the site plan and elevations, the proposed development meets Policy 2.39.4 of CH's *Policies and Guidelines for the Administration of Ontario Regulation 162/06 and Land Use Planning Document*, most recently amended November 26, 2020. The approved accessory building addition meets the minimum required setback of 30 metres from the PSW, and is beyond the regulation limit associated with the floodplain.

CH Permit Requirements

In advance of this Minor Variance Application, staff had been working with the applicant to ensure the proposed development complies with the relevant policies pursuant to *Ontario Regulation 162/06*. The development associated with this Minor Variance Application is associated with CH File A/21/P/01. CH's Letter of Permission was issued on February 25, 2021 in support of this development. Should any changes arise to the location of the proposed development, please keep CH apprised.

One Window Delegated Authority under PPS

Staff confirm that the development meets the Natural Hazards policies of the PPS.

Summary

Based on the above, staff have **no objection** to the approval of the above noted Minor Variance application. Should any changes arise to the location of the proposed development, please keep CH apprised.

Please note that CH has not circulated these comments to the applicant, and we trust that you will provide them as part of your report.

We trust the above is of assistance. If you have any questions, please contact the undersigned at sstewart@hrca.on.ca.

Sincerely,

A large black rectangular redaction box covering the signature area.

Sean Stewart
Planning and Regulations Analyst
SS/

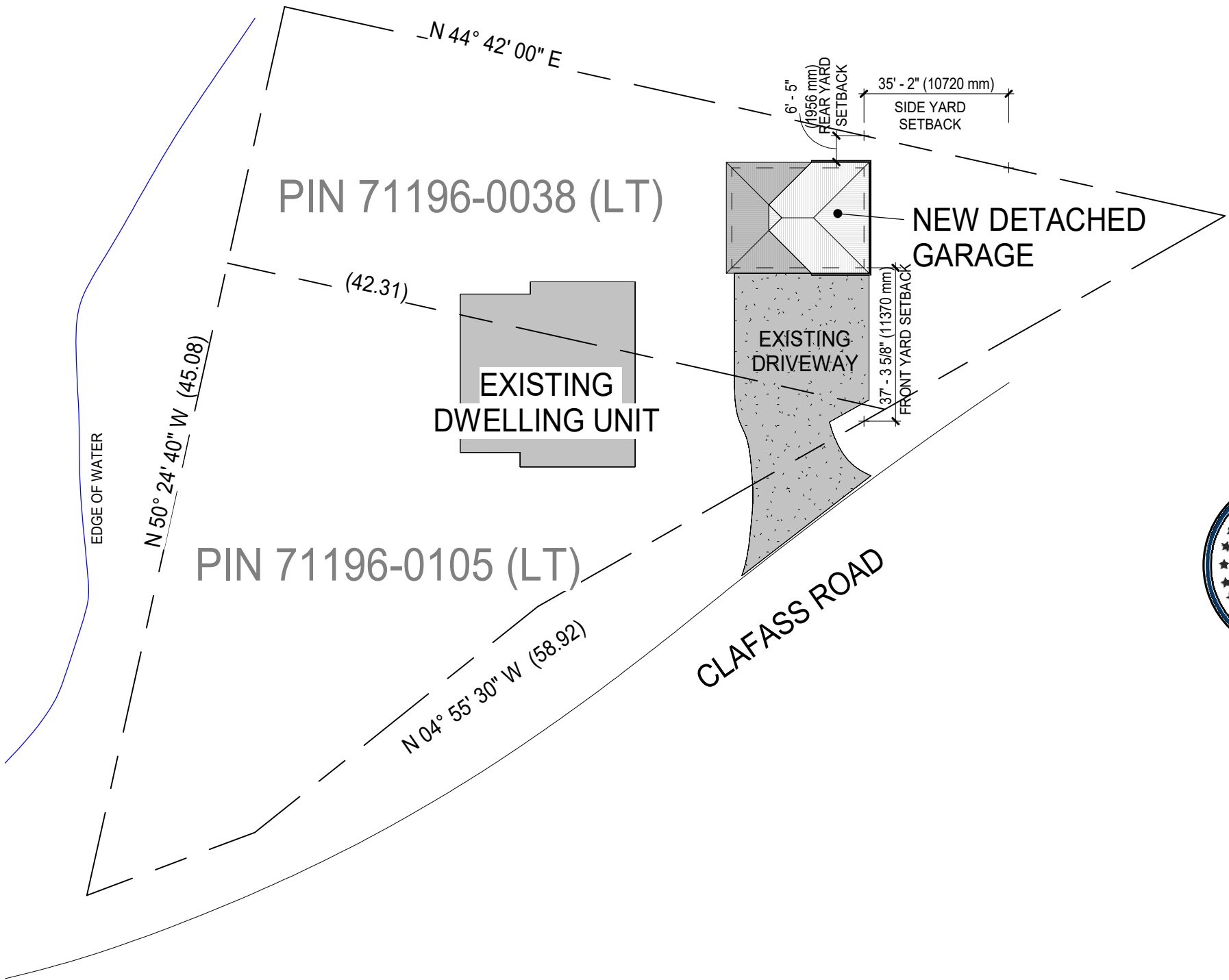
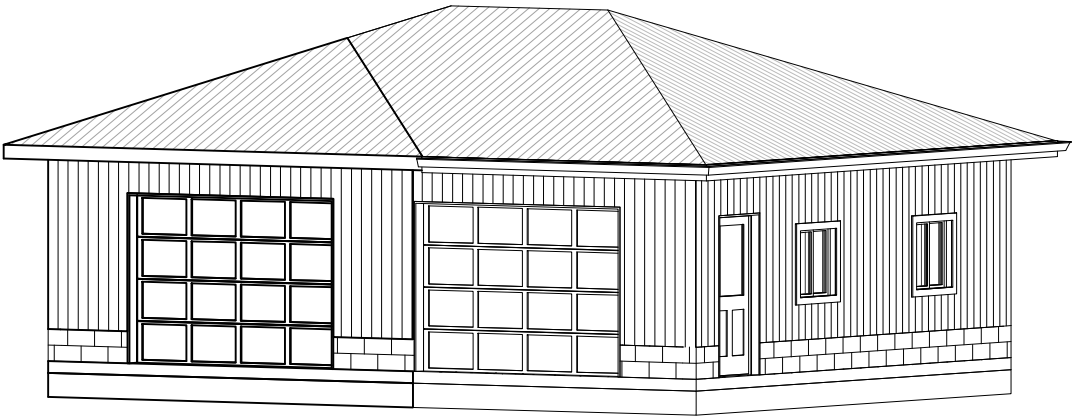
A black rectangular redaction box covering contact information.

SINGLE FAMILY RESIDENTIAL:
DETACHED GARAGE ADDITION

17 CALFASS ROAD
MORRISTON, ON. N0B 2C0

DRAWING LIST

| NO. | SHEET NAME |
|------|------------------------------|
| A1.0 | COVER PAGE AND SITE PLAN |
| A1.1 | GENERAL NOTES AND SCHEDULES |
| A2.0 | FOUNDATION PLAN |
| A2.1 | MAIN FLOOR |
| A2.2 | ROOF PLAN |
| A3.0 | PROPOSED BUILDING ELEVATIONS |
| A4.0 | BUILDING SECTION |
| A5.0 | DETAILS AND FOUNDATION NOTES |



2
A1.0
PROPOSED SITE PLAN
1/32" = 1'-0"

NOTE:
SITE PLAN INFORMATION TAKEN FROM
WELLINGTON COUNTY GIS MAPPING AND
EXISTING OWNER SUPPLIED SURVEY



| No. | DATE | REVISION |
|-----|----------|----------------------------|
| 1 | 20.07.26 | ISSUED FOR CLIENT REVIEW |
| 2 | 20.08.04 | ISSUED FOR BUILDING PERMIT |

TACOMA
ENGINEERS

Firm BCIN: 29604

The undersigned has reviewed and taken responsibility for this design for categories checked. As required by OBC Div.C 3.2.4, the designer is qualified and the firm is registered in the categories checked below.

- ☐ Building Structural
☐ Complex Building
☐ Large Building

Designer:

Designer BCIN: 39864

Date: AUG 21, 2020



TRI-CITY
DRAFTING AND DESIGN
SERVICES
11 KENT STREET GUELPH, ONTARIO N1H 3B6 STREET
SERVICE@TRICITYDRAFTING.COM

MARK SLADE
DETACHED GARAGE

17 CALFASS ROAD
MORRISTON, ON. N0B 2C0

COVER PAGE AND SITE
PLAN

DRAWN BY: J.KELLY PROJECT No.: 20TC032

A1.0

CONSTRUCITON NOTES

1.

UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE FOLLOWING NOTES SHALL GOVERN.
2.

ALL WORK ON THIS PROJECT SHALL CONFORM TO THE 2012 R2020 ONTARIO BUILDING CODE, ANY LOCAL REGULATIONS AND BYLAWS, AND THE CURRENT OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA) AND CURRENT REGULATIONS FOR CONSTRUCTION PROJECTS. ALL CODES AND STANDARDS SHALL BE THOSE REFERENCED IN OBC 2012 R2020.
3.

ALL STANDARDS ARE TO BE THE YEAR, EDITIONS, DOCUMENT NUMBERS, ETC AS PER OBC 2012 R2020 DIVISION B, T.1.3.1.2. WHERE DISCREPANCIES EXIST BETWEEN OUR DRAWINGS AND T.1.3.1.2, THE TABLE SHALL GOVERN UNLESS NOTED OTHERWISE.
4.

THIS SET OF DRAWINGS SUPERCEDES AND REPLACES ALL PREVIOUS DRAWINGS.
5.

READ THESE DRAWINGS IN CONJUNCTION WITH ALL RELATED CONTRACT DOCUMENTS.
6.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND MEASUREMENTS ON SITE.
7.

IF ANY DISCREPANCIES ON THE DRAWINGS EXIST, THE MOST STRINGENT SHALL APPLY.
8.

DIMENSIONS TO EXISTING WALLS ARE TO FINISHED FACE.
9.

ALL PROPOSED DIMENSIONS ARE TO WOOD FRAMING/STRUCTURE.
- DRAWINGS ARE NOT TO BE SCALED.

WOOD CONSTRUCTION

1.

WOOD FRAMING DESIGN AND CONSTRUCTION SHALL CONFORM TO CAN/CSA-O86 "ENGINEERING DESIGN IN WOOD".
2.

PROVIDE ADEQUATE BEARING SURFACE FOR THE TRUSS BEARING LOADS.
3.

FRAMED WALLS ARE TO BE WIND BRACED AT ALL CORNERS IN BOTH DIRECTIONS.
4.

LUMBER SHALL BE SPF No. 1/2 OR BETTER UNLESS NOTED OTHERWISE. MOISTURE CONTENT SHALL BE 19% OR LESS.
5.

LUMBER SHALL NOT BE NOTCHED OR DRILLED IN THE FIELD WITHOUT PERMISSION OF TACOMA ENGINEERS.
6.

ENGINEERED LUMBER (TJI, LVL) MAY BE DRILLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND DETAILS.
7.

WALL SHEATHING SHALL BE 12.7mm (1/2") PLYWOOD TO CSA O151 "CANADIAN SOFTWOOD PLYWOOD" OR 11mm (7/16") OSB TO CSA O325 "CONSTRUCTION SHEATHING" OR CSA 0437.0 "OSB AND WAFERBOARD", U.N.O.
8.

BOLTED CONNECTIONS SHALL BE MADE USING GRADE A307 BOLTS, UNLESS NOTED OTHERWISE.
9.

WOOD IS NOT PERMITTED TO BEAR DIRECTLY ON MASONRY OR CONCRETE WITHOUT PROTECTION. PROVIDE EITHER PRESSURE TREATED LUMBER, SUITABLE WOOD PRESERVATIVE OR 6 MIL (0.152mm) POLYETHYLENE SHEET.
10.

PROVIDE SOLID WOOD HORIZONTAL BLOCKING AT MAXIMUM 3.0m (10'-0") O.C. FOR ALL FRAMED WALLS.
11.

ALL NAILS USED SHALL CONFORM TO STEEL WIRE NAILS AND SPIKES AS DEFINED IN CSA STANDARD B111 "WIRE NAILS, SPIKES AND STAPLES" UNLESS NOTED OTHERWISE.
12.

LATERALLY SUPPORT ALL STEEL BEAMS BY PRE-DRILLING FLANGES FOR 13mm (1/2") BOLTED ATTACHMENTS OF WOOD NAILERS WITH 15mm (9/16") HOLES STAGGERED AT 600mm (24") O.C. WHEN TOP MOUNTED HANGERS ARE USED, WOOD NAILERS ARE TO MATCH THE WIDTH OF THE STEEL BEAM TOP FLANGE AND NOT OVERHANG BY MORE THAN 6mm (1/4").
13.

USE JOIST HANGERS WHERE FRAMING MEMBERS CONNECT INTO THE SIDES OF SUPPORTING MEMBERS.
14.

ALL STEEL CONNECTORS (UPLIFT CLIPS, BRACKETS, JOIST HANGERS etc.) SHALL BE SIMPSON STRONG TIE CONNECTORS UNLESS NOTED OTHERWISE.
15.

ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE TO BE HOT DIP GALVANIZED (TO CSA-G164) OR STAINLESS STEEL.
16.

FOR SOLID AND BUILT UP MEMBERS (TRUSSES, BEAMS, LINTELS) PROVIDE A BUILT UP POST WITH AN EQUAL OR GREATER THICKNESS UNLESS NOTED OTHERWISE. ALL BUILT UP POSTS TO BE CONTINUOUS (INCLUDING TRANSFER BLOCKING AT FLOORS) DOWN TO THE FOUNDATIONS.
17.

ALL BUILT UP MEMBERS TO BE FASTENED TOGETHER WITH TWO 75mm (3") SPIRAL NAILS AT 200mm (8") O.C. FOR EVERY PLY UNLESS NOTED OTHERWISE.
19.

ALL PRE-ENGINEERED STEEL CONNECTORS (EG. SIMPSON STRONG TIE) ARE TO HAVE THE CORRECT NUMBER AND SIZE OF FASTENERS, AS PER THE MANUFACTURER'S PRODUCT CATALOGUE.
18.

PROVIDE SOLID BLOCKING OR MECHANICAL CONNECTIONS AT THE TOP AND BOTTOMS OF BEAMS AT BEARING POINTS TO PREVENT MOVEMENT OR ROTATION.

WALL SCHEDULE

W1

EXTERIOR SIDING WALL

- VERTICAL OR HORIZONTAL VINYL SIDING

- AIR BARRIER

- 1/2" PLYWOOD

- 2x6 WOOD STUDS @ 16" O.C

- INTERIOR FINISH AS PER OWNER

| LINTEL SCHEDULE | |
|-----------------|---|
| MARK | DESCRIPTION |
| L1 | 2-2x8 S.P.F. No.1 & No. 2 C/W 1 KING & 1 JACK POST EA. SIDE |
| L2 | 2-2x10 S.P.F. No.1 & No. 2 C/W 2 KING & 1 JACK POST EA. SIDE |
| L3 | 3-2x10 S.P.F. No.1 & No. 2 C/W 2 KING & 1 JACK POST EA. SIDE |

ROOF SCHEDULE

R1

TYPICAL SLOPED ROOF

- METAL ROOF SYSTEM AS PER MANUFACTURER

- ICE AND WATERSHIELD EAVES STARTER UP 60" MIN FROM EDGE OF ROOF - TAR PAPER THROUGHOUT ROOF

- 7/16" OSB ROOF SHEATHING C/W H-CLIPS

- 2x6 ROOF RAFTERS @ 16" O.C

- 2x6 CEILING JOISTS @ 16" O.C

OPTION:

- 6 MIL POLY VAPOUR BARRIER

- 1/2" GYPSUM BOARD, TAPED AND SANDED



| No. | DATE | REVISION |
|-----|----------|----------------------------|
| 1 | 20.07.26 | ISSUED FOR CLIENT REVIEW |
| 2 | 20.08.04 | ISSUED FOR BUILDING PERMIT |

TACOMA

ENGINEERS

Firm BCIN: 29604

The undersigned has reviewed and taken repsonsibility for this design for categories checked. As required by OBC Div.C 3.2.4, the designer is qualified and the firm is registered in the categories checked below.

☐ Building Structural

☐ Complex Building

☐ Large Building

Designer:

Designer BCIN: 39864

Date: AUG 21, 2020



TRI-CITY

DRAFTING AND DESIGN

SERVICES

11 KENT STREET GUELPH, ONTARIO N1H 3B6 STREET

SERVICE@TRICITYDRAFTING.COM

MARK SLADE

DETACHED GARAGE

17 CALFASS ROAD

MORRISTON, ON. N0B 2C0

GENERAL NOTES AND SCHEDULES

DRAWN BY: J.KELLY

PROJECT No.: 20TC032



| No. | DATE | REVISION |
|-----|----------|----------------------------|
| 1 | 20.07.26 | ISSUED FOR CLIENT REVIEW |
| 2 | 20.08.04 | ISSUED FOR BUILDING PERMIT |

TACOMA
ENGINEERS

Firm BCIN: 29604

The undersigned has reviewed and taken responsibility for this design for categories checked. As required by OBC Div.C 3.2.4, the designer is qualified and the firm is registered in the categories checked below.

- ☐ Building Structural
☐ Complex Building
☐ Large Building

Designer: JOHN HILL

Designer BCIN: 39864

Date: AUG 21, 2020



TRI-CITY
DRAFTING AND DESIGN
SERVICES

11 KENT STREET GUELPH, ONTARIO N1H 3B6 STREET
SERVICE@TRICITYDRAFTING.COM

MARK SLADE

DETACHED GARAGE

17 CALFASS ROAD
MORRISTON, ON. N0B 2C0

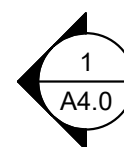
FOUNDATION PLAN

DRAWN BY: J.KELLY PROJECT No.: 20TC032

A2.0

4 - 15M x 24" LONG DOWELS
(2 TOP & 2 BOT), DRILLED & EPOXIED
INTO EXISTING SLAB EDGE 6"

PERIMTER BLOCK BASE,
REFER TO BUILDING SECTION



FLOOR CONSTRUCTION:
6" CONCRETE SLAB ON GRADE, 32 MPa
(TYPE C2) C/W 6 x 6 x 6/6 WWM AND AIR
ENTRAINMENT ON 6" GRANULAR 'A' BASE

EXISTING FLOATING SLAB
ON GRADE TO REMAIN

EXISTING PERIMTER BLOCK BASE
TO BE CUT AND REMOVED AS
REQUIRED FOR NEW OPENING.
REFER TO PROPOSED PLAN

EXISTING PERIMTER BLOCK
BASE TO REMAIN, U.N.O

4 - 15M x 24" LONG DOWELS
(2 TOP & 2 BOT), DRILLED & EPOXIED
INTO EXISTING SLAB EDGE 6"

OUTLINE OF SLAB
THICKENING BELOW

4 - 15M x24" x 24" BENT CONRNER
BARS, TYPICAL ALL CORNERS.
(2 TOP & 2 BOT.)

DOOR ABOVE

DOOR ABOVE

9' - 2"

4' - 10"

14' - 0"

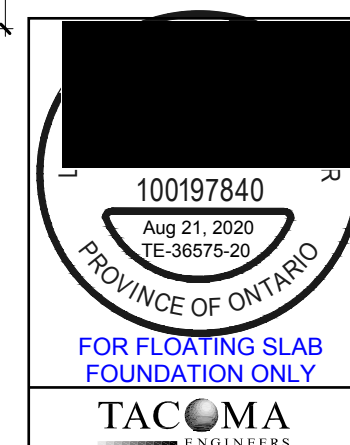
19' - 4 3/8"

24' - 3 3/8"

3' - 2"

1' - 9"

1
A2.0
FOUNDATION PLAN
1/4" = 1'-0"





| No. | DATE | REVISION |
|-----|----------|----------------------------|
| 1 | 20.07.26 | ISSUED FOR CLIENT REVIEW |
| 2 | 20.08.04 | ISSUED FOR BUILDING PERMIT |

TACOMA
ENGINEERS

Firm BCIN: 29604

The undersigned has reviewed and taken responsibility for this design for categories checked. As required by OBC Div.C 3.2.4, the designer is qualified and the firm is registered in the categories checked below.

- ☐ Building Structural
☐ Complex Building
☐ Large Building

Designer: [REDACTED]

Designer BCIN: 39864

Date: AUG 21, 2020



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DRAFTING AND DESIGN
SERVICES
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SERVICE@TRICITYDRAFTING.COM

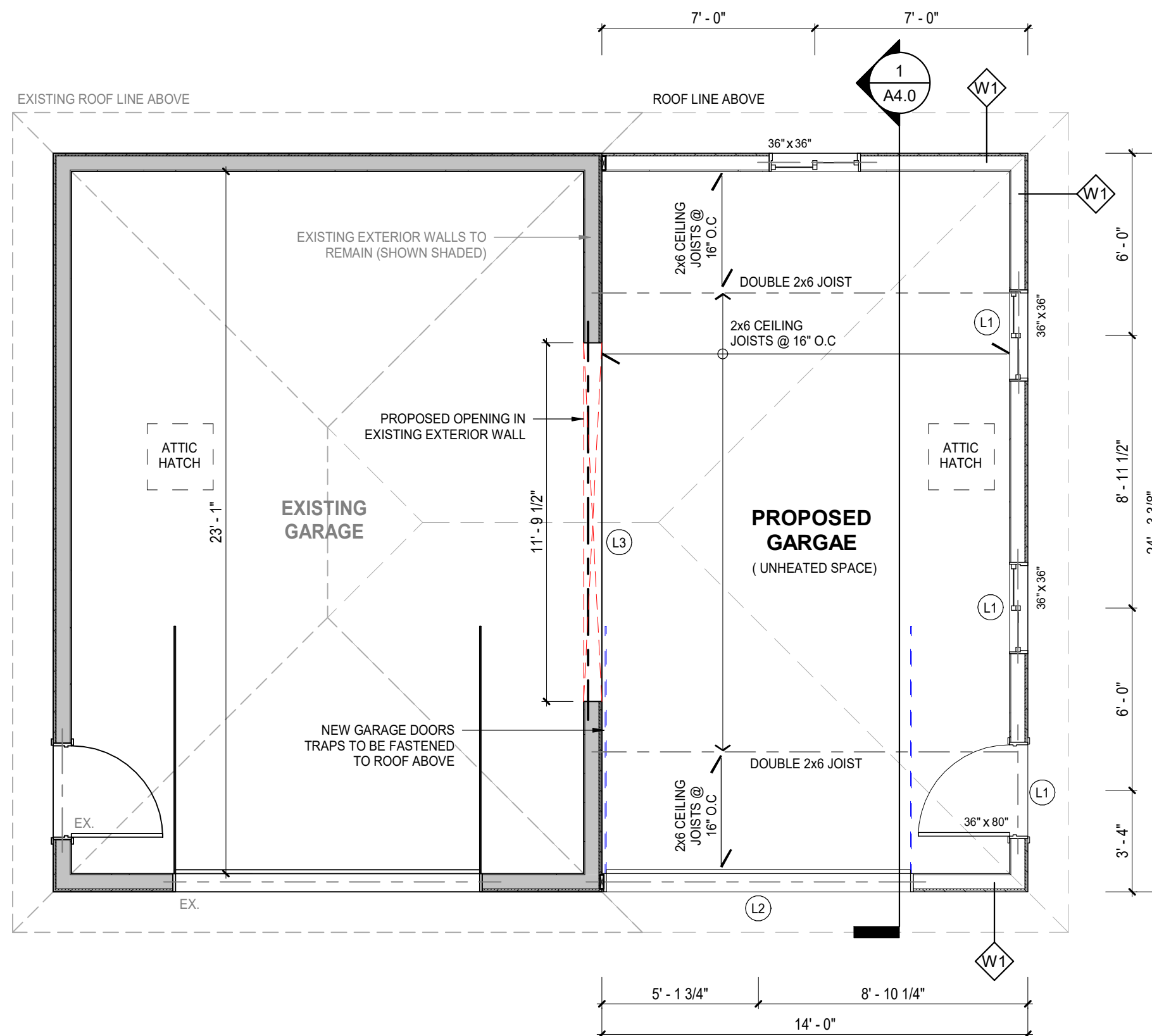
MARK SLADE
DETACHED GARAGE

17 CALFASS ROAD
MORRISTON, ON. N0B 2C0

MAIN FLOOR

| | | | |
|-----------|---------|--------------|---------|
| DRAWN BY: | J.KELLY | PROJECT No.: | 20TC032 |
|-----------|---------|--------------|---------|

A2.1



1
A2.1
MAIN FLOOR PLAN
1/4" = 1'-0"



| No. | DATE | REVISION |
|-----|----------|----------------------------|
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MARK SLADE

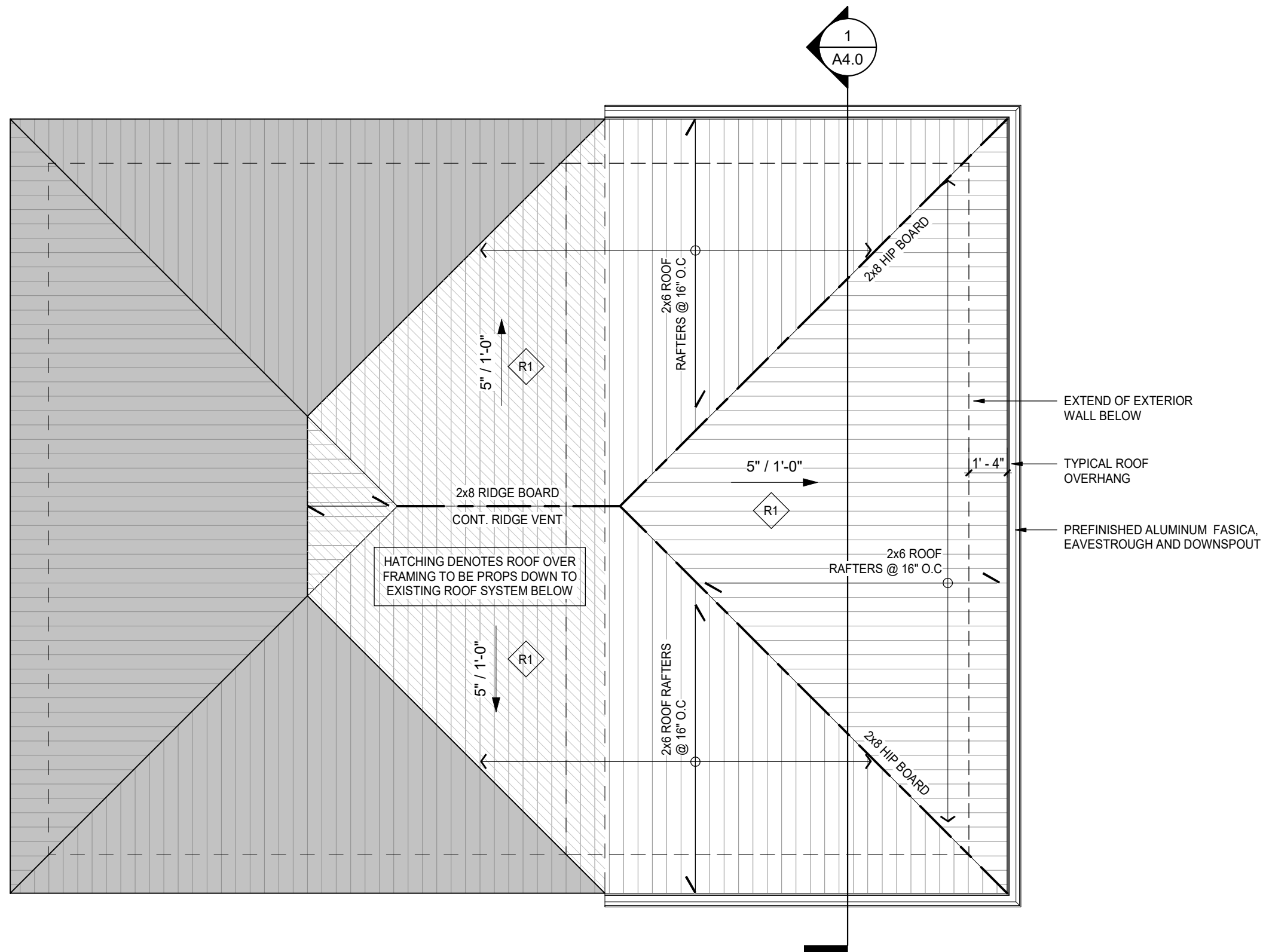
DETACHED GARAGE

17 CALFASS ROAD
MORRISTON, ON. N0B 2C0

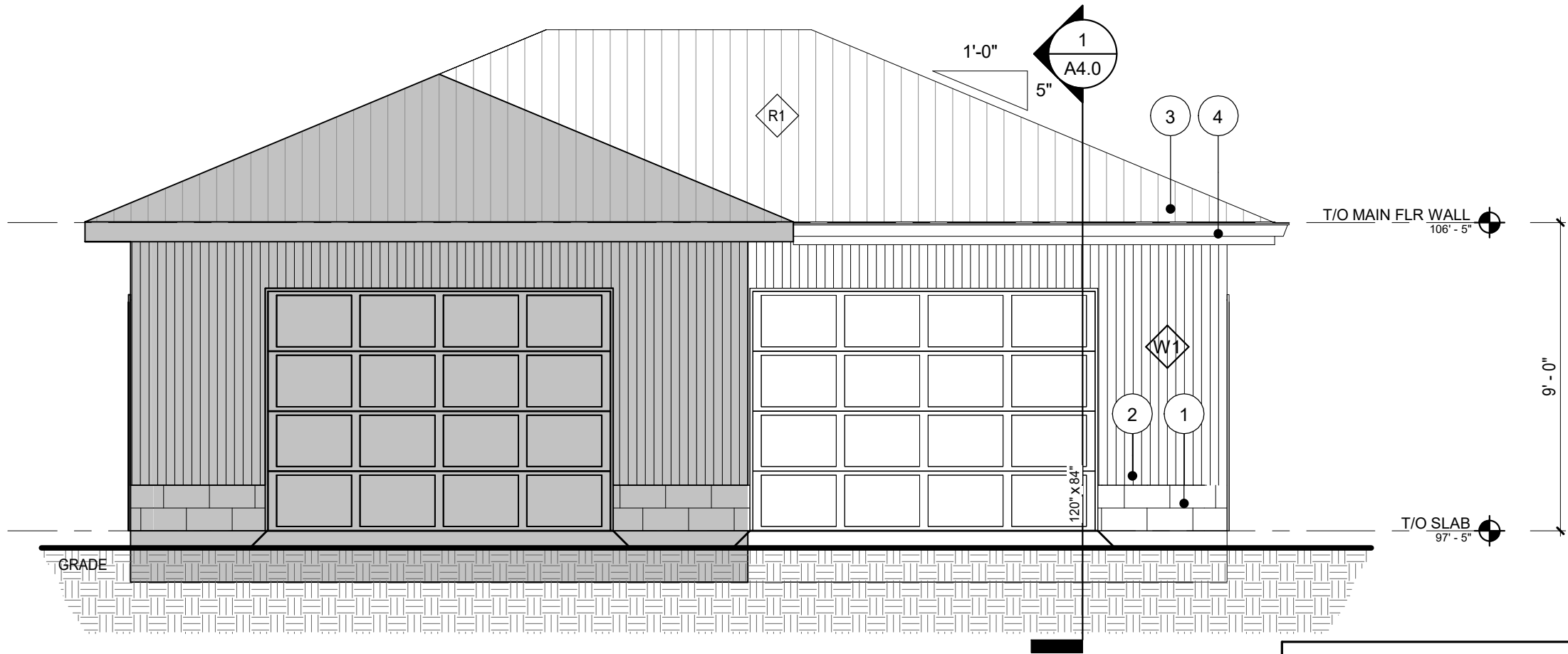
ROOF PLAN

DRAWN BY: J.KELLY PROJECT No.: 20TC032

A2.2

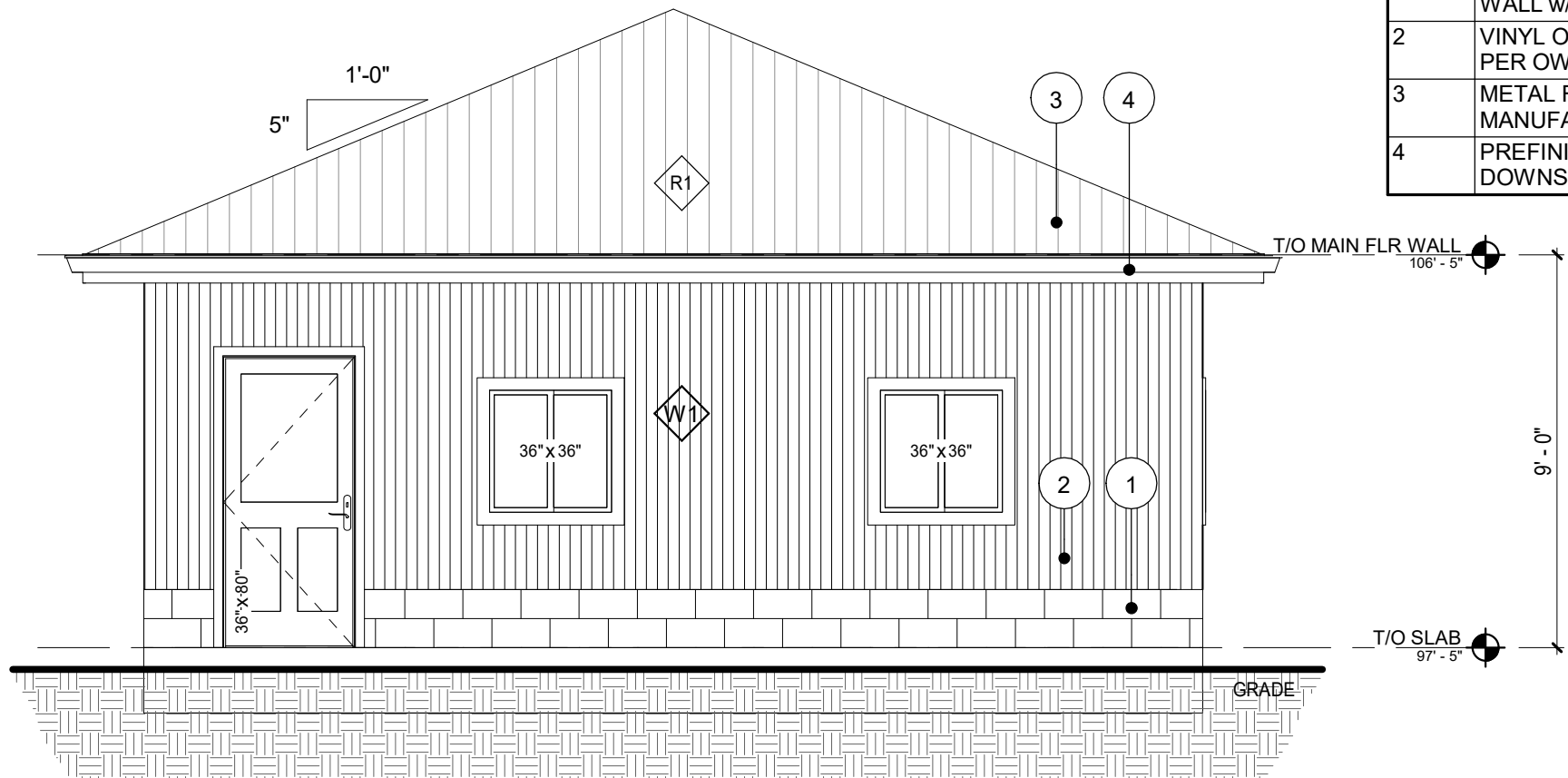


1
A2.2
ROOF PLAN
1/4" = 1'-0"



2 FRONT BUILDING ELEVATION
A3.0 1/4" = 1'-0"

| EXTERIOR MATERIAL | |
|-------------------|---|
| MARK | MATERIAL |
| 1 | CONCRETE BLOCK FOUNDATION WALL w/ PARGING |
| 2 | VINYL OR COMPOSITE SIDING (AS PER OWNER) |
| 3 | METAL ROOF SYSTEM AS PER MANUFACTURER |
| 4 | PREFINISHED EAVESTROUGH, DOWNSPOUT, FASCIA AND SOFFIT |



1 EAST BUILDING ELEVATION
A3.0 1/4" = 1'-0"

| No. | DATE | REVISION |
|-----|----------|----------------------------|
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TACOMA
ENGINEERS

Firm BCIN: 29604

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- ☐ Building Structural
☐ Complex Building
☐ Large Building

Designer: [REDACTED]

Designer BCIN: 39864

Date: AUG 21, 2020



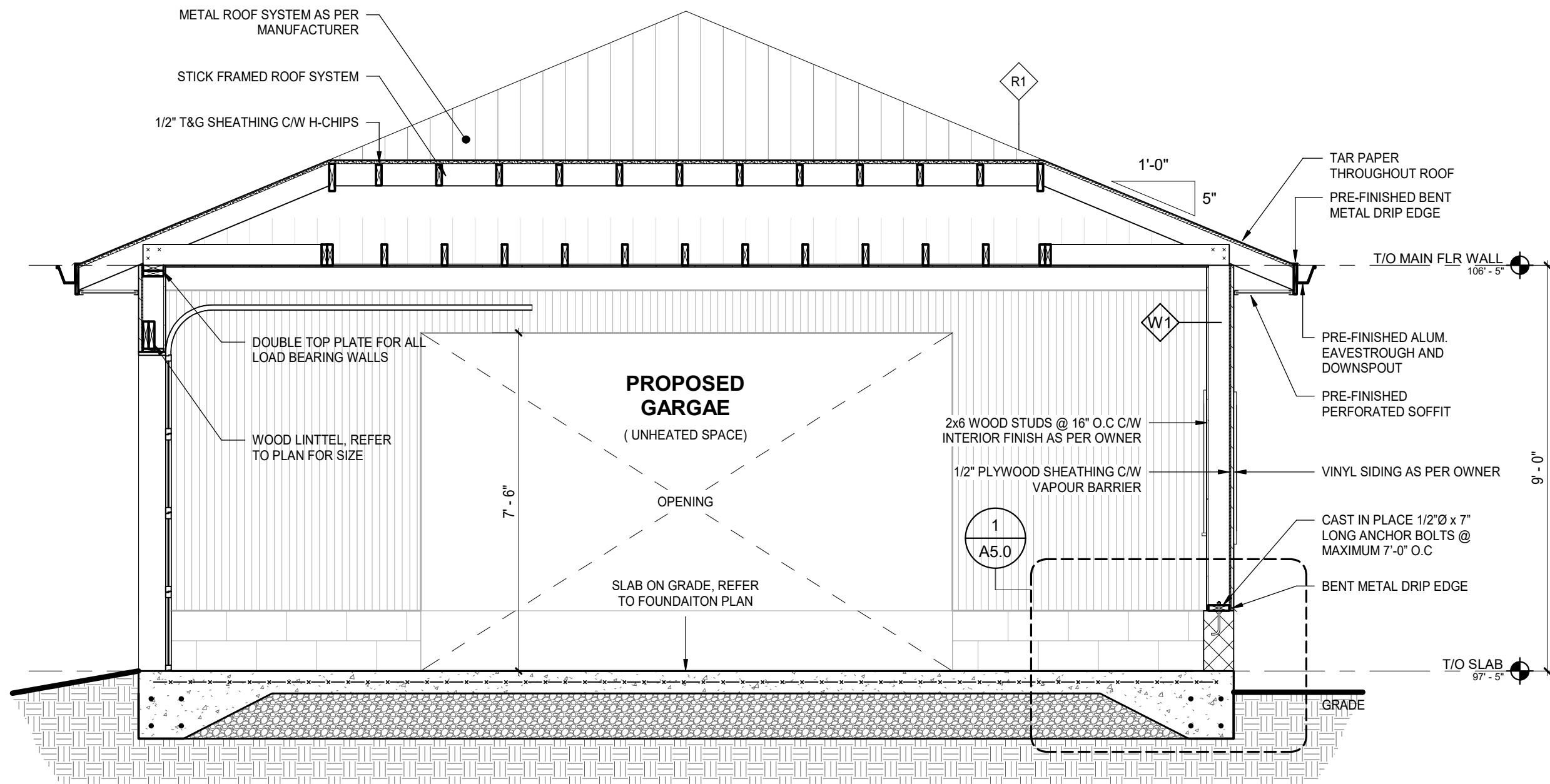
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SERVICE@TRICITYDRAFTING.COM

MARK SLADE
DETACHED GARAGE
17 CALFASS ROAD
MORRISTON, ON. N0B 2C0

PROPOSED BUILDING
ELEVATIONS

DRAWN BY: J.KELLY PROJECT No.: 20TC032

A3.0



1
A4.0
BUILDING SECTION
3/8" = 1'-0"

| | | | |
|----------|----------|----------------------------|---------|
| REV No.: | 2 | PROJECT No.: | 20TC032 |
| No. | DATE | REVISION | |
| 1 | 20.07.26 | ISSUED FOR CLIENT REVIEW | |
| 2 | 20.08.04 | ISSUED FOR BUILDING PERMIT | |

TACOMA
ENGINEERS

Firm BCIN: 29604

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- ☐ Building Structural
☐ Complex Building
☐ Large Building

Designer: **JOHN FILL**

Designer BCIN: 39864

Date: **AUG 21, 2020**



TRI-CITY
DRAFTING AND DESIGN
SERVICES

50 DURHAM ST. KITCHENER ON, N2P 1G4
SERVICE@TRICITYDRAFTING.COM
226-240-0339

MARK SLADE

DETACHED GARAGE

17 CALFASS ROAD
MORRISTON, ON. N0B 2C0

BUILDING SECTION

| | | | |
|-------------|---------|--------|--------------|
| CHECKED BY: | J.KELLY | DATE: | 2018.00.00 |
| DRAWN BY: | J.KELLY | SCALE: | 3/8" = 1'-0" |

A4.0

ENSURE THAT THIS LINE
MEASURES 1"

FLOATING SLAB NOTES:

- GENERAL NOTES:**
- 1. THIS DESIGN HAS BEEN COMPLETED TO THE 2012 ONTARIO BUILDING CODE.
 - 2. CONTACT TACOMA ENGINEERS FOR CONSTRUCTION REVIEWS AS REQUIRED BY THE LOCAL MUNICIPALITY.
 - 3. THIS FOUNDATION DESIGN SHALL NOT BE USED IN GEOGRAPHIC AREAS SUBJECT TO TERMITE INFESTATION.
 - 4. BRITTLE FINISHES (eq. GYPSUM BOARD) ARE NOT TO BE USED ON BUILDING FOUNDED ON "FLOATING SLAB" FOUNDATIONS

- DESIGN PARAMETERS:**
- REFERENCE LOCATION: PUSHLINCH, ON.
- ROOF SNOW (LIVE) = (S) = 1.45kPa, Ss = 1.90 kPa
 - ROOF (DEAD) = 0.75 kPa

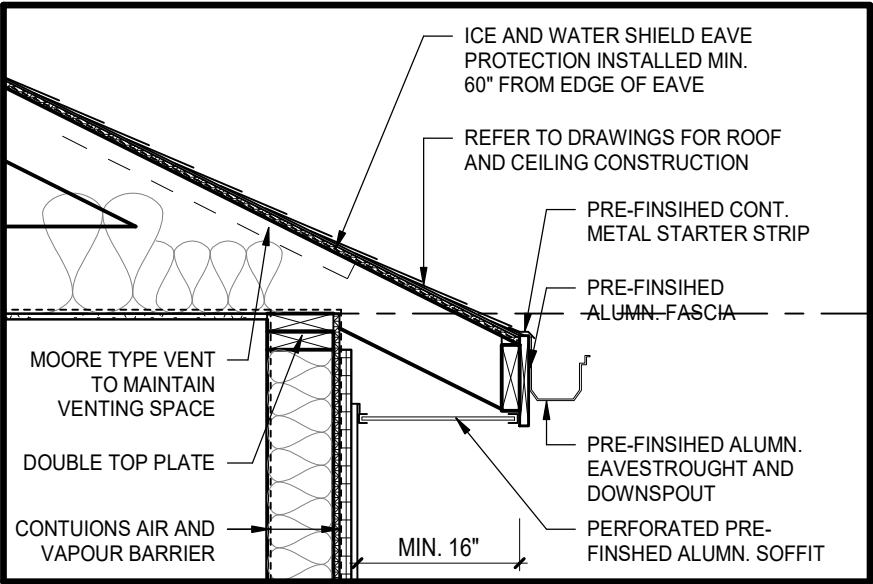
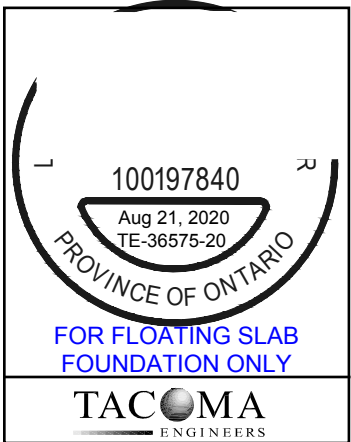
- SITE & SOILS:**
- 1. PREPARE THE AREA FOR PROPOSED STRUCTURE BY REMOVING ALL TOPSOIL AND ORGANIC MATERIAL FROM THE AREA OF THE BUILDING.
 - 2. SLOPE FINAL GRADE AWAY FROM THE BUILDING.
 - 3. BEAR SLAB ON GRANULAR FILL (6" MINIMUM) TO 98% STANDARD PROCTOR DENSITY OR 3/4" CRUSHED STONE ON SOUND ORIGINAL (NATIVE) SUBGRADE.
 - 4. SUBGRADE SHALL BE SUITABLE FOR 75 kPa (1500 psf) SAFE BEARING.

- CONCRETE:**
- 1. CONCRETE WORK SHALL CONFORM TO CAN/CSA-A23.1,2,3 FOR MATERIALS AND WORKMANSHIP.

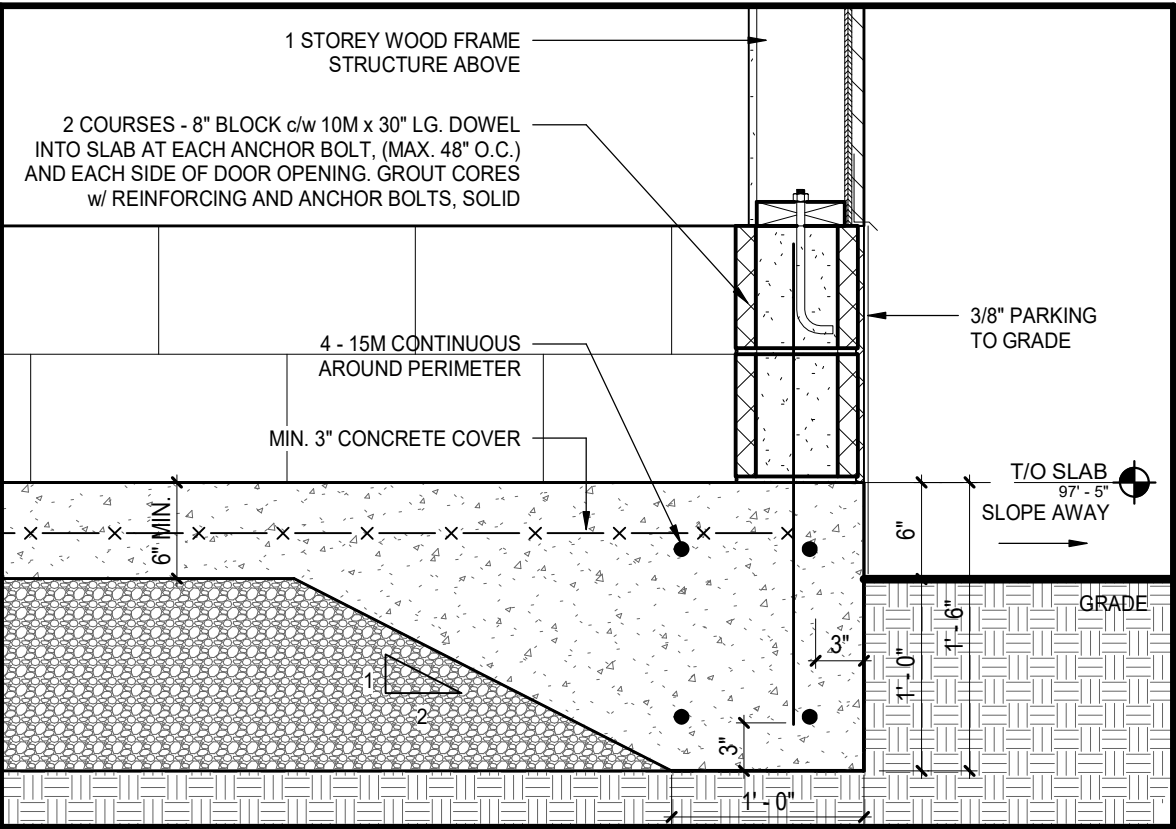
- | CLASS OF CONCRETE | STRENGTH | W/C RATIO | AIR ENTRAINMENT |
|-------------------|----------|-----------|-----------------|
| C2 | 32 MPa | 0.45 | 5-8% |
- 2. ALL CONCRETE SHALL BE KEPT MOIST DURING THE FIRST THREE DAYS OF CURING. DO NOT ADD WATER TO CONCRETE ON SITE.
 - 3. ALL REBAR SHALL BE DEFORMED BARS WITH A MINIMUM YIELD STRENGTH OF 400 MPa. ALL LAP LENGTHS AS FOLLOWS:
 - A: 10M BARS 450mm (18")
 - B: 15M BARS 600mm (24")
 - 4. PROVIDE A MINIMUM 9" LAP FOR WELDED WIRE MESH.
 - 5. PROVIDE CONTINUOUS REINFORCING AROUND CORNERS WITH 15Mx24"x24" BENT DOWELS (FOUR DOWELS PER CORNER).
 - 6. DO NOT SAWCUT SLAB.

- INSULATION:**
- 1. ALL INSULATION SHALL BE EXTRUDED POLYSTYRENE FOAM (XPS) TYPE IV, V, VI OR VII WITH A MINIMUM NOMINAL R-VALUE OF R5 / INCH.

- MASONRY (CONCRETE BLOCK):**
- 1. PROTECT ALL WORK FROM FROST DAMAGE IN ACCORDANCE WITH RECOMMENDED PRACTICES AS PUBLISHED BY THE INTERNATIONAL MASONRY ALL WEATHER COUNCIL. NO MASONRY WORK SHALL BE PERMITTED WITH TEMPERATURE BELOW 5 DEGREES CELSIUS UNLESS PROVISIONS ARE MADE FOR HEATING THE MATERIALS.
 - 2. CONCRETE BLOCKS SHALL BE REGULAR WEIGHT, 50% SOLID, WITH A MINIMUM 15 MPa COMPRESSIVE STRENGTH, UNLESS OTHERWISE NOTED.
 - 3. MORTAR SHALL CONFORM TO CAN/CSA-A179. MORTAR SHALL BE TYPE 'S'.
 - 4. GROUT SHALL CONFORM TO CAN/CSA-A179. GROUT STRENGTH SHALL BE 12 MPa (MINIMUM) UNLESS NOTED.
 - 5. VERTICAL CONTROL JOINTS SHALL BE INSTALLED IN ALL WALLS AT 7.6m (25'-0") O.C. MAXIMUM, UNLESS NOTED OTHERWISE. REINFORCING SHALL NOT CROSS A CONSTRUCTION JOINT. CAREFULLY LOCATE ALL CONTROL JOINTS.
 - 6. INSTALL SUITABLE DAMP COURSE FLASHING WITH WEEPHOLES AT 800mm (32") O.C. REPAIR ALL DAMAGE TO FLASHING.
 - 7. USE RUNNING BOND BLOCK CONSTRUCTION. KEY ALL MASONRY JOINTS AT WALL CORNERS AND INTERSECTIONS. RAKE BACK WALL CONSTRUCTION WHEN TURNING WALL CORNERS.



2
A5.0
DETAIL - TOP OF WALL
SCALE: 3/4" = 1'-0"



1
A5.0
TYPICAL EDGE DETAIL
1" = 1'-0"

| No. | DATE | REVISION |
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☐ Complex Building
☐ Large Building

Designer: [REDACTED]

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Date: AUG 21, 2020



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MARK SLADE
DETACHED GARAGE

17 CALFASS ROAD
MORRISTON, ON. N0B 2C0

DETAILS AND
FOUNDATION NOTES

| | |
|----------------------|-------------------------|
| DRAWN BY: J.KELLY | PROJECT No.: 20TC032 |
|----------------------|-------------------------|

A5.0



PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department in our capacity as planning consultants for the Township

MEETING DATE: June 8th, 2021
TO: Lynne Banks, Secretary-Treasurer
Township of Puslinch
FROM: Zach Prince, Senior Planner
County of Wellington
SUBJECT: **MINOR VARIANCE APPLICATION D13/SLA (Mark and Karen Slade)**
17 Calfass Road
Lot 7, Concession 7
SCHEDULES: **1 – Building elevations provided by the applicant**

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

Planning Opinion

The applicant is proposing to expand an existing accessory building on the subject property in order to construct a second garage bay. The variance requested would provide relief from Section 4.17.1 *Building and Structures* in order to permit an expansion to the existing accessory building that would result in a total accessory structure size of approximately 31 m² (340 ft²). The property is zoned Natural Environment (NE), expansions of existing structures are permitted in cases that the enlargement, repair, or renovation does not further reduce the existing yard(s), and all other provisions of this By-law are met.

In addition to the legal non-conforming use, the structure is proposed to be constructed 1.9 m from the rear property line. Table 4.1 requires accessory structures to maintain a minimum 2 m setback from the rear property line, the building is required to meet the 2 m setback. In addition, the Committee should consider the comments from Conservation Halton.

This minor variance application maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property. We consider the request minor and have no concerns with the application. The committee should

1. That the applicant provide confirmation to the Township that the former municipal right of way is in their ownership.

Proposal:

The details of the minor variance application are included in the table below.

| Section of By-law | Required | Proposed |
|---|--|--|
| 1. Section 4.17 Legal Non-Conformity and Legal Non-Compliance & Section 12.4 Natural Environment | The existing development has legal non-conforming status as per Section 4.17 However, Section 4.17.1b stipulates that proposed development comply with the zone standards as defined for each zone. The property is zoned Natural Environment (Section 12.4) and so | Construct an addition to an existing accessory structure (garage) in the Natural Environment zone. |

| | | |
|--|--|--|
| | zone standards relating to building size do not exist. | |
|--|--|--|



Figure 1 - Subject Property

Our discussion of this application relative to the four tests under the *Planning Act* is as follows:

| Four Tests | Discussion |
|---|---|
| That the requested variance is minor in nature | <ul style="list-style-type: none"> The relief requested is to allow for the construction of an addition to an existing accessory structure. The structure has existed on-site for a substantial amount of time. Architectural elevation plans provided (Schedule 1) show the garage will be expanded away from the environmental feature (slope hazard). Although this avoids the feature, this results in the structure being located within the required rear yard setback. |
| That the intent and purpose of the Zoning By-law is maintained | <ul style="list-style-type: none"> The subject lands are zoned as Natural Environment (NE) Zone. The dwelling and accessory structure is generally considered to be a legal non-conforming within the zoning by-law. The zoning by-law provides criteria for accessory structures in Table 4.1, the applicant meets the criteria of this zone with the exception of the rear yard setback, the applicant is required to meet the 2 m setback. As the property is located in an environmental feature, the comments |

| | |
|--|--|
| | from the Conservation Authority should be considered. |
| That the general intent and purpose of the Official Plan is maintained | <ul style="list-style-type: none"> • The subject lands are designated as Greenlands, Core Greenlands and Secondary Agricultural in the County Official Plan. The property is located within the Paris-Galt Moraine policy area. Identified environmental features include wetland, provincially significant wetlands, and stable top of bank hazard. • Existing uses are permitted in Section 13.8.3 of the Official Plan. • Comments from the conservation authority should be considered. |
| That the variance is desirable and appropriate for the development and use of the land, building or structure | <ul style="list-style-type: none"> • The proposed addition would enlarge the existing structure but not change the use of the structure. • The proposed location of the addition is farther from the identified feature. |

In conclusion, planning staff is of the opinion that the requested variance application meets the four tests of the Planning Act. I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application.

Respectfully submitted.

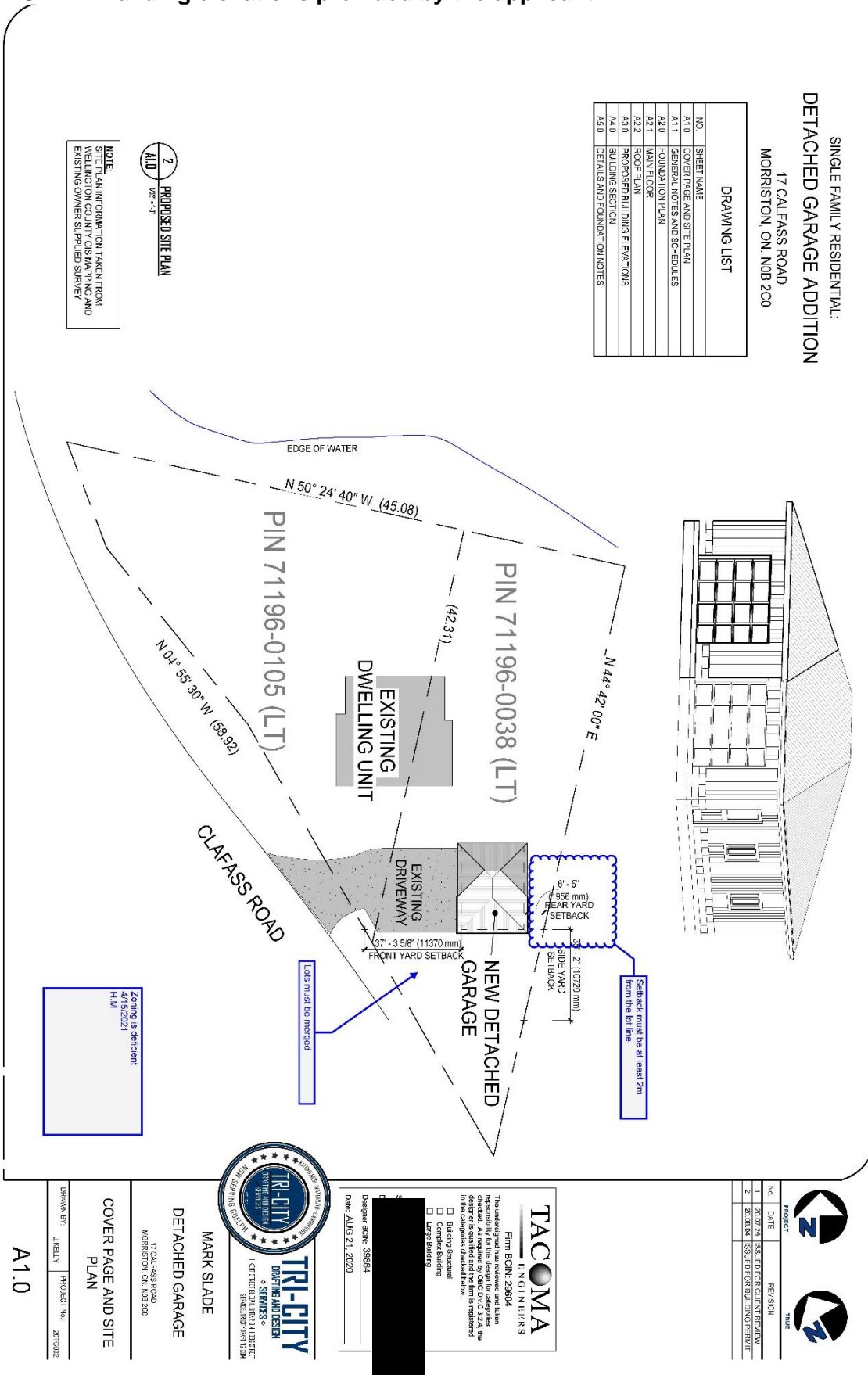
County of Wellington Planning and Development Department.



[Redacted Name]

Senior Planner

SCHEDULE 1: Building elevations provided by the applicant





Township of Puslinch
7404 Wellington Road 34
Puslinch, ON, N0B 2J0
T: (519) 763 – 1226
F: (519) 763 – 5846
www.puslinch.ca

Minor Variance or Permission Application

General Information:

1. Applicant Information:

Registered Owner's Name(s): James Savoie

Address: 596 Arkell Rd

City: Puslinch

Postal Code: N0B 1C0

E-mail Address: [REDACTED]

Telephone Number: [REDACTED]

Fax: _____

Applicant (Agent) Name(s): _____

Address: _____

City: _____

Postal Code: _____

E-mail Address: _____

Telephone Number: _____

Fax: _____

Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property.

Send correspondence to: Owner: ☐ Agent ☒ Other: _____

2. Provide a description of the “entire” property:

Municipal address: 596 Arkell Rd

Concession: _____ Lot: 3

Registered Plan Number: PLAN 131 PT LOT 3 RP 61R9995;PART 1

Area: 0.126464 ha Depth: 50.292 m Frontage: 25.146 m
.311 ac 165 ft 82.5 ft

Width of road allowance (if known): _____

Reason for Application:

3. Please indicate the Section of the Planning Act under which this application is being made. Select one:

☐ Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.); or

☒ Section 45(2) relates to a change to or expansion of an existing legal non-conforming use.

4. What is the nature and extent of the relief that is being applied for? (please specifically indicate on sketch).

Increase roof height by 6' 6" and roof pitch from 7/12 to 9/12 in order to achieve a more reasonable second floor ceiling height. Existing ceiling height is 6'2" and the proposed height is 11' 5.

**5. Why is it not possible to comply with the provisions of the by-law?
(please specifically indicate on sketch).**

House is located on property line and therefore legal non-conforming

6. What is the current Official Plan and zoning status?

Official Plan Designation: Hamlet

Zoning Designation: Commerical

7. What is the access to the subject property?

Provincial Highway: ☐

Continually maintained municipal road: ☒

Seasonally maintained municipal road: ☐

Other: ☐ (please specify below)

8. What is the name of the road or street that provides access to the subject property?

Arkell Road

9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

N/A

Existing and Proposed Service:

10. Indicate the applicable water supply and sewage disposal:

| Water Supply/Sewage Disposal: | Existing: | Proposed: |
|-------------------------------|-------------------------------------|--------------------------|
| Municipal Water: | <input type="checkbox"/> | <input type="checkbox"/> |
| Communal Water: | <input type="checkbox"/> | <input type="checkbox"/> |
| Private Well: | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Other Water Supply: | <input type="checkbox"/> | <input type="checkbox"/> |
| Municipal Sewers: | <input type="checkbox"/> | <input type="checkbox"/> |
| Communal Sewers: | <input type="checkbox"/> | <input type="checkbox"/> |
| Private Septic: | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Other Sewage Disposal: | <input type="checkbox"/> | <input type="checkbox"/> |

11. How is storm drainage provided?

Storm Sewers: ☐

Ditches: ☐

Swales: ☐

Other means: ☒ (explain below)

Majority of storm water drains onto property.

Existing Subject and Abutting Property Land Uses, Buildings and their Locations:**12. What is the existing use of:**

The subject property? Residential

The abutting properties? Residential (Neighbour West), Church (Neighbour East)

13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)

| | | | |
|---|------------------------|----------------------|--------------------------------|
| Type of Building(s)/ structures | Single Family Dwelling | | |
| Main Building height | 7.66 m | 25' 2" ft. | m ft. |
| *Percentage lot coverage | 14.9 m | 14.9 ft. | m ft. |
| *Number of parking spaces | 5 | | |
| *Number of loading spaces | 1 | | |
| Number of floors | 2 | | |
| Total floor area | 112.78 m ² | 1214 ft ² | m ² ft ² |
| Ground floor area (exclude basement) | 85.47 m ² | 920 ft ² | m ² ft ² |

14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)

| | | | |
|------------|---------|----------|-------|
| Front Yard | .73m m | 2.4' ft. | m ft. |
| Rear Yard | 34.13 m | 112' ft. | m ft. |
| Side Yards | 0 m | 0 ft. | m ft. |

15. What are the dates of acquisition and construction of subject property and building property?

Date of acquisition of subject property: July 5, 2018

Date of construction of buildings property: May 1, 1866

16. How long have the existing uses continued on the subject property? 155 yrs

17. Has the owner previously applied for relief in respect of the subject property?

Yes ☐ No ☒

If the answer is yes, please indicate the file number and describe briefly:

| |
|----------------------|
| |
|----------------------|

Other Related Planning Applications:

18. Has an application for any of the following on the subject lands?

| Planning Application: | Yes: | No: | File Number: | Approval Authority: | Subject Lands | Purpose: | Status: |
|-------------------------|--------------------------|-------------------------------------|--------------|---------------------|---------------|----------|---------|
| Official Plan Amendment | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Zoning By-Law Amendment | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Plan of Subdivision | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Consent (Severance) | | X | | | | | |
| Site Plan | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |
| Minor Variance | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | |

Authorization for Agent/Solicitor to act for Owner:

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

I (we) _____ of the
_____ of _____ County/Region of
_____ do hereby authorize
_____ to act as my agent in this application.

Signature of Owner(s) Date

Affidavit:

I (we) _____ of the
_____ of _____ County/Region of
_____ solemnly declare that all the statements
contained in this application are true, and I, (we), make this solemn declaration
conscientiously believing it to be true, and knowing that it is of the same force and effect
as if made under oath and by virtue of the CANADA EVIDENCE ACT. DECLARED
before me at the _____ of _____ in the
County/Region of _____ this _____ day of
_____, 20_____.

Signature of Owner or authorized solicitor or agent Date

Signature of Commissioner Date

Agreement to Post Sign and Permit Site Visits:

A form is included in the Zoning By-law Amendment application to agree to erect a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits.

The applicant is required to erect and maintain a sign on the proposed lands within one week of the application being deemed complete by staff and to remove the sign when the application has been given final approval. The sign shall be a minimum of 1.2 x 1.2 metres on posts 0.5 metres above grade and include the following wording to be approved by Township staff:

A PROPOSAL HAS BEEN MADE
ON THIS SITE FOR: (50 mm text height)
A ZONING BY-LAW AMENDMENT TO xxx (100 mm text height)
FOR FURTHER INFORMATION
PLEASE CONTACT THE TOWNSHIP OF PUSLINCH 7404 WELLINGTON ROAD 34
(519) 763 - 1226 (30-50 mm text height)

For Administrative Purposes Only:

Application fee of \$_____received by the municipality

Date Fee Received: _____

Date Application Filed: _____

File Number: _____

Application deemed complete:

Signature of Municipal Employee

Date

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk’s office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk’s office for assistance.

REGISTERED

X

PART 1

PIN 71185 - 0125

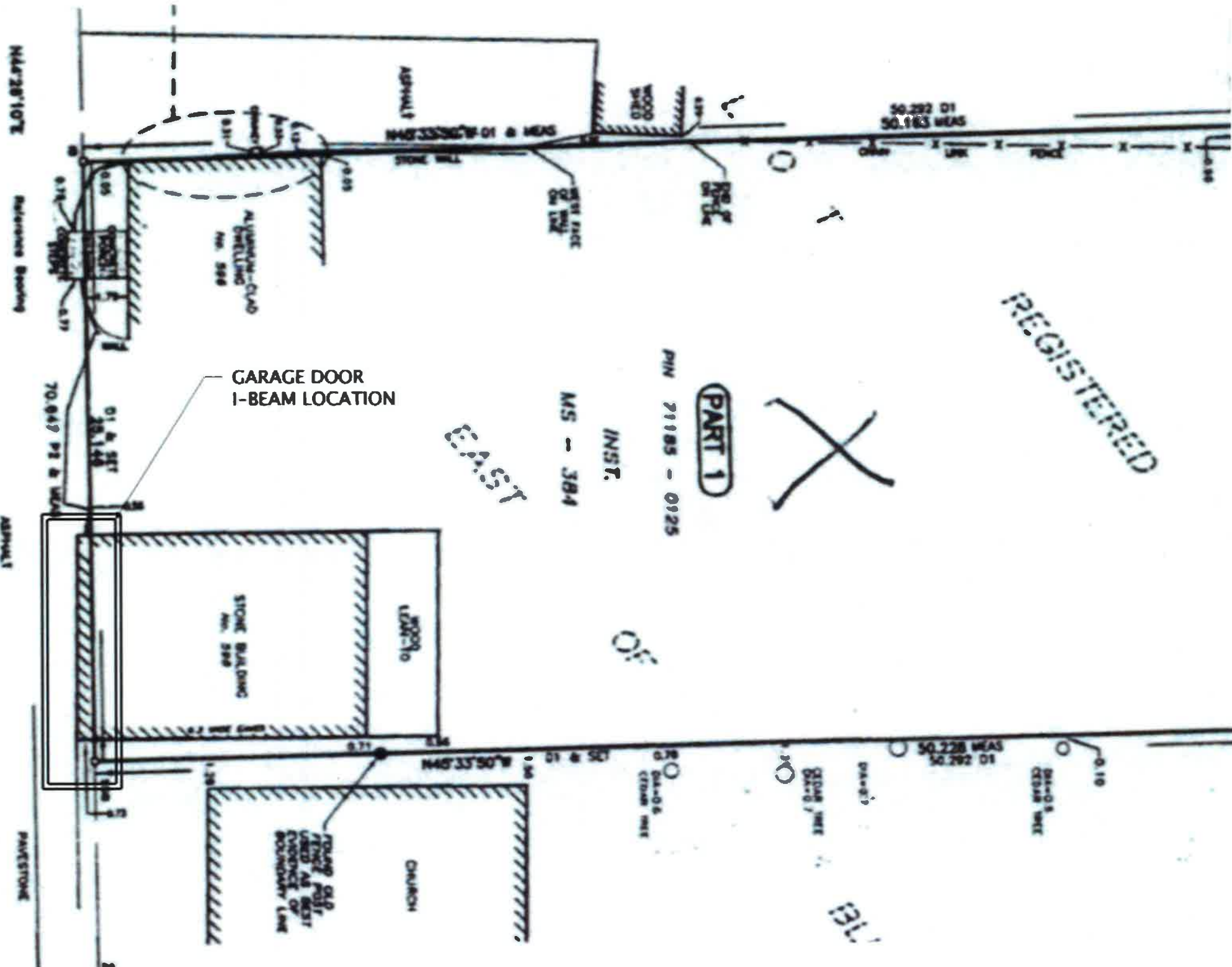
INST.

MS - 384

EAST

OF

1st

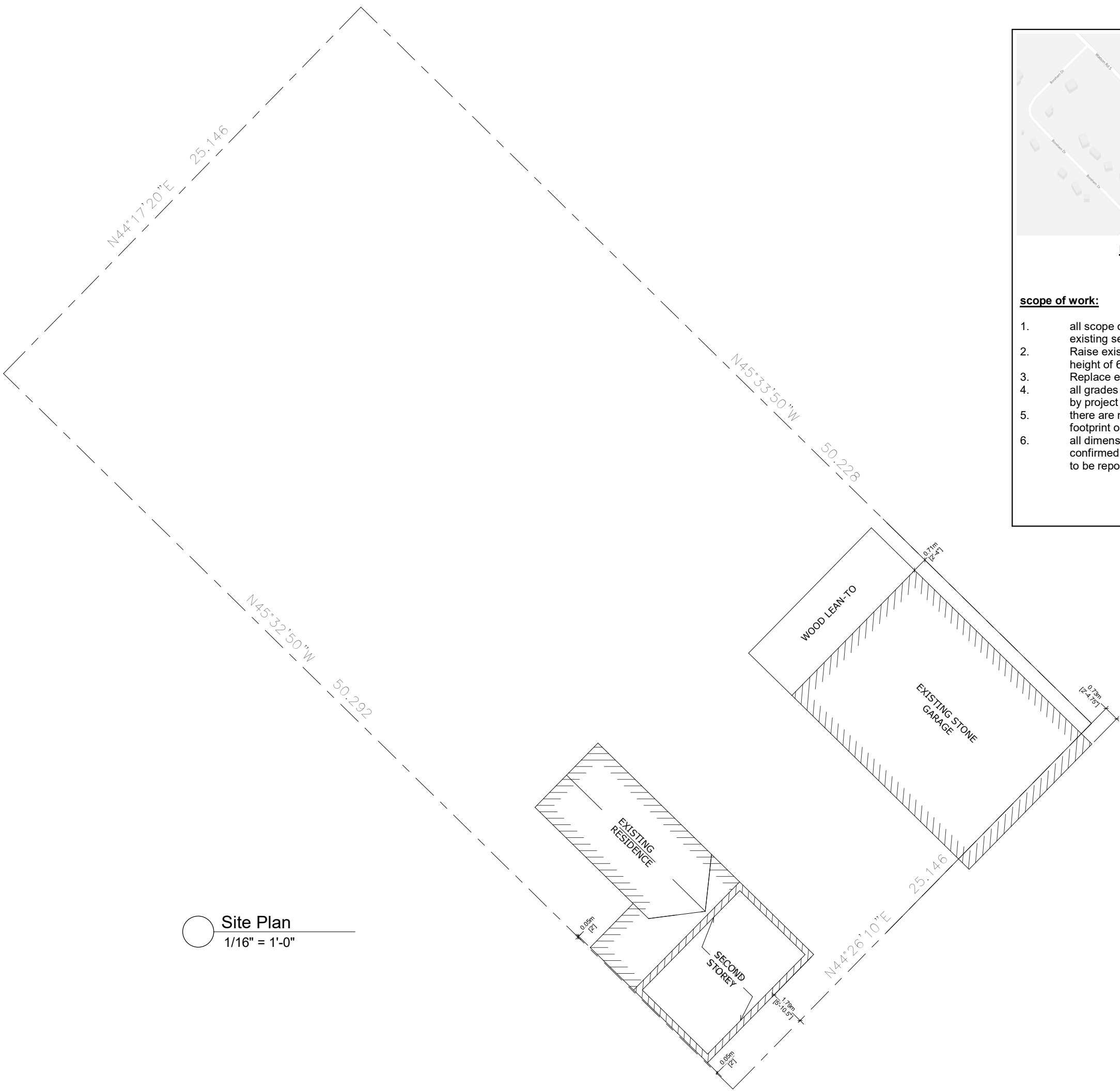


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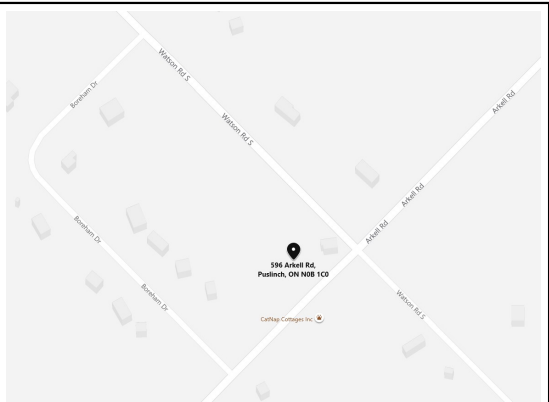
Reference Bearing

ASPHALT

PAVEMENT



○ **Site Plan**
1/16" = 1'-0"



Location Plan
596 arkell rd.
puslinch, on

scope of work:

1. all scope of work are renovations to the existing second floor and roof.
2. Raise existing second floor walls to a total height of 6'-2"
3. Replace extg. roof above
4. all grades are extg. to remain unaffected by project scope
5. there are no changes proposed to the footprint or size of the existing home
6. all dimensions are extg. and are to be confirmed by contractor, any discrepancies to be reported to designer and engineer

| NO. | DATE | REVISION |
|-----|------|----------|
|-----|------|----------|

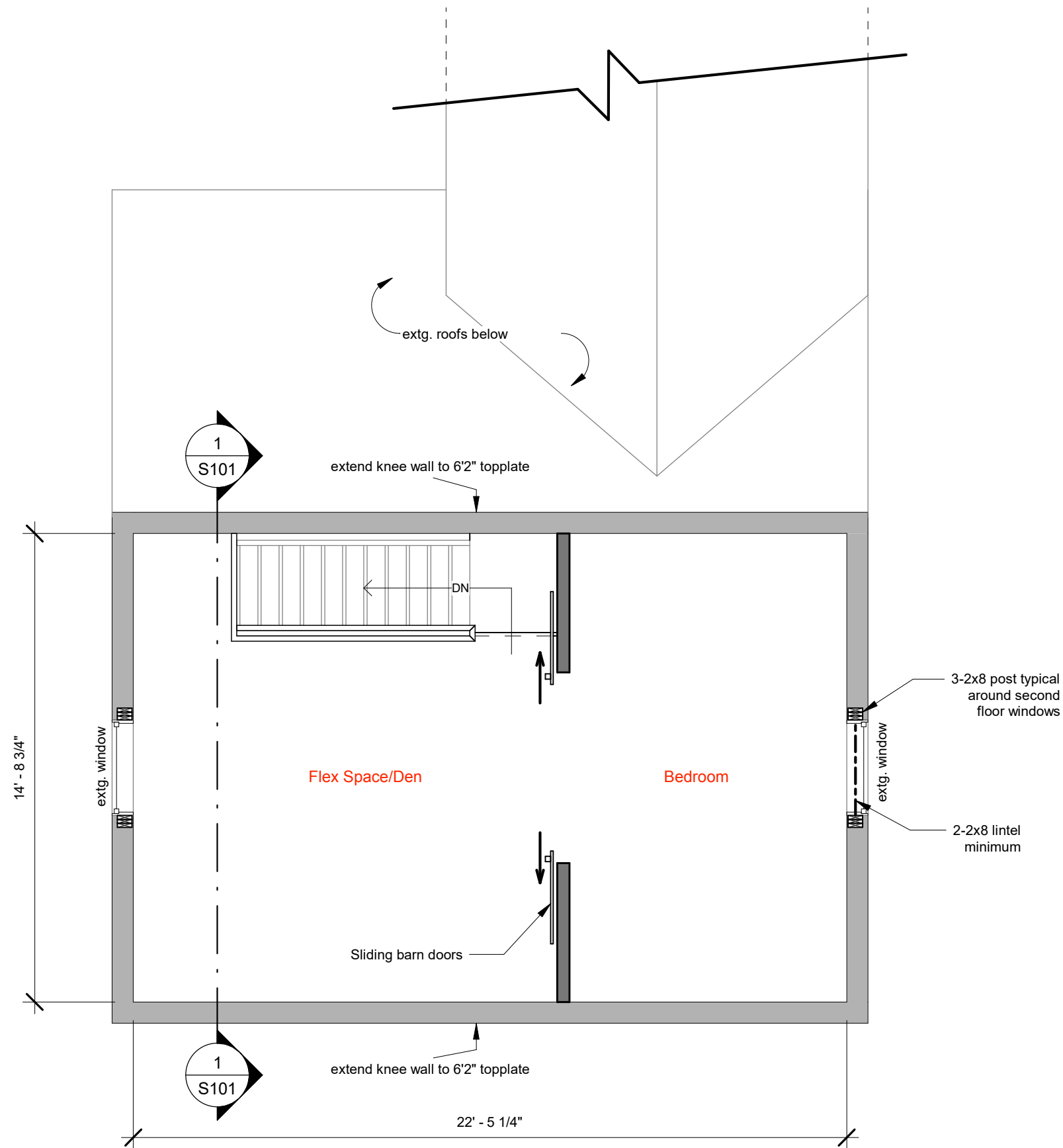
| | | |
|-----------------------------|--|--|
| PROJECT | | |
| Savoie Residence | | |
| Interior Renovations | | |
| 596 Arkell Rd. Puslinch, ON | | |
| DRAWING NAME | | |
| Site Plan | | |

| | | |
|------------------------|-------------|-------------|
| PLOT DATE | CHECKED BY | |
| 2021-03-25 11:27:15 AM | BM | |
| SCALE | PM | DRAWING NO. |
| 1/16" = 1'-0" | BM | A001 |
| FILE | PROJECT NO. | |
| ARKELL | ARKELL | |

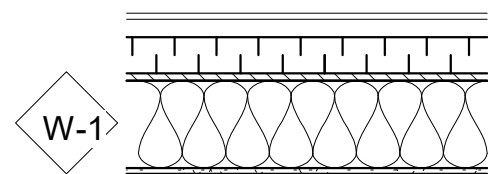


B.A. ARCHITECTURE

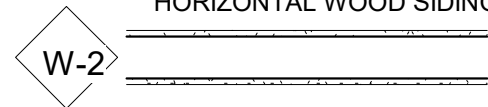
EMAIL
BENJAMIN.MCFADGEN@GMAIL.COM
PHONE
519.721.4866



1 Second Floor Plan
1/4" = 1'-0"

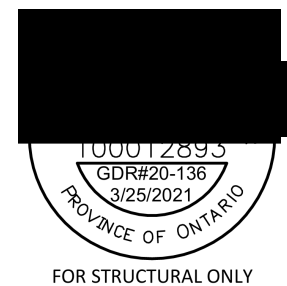


EXTERIOR WALL ASSEMBLY
1/2" GYPSUM WALL BOARD
INTELLO VAPOUR RETARDER TAPED AT SEAMS W/ VANA TAPE
2x8 STUD WALL
(2) STAGGERED LAYERS R22 COMFORTBATT
3" COMFORTBOARD 110
2x4 STRAPPING
HORIZONTAL WOOD SIDING



INTERIOR WALL ASSEMBLY
1/2" GYPSUM WALL BOARD
2x4 STUDS 16 O.C.
1/2" GYPSUM WALL BOARD

Wall Assemblies
3/4" = 1'-0"



FOR STRUCTURAL ONLY

| NO. | DATE | REVISION |
|-----|------|----------|
|-----|------|----------|

PROJECT
Savoie Residence
Interior Renovations

596 Arkell Rd. Puslinch, ON

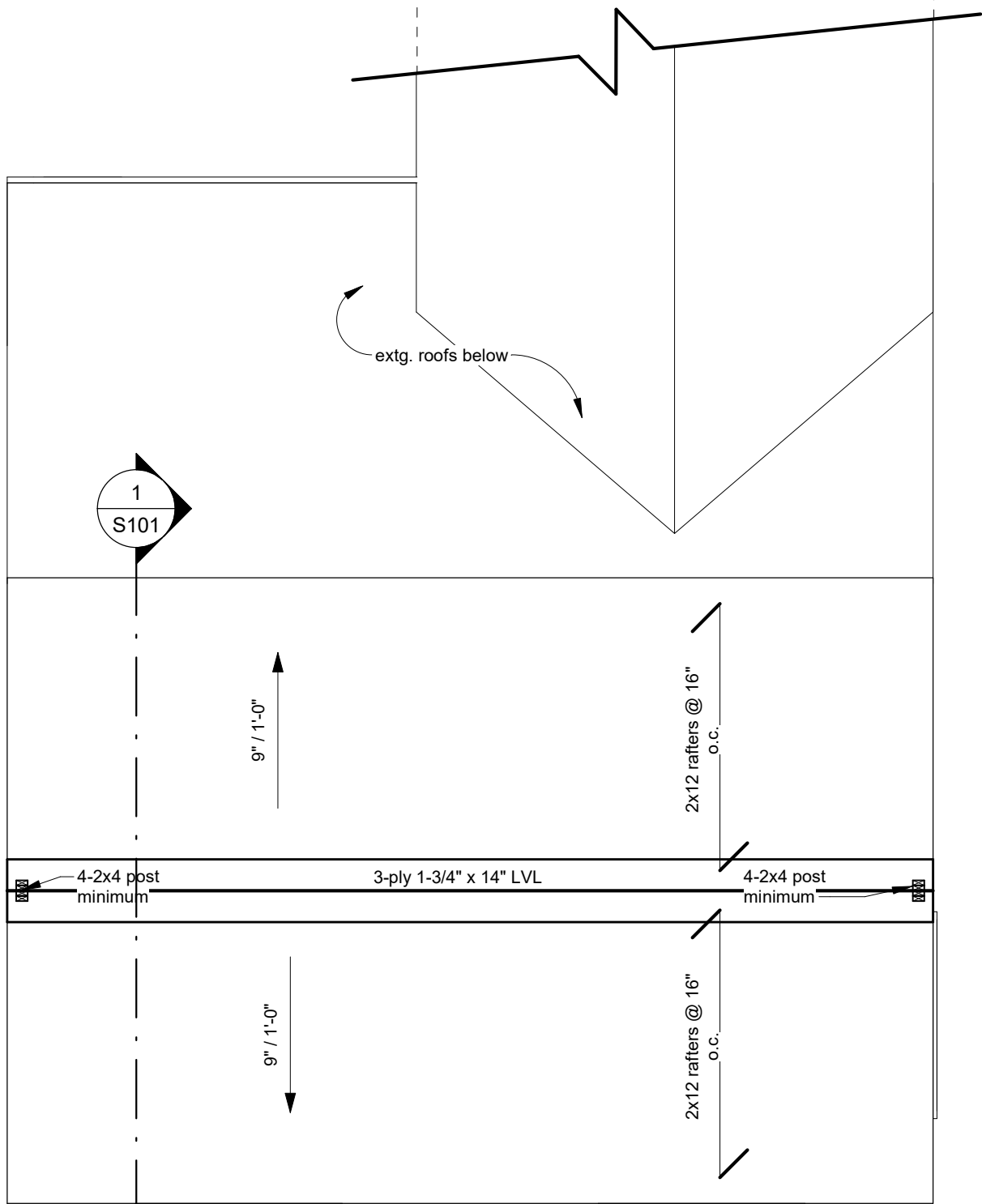
DRAWING NAME
Second Floor Plan

| | | |
|-------------------------------------|------------------------|----------------------------|
| PLOT DATE 2021-03-25 11:27:16 AM | CHECKED BY PM BM | DRAWING NO. A101 |
| SCALE As indicated | PROJECT NO. ARKELL | |
| FILE ARKELL | | |

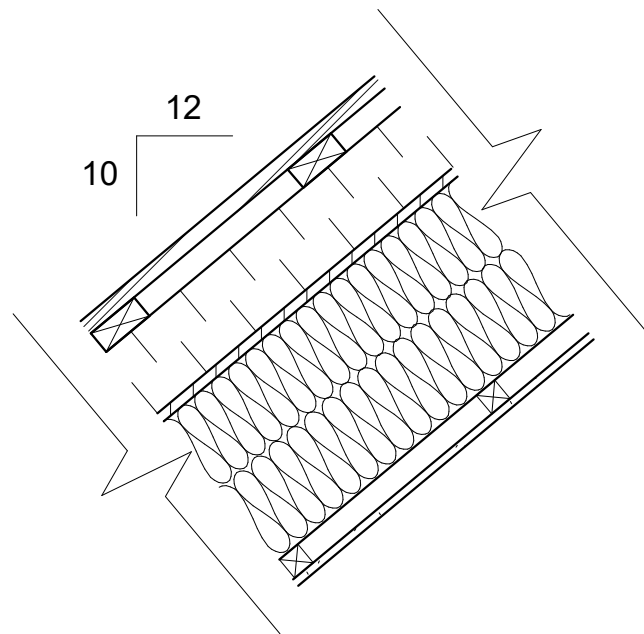


301 ARCHITECTURE

EMAIL
BENJAMIN.MCFADGEN@GMAIL.COM
PHONE
519.721.4866



1 Roof Plan
1/4" = 1'-0"



- ROOF ASSEMBLY**
STEEL ROOFING
DOUBLE STRAPPED 2x4 VENTILATION CAVITY
R20 (5" TOTAL) - (4) STAGGERED LAYERS
1-1/4" COMFORTBOARD 110
MENTO 3000 ROOF MEMBRANE
5/8" ROOF SHEATHING
2x12 RAFTERS
(2) STAGGERED LAYERS R22 COMFORTBATT
INTELLO VAPOUR RETARDER TAPED AT
SEAMS W/ VANA TAPE
1-1/2" HORIZONTAL STRAPPING
1/2" GYPSUM WALL BOARD

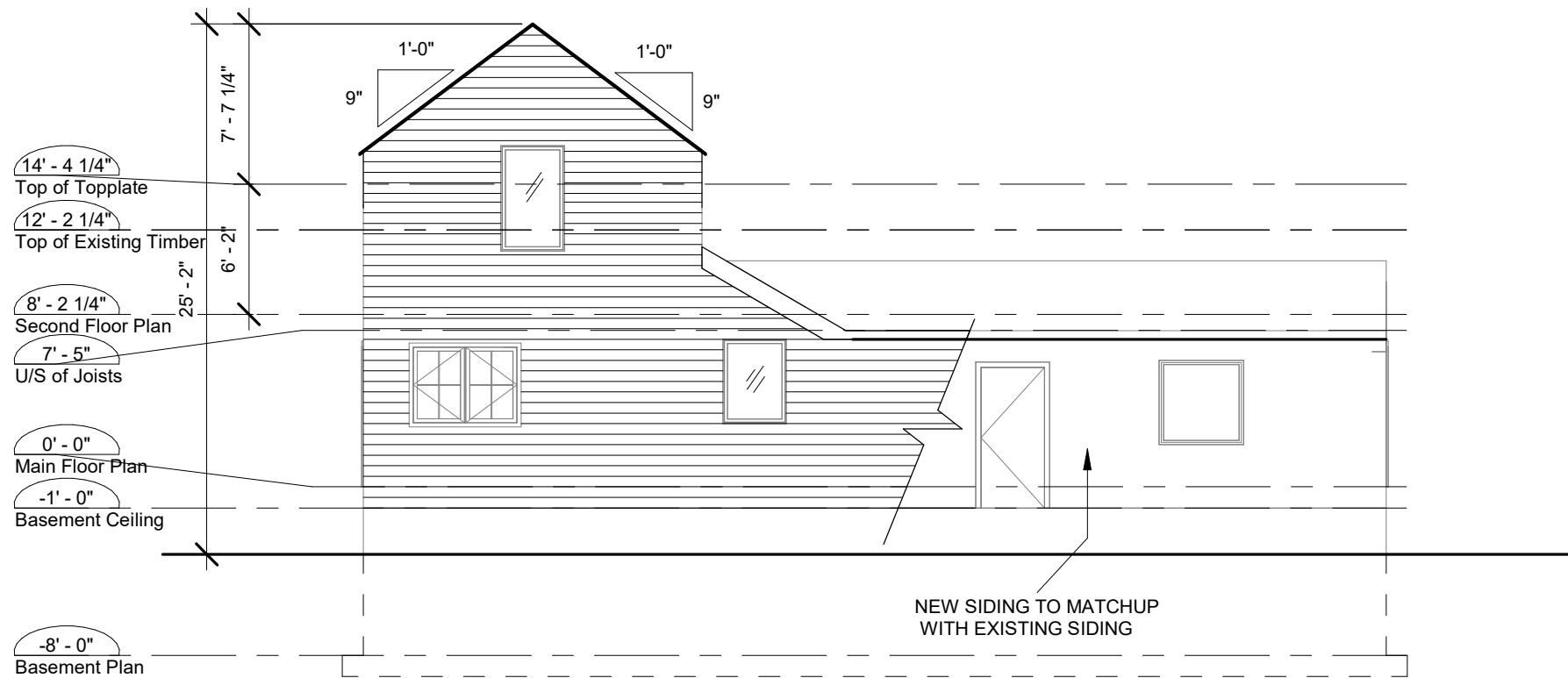
1 Roof Assembly
1" = 1'-0"



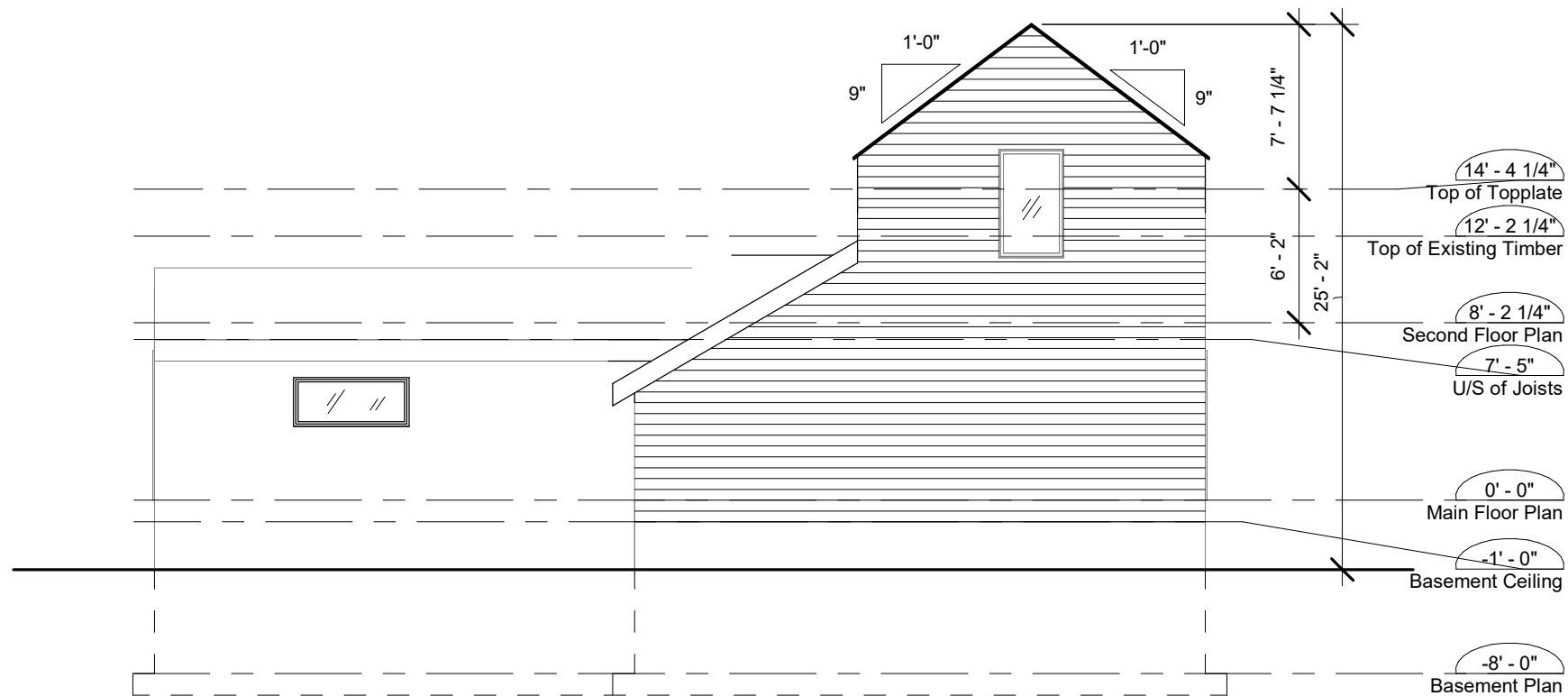
| NO. | DATE | REVISION |
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| | |
|---|--------------|
| PROJECT Savoie Residence Interior Renovations | |
| 596 Arkell Rd. | Puslinch, ON |
| DRAWING NAME Roof Plan | |

| | | |
|-------------------------------------|-----------------------|---------------------|
| PLOT DATE 2021-03-25 11:27:17 AM | CHECKED BY PM BM | |
| SCALE As indicated | PROJECT NO. ARKELL | DRAWING NO. A102 |



1 East
1/8" = 1'-0"



2 West
1/8" = 1'-0"

| NO. | DATE | REVISION |
|-----|------|----------|
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PROJECT
Savoie Residence
Interior Renovations

596 Arkell Rd. Puslinch, ON

DRAWING NAME
Elevations

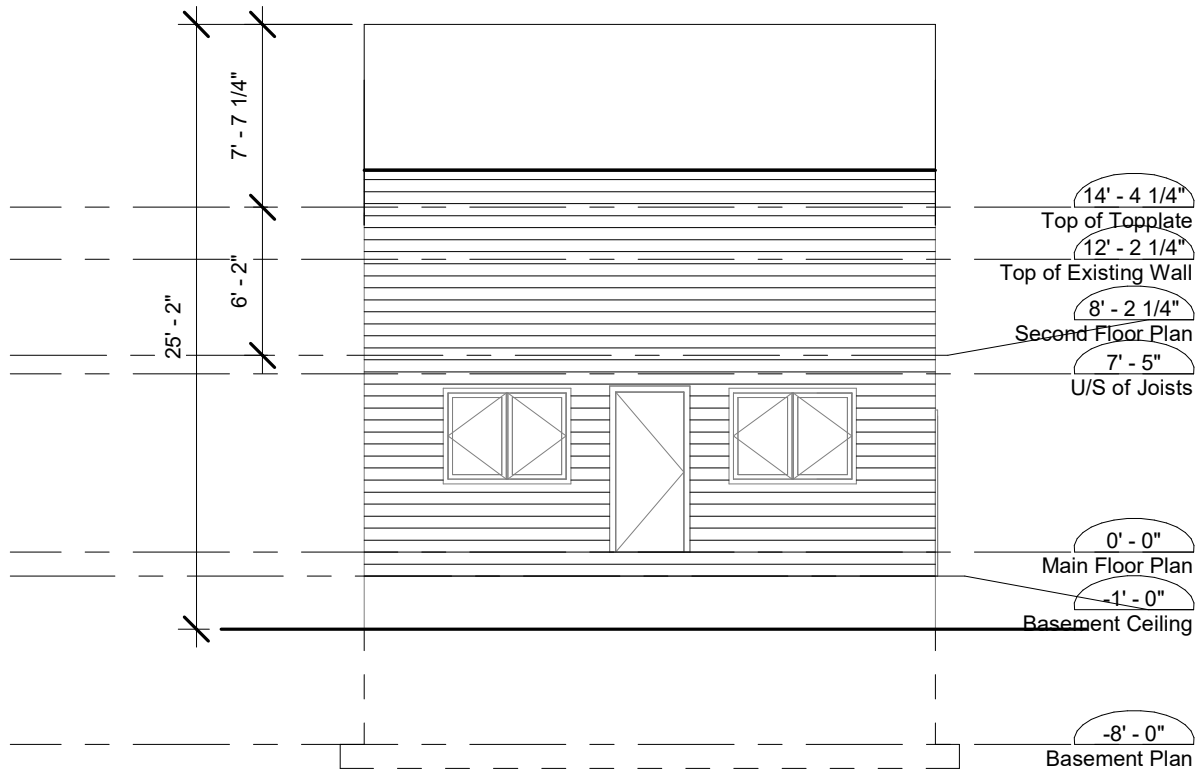
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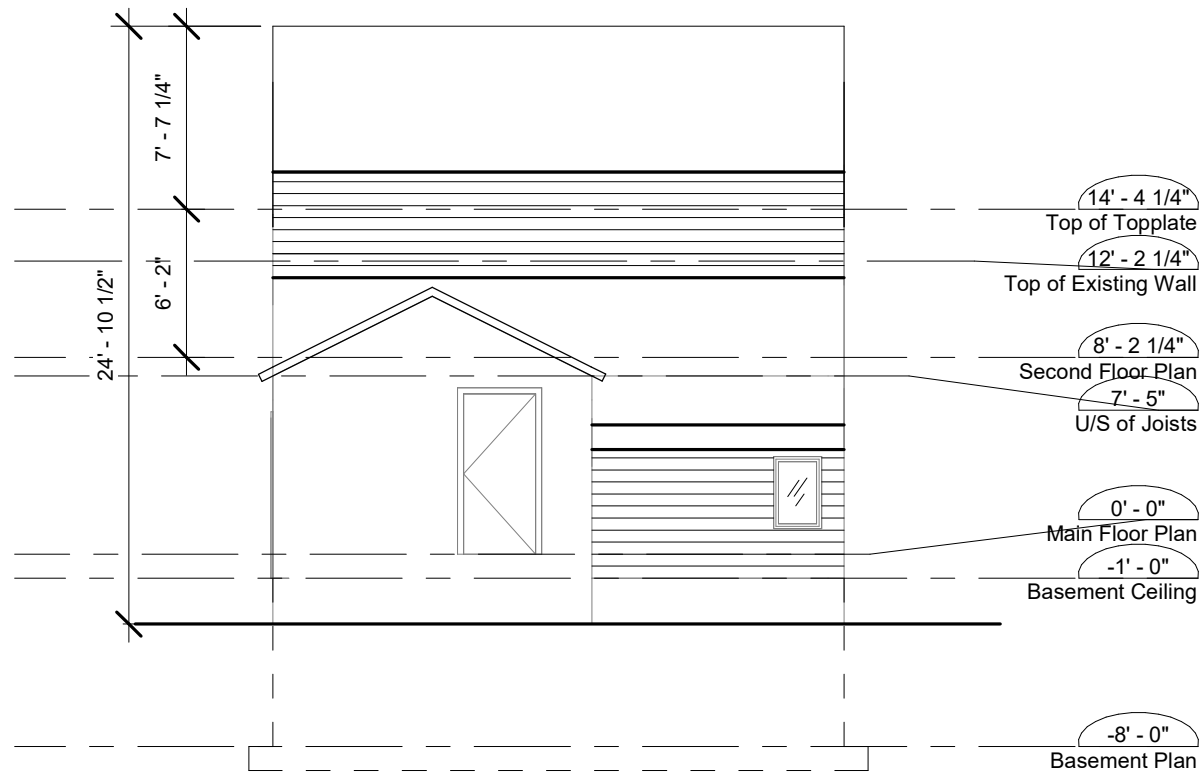
301 ARCHITECTURE

EMAIL
BENJAMIN.MCFADGEN@GMAIL.COM

PHONE
519.721.4866



1 South
1/8" = 1'-0"

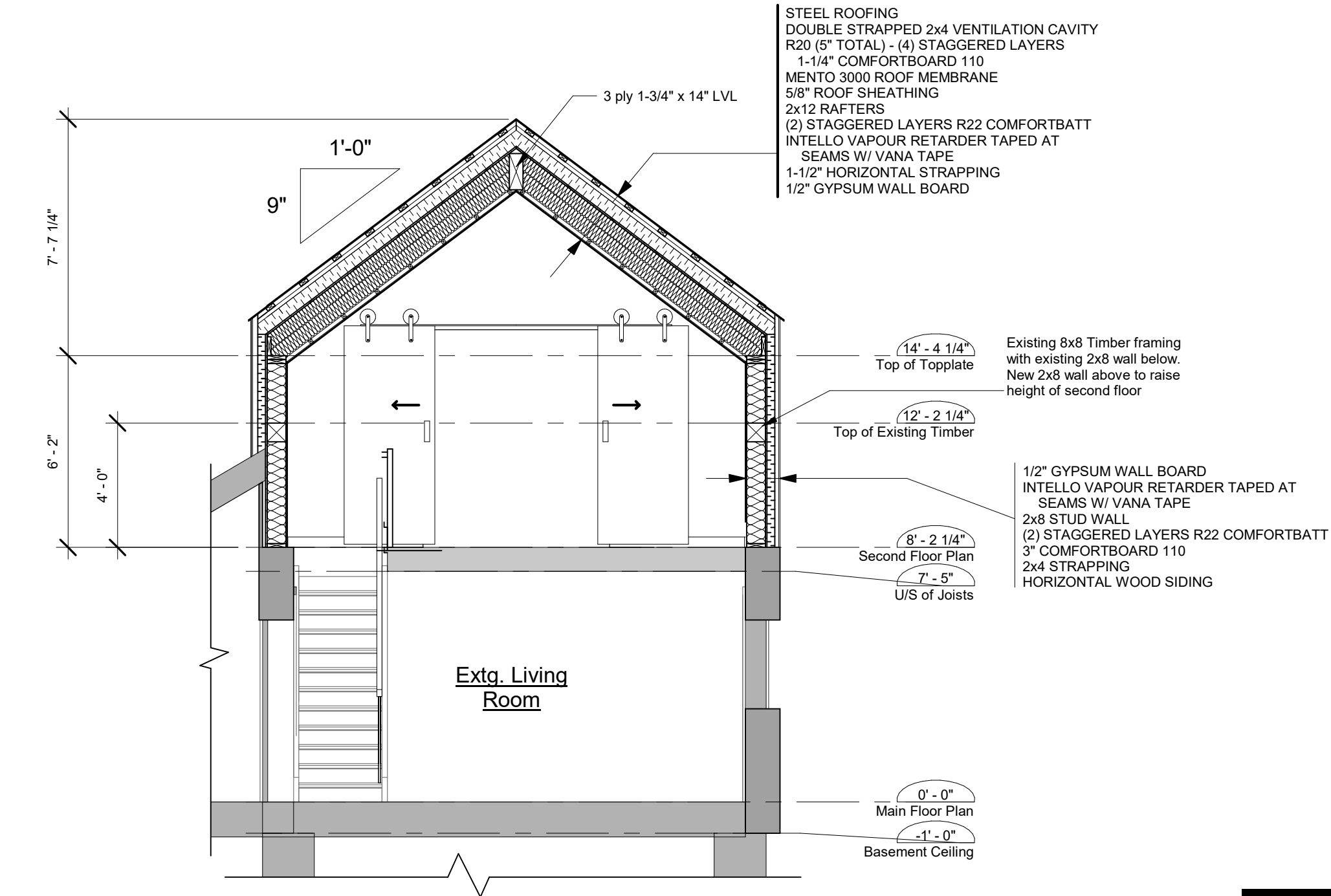


2 North
1/8" = 1'-0"

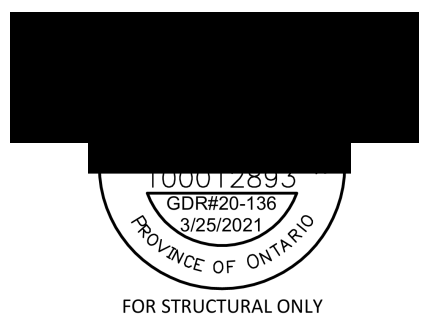
| NO. | DATE | REVISION |
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PROJECT
Savoie Residence
Interior Renovations
596 Arkell Rd. Puslinch, ON
DRAWING NAME
Elevations

| | | |
|-------------------------------------|-----------------------|----------------------------|
| PLOT DATE 2021-03-25 11:27:19 AM | CHECKED BY PM BM | DRAWING NO. A104 |
| SCALE 1/8" = 1'-0" | PROJECT NO. ARKELL | |



1 Section 1
1/4" = 1'-0"



| NO. | DATE | REVISION |
|-----|------|----------|
|-----|------|----------|

PROJECT
Savoie Residence
Interior Renovations

596 Arkell Rd. Puslinch, ON

DRAWING NAME
Section

| | | |
|-------------------------------------|------------------------|----------------------------|
| PLOT DATE 2021-03-25 11:27:19 AM | CHECKED BY PM BM | DRAWING NO. S101 |
| SCALE 1/4" = 1'-0" | PROJECT NO. ARKELL | |



PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department

MEETING DATE: June 8th, 2021
TO: Lynne Banks, Secretary-Treasurer
Township of Puslinch
FROM: Asavari Jadhav, Junior Planner
Meagan Ferris, Manager of Planning and Environment
County of Wellington
SUBJECT: **MINOR VARIANCE APPLICATION D13/SAV (James Savoie)**
596 Arkell Road
Part Lot 3, Plan 131, Pt. 1 on Reference Plan 61R-9995

ATTACHMENT: 1. Architectural Elevation Plans

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

Planning Opinion

The applicant is proposing to expand an existing dwelling by adding a second storey addition. The existing height of the roof is 1.88 m (6.2 ft) and the proposed height is 3.5 m (11.5 ft). The variance requested would provide relief from Section 4.17.1b to comply with the zone standards as defined for each zone.

The subject property is located within Urban Center (Arkell) and is zoned Commercial. It is also noted that the subject property and use are considered to be legal non-conforming and are permitted to continue to exist as per Sections 4.17.2 and Section 4.17.4 of the By-law; however, the subject relief is required to permit an expansion to a legal non-conforming use.

This minor variance application maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property. We consider the request minor and have no concerns with the application, provided that the following recommended condition is addressed:

1. That the Township's Building Official be satisfied that the proposal can be adequately serviced.

Proposal:

The details of the minor variance application are included in the table below.

| Section of By-law | Required | Proposed |
|--|--|--|
| Section 4.17.1 Legal Non-Conformity | The existing development has legal non-conforming status as per Section 4.17. However, Section 4.17.1b stipulates that proposed development comply with the zone standards as defined for each zone. | Requesting relief of New Comprehensive Zoning By-law # 23-2018, as amended, from Section 4.17.1(b) to increase the size of an existing residential dwelling. |

Our discussion of this application relative to the four tests under the *Planning Act* is as follows:

| Four Tests | Discussion |
|--|--|
| That the requested variance is minor in nature | <ul style="list-style-type: none"> • The height relief requested is to allow for the construction of a second storey addition on to a portion of an existing, one-storey dwelling. • The addition is a vertical addition, so the existing setbacks of the dwelling, including the front yard setback, will be maintained. • Architectural drawings (included in Attachment 1) provided show that the second storey will be added on the front part of the existing dwelling. |
| That the intent and purpose of the Zoning By-law is maintained | <ul style="list-style-type: none"> • The subject lands are zoned as Commercial (C) Zone. • The intent of the subject application is to construct a second storey to an existing dwelling that has legal non conforming status. • The existing height if the roof is 1.88 m (6.2ft) and the proposed height is 3.5 m (11.5ft), this height is required to achieve a reasonable second floor ceiling height. • Based on the review of the plans submitted, it appears that the existing dwelling is situated on the property line and the existing garage has the interior side yard of 0.71m. Section 4.17 recognizes these legal non-conforming situations. • This dwelling was constructed before the new by-law came into force and effect. Therefore, Section 4.17.1b legal non-conforming is applicable. • Based on the definition of “height” within the zoning by-law, height is measured from grade to the highest point of the dwelling. It is noted that the previous Township By-law did have a different definition of height based on roof type. |
| That the general intent and purpose of the Official Plan is maintained | <ul style="list-style-type: none"> • The subject lands are designated as Urban Center (Arkell) in the County Official Plan. • Section 13.8 recognizes legal non-conforming uses in the County Official Plan and allows for extensions to be considered subject to the Planning Act and Section 13.8.2. With respects to servicing, it should be demonstrated to the Township’s satisfaction that the existing services can accommodate the proposed addition. |
| Four Tests | Discussion |
| That the variance is desirable and appropriate for the development and use of the land, building or structure | <ul style="list-style-type: none"> • The subject lands are located within an Urban Centre. • The subject land is approximately 0.29 ac (0.12ha) in size and the immediate, adjacent land uses are residential and commercial in nature. • It is understood the additional height proposed for the dwelling is required to achieve a reasonable second floor ceiling height. • It is also noted that the existing foot print of the dwelling is not being changed. A condition has been recommended to ensure that the proposed addition can be adequately serviced. |



In conclusion, planning staff is of the opinion that the requested variance application **meets the four tests** of the Planning Act. I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application.

Respectfully submitted.

County of Wellington Planning and Development Department.

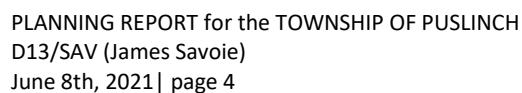
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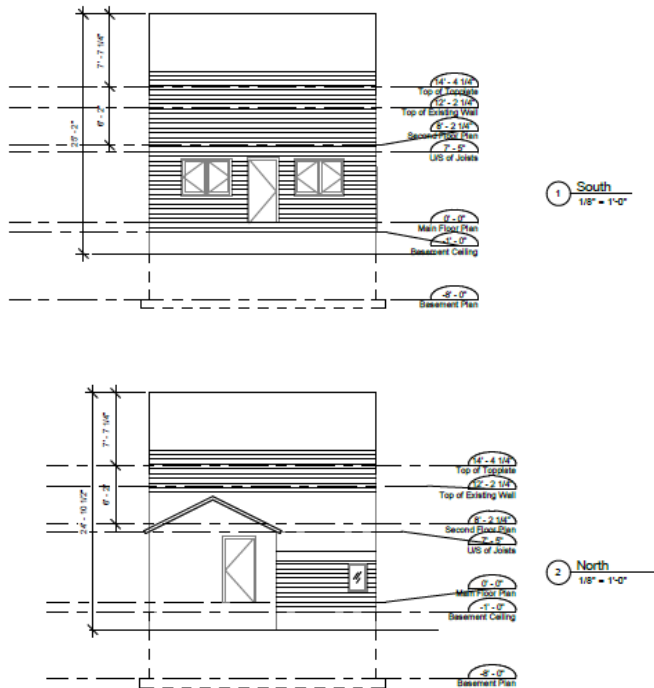
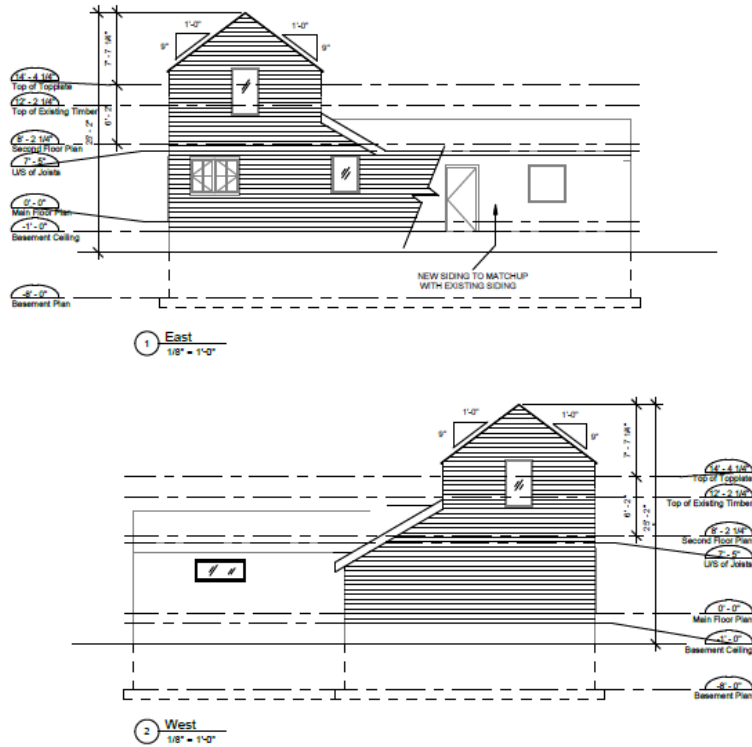
Asavari Jadhav
Junior Planner

[Redacted Signature]

Meagan Ferris, RPP MCIP
Manager of Planning and Environment

1. Architectural Elevation Plans





| | |
|--|-------------|
| Project Name | |
| James Township Interior Renovations | |
| Site Address No. | Project No. |
| Elevations | |
| Scale | Sheet No. |
| 1/8" = 1'-0" | A103 |
| | |

| | |
|--|-------------|
| Project Name | |
| James Township Interior Renovations | |
| Site Address No. | Project No. |
| Elevations | |
| Scale | Sheet No. |
| 1/8" = 1'-0" | A104 |
| | |



MINUTES

1. CALL THE MEETING TO ORDER

The May 11, 2021 Planning & Development Advisory Committee Meeting was held on the above date and called to order at 7:15 p.m. via electronic participation.

2. OPENING REMARKS

The Chair advised that the following portion of the Committee meeting will be for the Committee to review and provide comments on development planning applications.

3. ROLL CALL

MEMBERS IN ATTENDANCE

Councilor John Sepulis, Chair
Deep Basi
Paul Sadhra
Dan Kennedy
Dennis O'Connor

MEMBERS ABSENT

None

STAFF IN ATTENDANCE

Lynne Banks, Development and Legislative Coordinator
Courtenay Hoytfox, Clerk
Jeff Bunn, Deputy Clerk
Zachary Prince, Planner, County of Wellington

4. DISCLOSURE OF PECUNIARY INTEREST

None

5. APPROVAL OF MINUTES

- April 13, 2021

Moved by: Dan Kennedy

Seconded by: Deep Basi

That the Minutes of the Planning & Development Advisory Committee Meeting held Tuesday, April 13, 2021, be adopted.

CARRIED

6. APPLICATION FOR SITE PLAN URBAN DESIGN REVIEW

None

7. ZONING BY-LAW AMENDMENT

None

8. LAND DIVISION

8(a) Severance Application B17-21 (D10-SPE) – Corey Speers – Lot 2 and Part Lot 3, Registered Plan 131, municipally known as 11 Farnham Road, Township of Puslinch.

Proposed severance is 0.4 hectares with 11 meters frontage, vacant land for proposed rural residential use.

Retained parcel is 51.4 meters frontage x 80 meters = 0.41 hectares, existing and proposed rural residential use with existing dwelling, garage, shed & pool.

- Jeff Buisman, agent for the applicant provided an overview of the application.
- There were no comments or questions from the public.
- Deep Basi asked if a safe entrance is confirmed
- Jeff Buisman advised that yes, there is a safe entrance to the property.
- John Sepulis noted that there is a “dip” from the road and asked if those grades are manageable.
- Jeff Buisman advised that it won’t be an issue.
- There were no further comments or questions from the committee members.

The committee supports the application with the **following conditions** imposed:

1. That the Owner satisfy all the requirements of the Township of Puslinch, financial and otherwise (including taxes paid in full and Consent Review/Condition Clearance fee) which the Township may deem to be necessary at the time of issuance of the Certificate of Consent for the property and orderly development of the subject lands; and further that the Township of Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
2. That the Owner obtain an approved Entrance Permit verifying safe access and site lines on the severed parcel from the Township of Puslinch; and further that the Township file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
3. That the Owner achieve zoning conformity for the severed parcel to permit a reduced frontage of 11 meters.

CARRIED

Moved by: Dennis O’Connor

Seconded by: Deep Basi

8(b) Lot Line Adjustment Application B18-21 (D10-MIL) – John and Douglas Miller – Part Lot 13, Concession 2, no municipal address, Township of Puslinch.

Proposed lot line adjustment is 2.5 hectares with 41 meters frontage, vacant land to be added to abutting rural residential & agricultural parcel - John & Douglas Miller.

Retained parcel is 59 meters frontage x 80 meters = 0.47 hectares, vacant land for proposed rural residential use.

- Jeff Buisman, agent for the applicant, provided an overview of the application.
- There were no comments or questions from the public.
- Deep Basi asked if the retained parcel will also have access for a driveway.
- Jeff Buisman advised that there is a proposed entrance on the front right of the property.
- Deep Basi asked that a safe entrance is possible for both entrances.
- Jeff Buisman advised that the lands to be severed will be merged with the 11 hectare parcel and the entrance to the merged parcel will be using the existing driveway.
- John Sepulis asked Zachary Prince that since there is a change in the frontage, will a minor variance be required.
- Zachary Prince advised that they did achieve a minor variance previously and that County planning staff will be reviewing the previous minor variance to see if it still applies, and if it doesn’t then a minor variance will be required.
- There were no further comments or questions from the committee members.

The Committee supports the application with the **following conditions** imposed:

1. That the Owner satisfy all the requirements of the Township of Puslinch, financial and otherwise (including taxes paid in full and Consent Review/Condition Clearance fee) which the Township may deem to be necessary at the time of issuance of the Certificate of Consent for the property and orderly development of the subject lands; and further that the Township of Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
2. That the Owner obtain an approved Entrance Permit verifying safe access and site lines on the retained parcel from the Township of Puslinch; and further that the Township file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
3. That the Owner achieve zoning conformity for the severed parcel to permit a reduced frontage.

CARRIED

Moved by: Dan Kennedy

Seconded by: Dennis O'Connor

8(c). Severance Application B19-21 (D10-LIS) – Jordan Lisso and Emily Harper – Part Lot 6, Concession 5, known municipally as 4753 Wellington Road 32, Township of Puslinch.

Proposed severance is 30 meters frontage x 128 meters = 0.39 hectares, existing and proposed rural residential use. Existing shed to be removed.

Retained parcel is 30 meter frontage x 128 meters = 0.39 hectares, existing and proposed rural residential use. Existing dwelling & sheds to be removed.

- Jeff Buisman, agent for the applicant, provided an overview of the application.
- There were no comments or questions from the public.
- Deep Basi asked if this application will be subject to a hydrogeological study
- Jeff Buisman advised that it will depend on the County of Wellington Land Division Committee due to proposed road widenings affecting the size of the lots.
- Zachary Prince noted that they are looked at on a case by case basis and that County planning staff will have further discussions with the applicant prior to the application being heard at the County of Wellington Land Division Committee.
- Paul Sadhra asked if the lot sizes are reduced due to any required road widenings would a minor variance be required.
- Zachary Prince advised that it has not yet been determined if it will be a minor variance or a zoning by-law amendment.
- Dan Kennedy asked if the neighbours are okay with the application.
- Zachary Prince advised that to his knowledge they have not received any comments yet.
- Dennis O'Connor asked if MDS is changed to a lower level, does that apply to the barn if it expands.
- Zachary Prince advised that if there is an expansion of the barn located at 6601 Laird Road West then it would be an MDSII expansion.
- Dennis O'Connor asked if complaints from closer properties are received, who will be responsible for addressing them if OAMFA doesn't deal with the complaints.
- Zachary Prince advised that MDS is a County concern and any complaints would be sent to the Township and that they would be addressed by the County if it is MDSI and the Township would address any dealing with MDSII.
- There were no further comments or questions from the committee members.

The Committee supports the application with the **following conditions** imposed:

1. That the Owner satisfy all the requirements of the Township of Puslinch, financial and otherwise (including taxes paid in full and Consent Review/Condition Clearance fee) which the Township may deem to be necessary at the time of issuance of the Certificate of Consent for the property and orderly development of the subject lands; and further that the Township of Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
2. That the Owner obtain an approved Entrance Permit verifying safe access and site lines on the severed parcel from the Township of Puslinch; and further that the Township file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
3. That the owner achieve zoning conformity for the reduced MDS setbacks for both the retained and severed parcels.
4. That the owner achieve zoning conformity for the reduced lot size for both the retained and severed parcels.

CARRIED

Moved by: Deep Basi

Seconded by: Dan Kennedy

8(d). Severance Application B20-21 (D10-SLO) – John Sloat – Part Lot 10, Concession 9, known municipally as 985 Watson Road South, Township of Puslinch.

Proposed severance is 1.05 hectares with 81 meters frontage, vacant land for proposed rural residential use.

Retained parcel is 6.7 hectares with 37 meters frontage, existing and proposed rural residential use with existing dwelling and three sheds.

- Jeff Buisman, agent for the applicant, provided an overview of the application and noted that an EIS has been done to support the application.
- John Sepulis asked if Jeff Buisman could comment on the MDS calculation.
- Jeff Buisman advised that the required distance is 392 meters because it is a Type A and if it was a Type B and the minimum would be 280 meters.
- John Sepulis asked if the owner of the barn is also the owner of the property.
- Jeff Buisman advised that he is.
- John Sepulis asked if the septic for the existing dwelling is well out of the range of the proposed severed lands.
- Jeff Buisman confirmed that it is close to the existing dwelling.
- There were no further comments or questions.

The Committee supports the application with the **following conditions** imposed:

1. That the Owner satisfy all the requirements of the Township of Puslinch, financial and otherwise (including taxes paid in full and Consent Review/Condition Clearance fee) which the Township may deem to be necessary at the time of issuance of the Certificate of Consent for the property and orderly development of the subject lands; and further that the Township of Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
2. That the Owner obtain an approved Entrance Permit verifying safe access and site lines on the **retained parcel** from the Township of Puslinch; and further that the Township file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
3. That the Owner achieve zoning conformity for the retained parcel for the reduced lot frontage.

4. That the owner achieve zoning conformity for the retained parcel for reduced MDS setbacks.

CARRIED

Moved by: Dennis O'Connor

Seconded by: Deep Basi

- 8(e). Severance Application B22-21 (D10-BRI) – Dorothy Briggs c/o David Briggs – Part Lot 20, Concession 4, known municipally as 7004 Concession 4, Township of Puslinch.**

Proposed severance is 35 meters frontage x 115 meters = 0.4 hectares, vacant land for proposed rural residential use.

Retained parcel is 3.6 hectares with 91 meters frontage, existing and proposed rural residential use with existing dwelling, shed & pool. Pool to be removed.

- Jeff Buisman, agent for the applicant, provided an overview of the application.
- Deep Basi asked if the property is sold, is the severance a loophole to avoid the 5 year requirement.
- Zachary Prince advised that is not the intent, but there is currently no mechanism in place to control that happening.
- John Sepulis asked if the owners of the barn were able to provide comments.
- Zachary Prince advised that they were circulated.
- John Sepulis asked Lynne Banks if any comments were received from the surrounding owners.
- Lynne Banks advised that 7 objection letters were received and they have been put in the Township's file and have been forwarded to the Secretary-Treasurer for the County of Wellington Land Division Committee for their file also.

The Committee supports the application with the **following conditions** imposed:

1. That the Owner satisfy all the requirements of the Township of Puslinch, financial and otherwise (including taxes paid in full and Consent Review/Condition Clearance fee) which the Township may deem to be necessary at the time of issuance of the Certificate of Consent for the property and orderly development of the subject lands; and further that the Township of Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
2. That the Owner obtain an approved Entrance Permit verifying safe access and site lines on the **severed parcel** from the Township of Puslinch; and further that the Township file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
3. That the owner achieve zoning conformity for the reduced MDS setbacks.

CARRIED

Moved by: Dan Kennedy

Seconded by: Dennis O'Connor

7. OTHER MATTERS

- None

8. CLOSED MEETING

- None

9. NEXT MEETING

- Next Regular Meeting is Tuesday, June 8, 2021 @ 7:00 p.m.

10. ADJOURNMENT



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH
PLANNING & DEVELOPMENT ADVISORY COMMITTEE
MAY 11, 2021
7:00 PM
VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

Moved by: Paul Sadhra

Seconded by: Deep Basi

That the Planning & Development Advisory Committee is adjourned at 7:58 p.m.

CARRIED

County of Wellington Planning and Land Division Committee
Deborah Turchet, Secretary-Treasurer
Wellington County Administration Centre
74 Woolwich Street, Guelph ON N1H 3T9

May 14, 2021

NOTICE OF AN APPLICATION FOR CONSENT

Ontario Planning Act, Section 53(4)

The County of Wellington Planning and Land Division Committee requests your written comments on this application for consent.

APPLICATION SUBMITTED ON: April 23, 2021

FILE NO. B24-21

APPLICANT

Jeffrey Born & Vicki Dickson
4614 Concession 14
Puslinch NOB 2J0

LOCATION OF SUBJECT LANDS

Township of Puslinch
Part Lot 15
Concession 10

Proposed severance is 4039.3 square metres with 46.37m frontage (Part 1 on sketch), existing paddock area for proposed rural residential use.

Retained parcel is 22.07 hectares with 109.85m frontage, existing and proposed residential and agricultural use with existing dwelling and storage building with 5 animal stalls.

**IF YOU WISH TO SUBMIT COMMENTS ON THIS APPLICATION,
WE MUST HAVE YOUR WRITTEN COMMENTS BEFORE**

June 30, 2021

Comments can be provided by mail at address above or by email janap@wellington.ca

Please note that if the Comments are not received by the requested date, the Planning and Land Division Committee may proceed to consider the application, and may assume that you have no objection to this Application for Consent.

Please also be advised that if a person or public body that files an appeal of a decision of the County of Wellington Planning and Land Division Committee in respect of the proposed consent has not made written submission to the County of Wellington Planning and Land Division Committee before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

If you wish to be **NOTIFIED OF THE DATE AND TIME OF THE CONSIDERATION** of this application - **please make your request in writing and provide your email address** to the Planning and Land Division Committee before the "Comments Return Date" noted above.

If you wish to be **NOTIFIED OF THE DECISION** of the County of Wellington Planning and Land Division Committee in respect of this proposed consent, **you must make a request in writing** to the County of Wellington Planning and Land Division Committee. This will also entitle you to be advised of a possible Local Planning Appeal Tribunal. Even if you are the successful party, you should request a copy of the decision since the County of Wellington Planning and Land Division Committee's decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the Public.

INFORMATION REGARDING THE APPLICATION is available to the public during regular business hours, Monday to Friday at the County of Wellington Planning and Land Division Office- 74 Woolwich St. Guelph, ON N1H 3T9.
Phone: (519) 837-2600 x2170 Fax: (519) 837-3875

MAILED TO:

Local Municipality – Puslinch

County Planning

Conservation Authority - GRCA

Source Water Protection

Bell Canada (email)

County Clerk

Roads/Solid Waste

Civic Addressing

Neighbour - as per list verified by local municipality and filed by applicant with this application

APPLICATION FOR CONSENT

Ontario Planning Act

1. Approval Authority:

County of Wellington Planning and Land Division Committee
County of Wellington Administration Centre
74 Woolwich Street, GUELPH, Ontario N1H 3T9

Phone: 519-837-2600, ext. 2170 or 2160 Fax: 519-837-3875

Required Fee: \$ 4630
Fee Received: Apr 23/21
File No. B24-21
Accepted as Complete on: Apr 23/21

A COPY OF YOUR CURRENT DEED MUST BE SUBMITTED WITH THIS APPLICATION2. (a) Name of Registered Owner(s) Jeffrey Gordon Born & Vicki Marguerite DicksonAddress 4614 Concession 11, Puslinch, Ontario N0B 2J0Phone No. [REDACTED]Email: [REDACTED]

(b) Name and Address of Applicant (as authorized by Owner)

Phone No. _____

Email: _____

(c) Name and Address of Owner's Authorized Agent: Black, Shoemaker, Robinson & Donaldson Limited257 Woodlawn Road West, Unit 101, Guelph, Ontario N1H 8J1Phone No. 519-822-4031Email: nancy@bsrd.com(d) All Communication to be directed to:REGISTERED OWNER ☒APPLICANT ☐AGENT ☒

(e) Notice Cards Posted by:

REGISTERED OWNER ☒APPLICANT ☐AGENT ☐

3. Type and Purpose of Proposed Transaction: (Check off appropriate box & provide short explanation)

RURAL RESIDENTIAL ☒ AGRICULTURAL ☐ URBAN RESIDENTIAL ☐ COMMERCIAL/INDUSTRIAL ☐

OR

Rural residential lot subject to 10.05 metre wide easement in favour of Ontario HydroEASEMENT ☐ RIGHT OF WAY ☐ CORRECTION OF TITLE ☐ LEASE ☐

(a) If known, the name of person to whom the land or an interest in the land is to be transferred, charged or leased.

Unknown

4. (a) Location of Land in the County of Wellington:

Local Municipality: Township of Puslinch

Concession 10 Lot No. Part Lot 15

Registered Plan No. _____ Lot No. _____

Reference Plan No. 61R-5385 Part No. Part 2 (except Pts. 1,2&3 61R-8472)

Civic Address 4614 Concession 11

(b) When was property acquired: July 4, 2014 Registered Instrument No. WC407328

5. Description of Land intended to be SEVERED: Metric ☒ Imperial ☐

Frontage/Width 46.37 AREA 4039.3 m²

Depth 89.27 m Existing Use(s) Paddock area

Existing Buildings or structures: None

Proposed Uses (s): single detached residential dwelling

| Type of access (Check appropriate space) | Existing <input type="checkbox"/> | Proposed <input checked="" type="checkbox"/> |
|---|--|--|
| <input type="checkbox"/> Provincial Highway | <input type="checkbox"/> Right-of-way | |
| <input type="checkbox"/> County Road | <input type="checkbox"/> Private road | |
| <input checked="" type="checkbox"/> Municipal road, maintained year round | <input type="checkbox"/> Crown access road | |
| <input type="checkbox"/> Municipal road, seasonally maintained | <input type="checkbox"/> Water access | |
| <input type="checkbox"/> Easement | <input type="checkbox"/> Other | |

Type of water supply - Existing ☐ Proposed ☒ (check appropriate space)

☐ Municipally owned and operated piped water system

☒ Well ☒ individual ☐ communal

☐ Lake

☐ Other _____

Type of sewage disposal - Existing ☐ Proposed ☒ (check appropriate space)

☐ Municipally owned and operated sanitary sewers

☒ Septic Tank (specify whether individual or communal): Individual

☐ Pit Privy

☐ Other (Specify): _____

6. Description of Land intended to be **RETAINED**:
Metric ☒ Imperial ☐
Frontage/Width 109.85 m AREA 22.07 ha
Depth 202.54 m Existing Use(s) rural residential hobby farm
Existing Buildings or structures: detached residential dwelling & storage building including 5 animal stalls
Proposed Uses (s): Same

| Type of access (Check appropriate space) | Existing <input checked="" type="checkbox"/> | Proposed <input type="checkbox"/> |
|---|--|-----------------------------------|
| <input type="checkbox"/> Provincial Highway | <input type="checkbox"/> Right-of-way | |
| <input type="checkbox"/> County Road | <input type="checkbox"/> Private road | |
| <input checked="" type="checkbox"/> Municipal road, maintained year round | <input type="checkbox"/> Crown access road | |
| <input type="checkbox"/> Municipal road, seasonally maintained | <input type="checkbox"/> Water access | |
| <input type="checkbox"/> Easement | <input type="checkbox"/> Other | |

Type of water supply - Existing ☒ Proposed ☐ (check appropriate space)

☐ Municipally owned and operated piped water system
☒ Well ☒ individual ☐ communal
☐ Lake
☐ Other

Type of sewage disposal - Existing ☒ Proposed ☐ (check appropriate space)

☐ Municipally owned and operated sanitary sewers
☒ Septic Tank (specify whether individual or communal): Individual
☐ Pit Privy
☐ Other (Specify):

7. Is there an agricultural operation, (either a barn, manure storage, abattoir, livestock area or stockyard) within 500 metres of the Subject lands (severed and retained parcels)? YES ☒ NO ☐
*If yes, see sketch requirements and the application must be accompanied by a MINIMUM DISTANCE SEPARATION FORM.

8. Is there a landfill within 500 metres [1640 feet]? YES ☐ NO ☒

9. a) Is there a sewage treatment plant or waste stabilization plant within 500 metres [1640']? YES ☐ NO ☒

10. Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the lands to be retained or to be severed or within 120 metres [394 feet]? YES ☒ NO ☐

11. Is there any portion of the land to be severed or to be retained located within a floodplain? YES ☐ NO ☒

12. Is there a provincial park or are there Crown Lands within 500 metres [1640']? YES ☐ NO ☒

13. Is any portion of the land to be severed or retained within a rehabilitated mine/pit site? YES ☐ NO ☒

14. Is there an active or abandoned mine, quarry or gravel pit within 500 metres [1640']? YES ☐ NO ☒

15. Is there a noxious industrial use within 500 meters [1640']? YES ☐ NO ☒

16. Is there an active or abandoned principal or secondary railway within 500 metres [1640']? YES ☐ NO ☐

Name of Rail Line Company: _____

17. Is there an airport or aircraft landing strip nearby? YES [] NO [x]

18. Is there a propane retail outlet, propane filling tank, cardlock/keylock or private propane outlet/container refill centre within 750 metres of the proposed subject lands? YES [] NO [x]

19. PREVIOUS USE INFORMATION:

a) Has there been an industrial use(s) on the site? YES [] NO [x] UNKNOWN []

If YES, what was the nature and type of industrial use(s)?

b) Has there been a commercial use(s) on the site? YES [] NO [x] UNKNOWN []

If YES, what was the nature and type of the commercial use(s)

c) Has fill been brought to and used on the site (other than fill to accommodate septic systems or residential landscaping?) YES [] NO [x] UNKNOWN []

d) Has there been commercial petroleum or other fuel storage on the site, underground fuel storage, or has the site been used for a gas station at any time, or railway siding? YES [] NO [x] UNKNOWN []

If YES, specify the use and type of fuel(s)

20. Is this a resubmission of a previous application? YES [] NO [x]

If YES, is it identical [] or changed [] Provide previous File Number

21. a) Has any severance activity occurred on the land from the holding which existed as of March 1, 2005 and as registered in the Land Registry/Land Titles Office? YES [] NO [x]

b) If the answer in (a) is YES, please indicate the previous severance(s) on the required sketch and provide: Transferee's Name, Date of the Transfer and Use of Parcel Transferred.

22. Has the parcel intended to be severed ever been, or is it now, the subject of an application for a plan of subdivision or other Consent or approval under the Planning Act or its predecessors?

YES [] NO [x] UNKNOWN []

23. Under a separate application, is the Owner, applicant, or agent applying for additional consents on this holding simultaneously with this application? YES [] NO [x]

24. Provide explanation of how the application is consistent with the Provincial Policy Statement.

PPS allows for severances in rural areas

25. In addition to Places to Grow (Provincial Growth Plan), is the subject land within an area of land designated under the Greenbelt Plan? Provide explanation of how the application conforms or does not conflict with the Provincial plan or plans. The Growth Plan also for severances in rural areas

26. a) Indicate the existing County Official Plan designation(s) of the subject land, and provide explanation of how the application conforms with the Official Plan (severed and retained).

County Official Plan designates the property Secondary Agricultural and rural severances are allowed within this designation

- b) Indicate the existing **Local Official Plan** (if any) designation(s) of the subject land, and provide explanation of how the application conforms with the Official Plan (severed and retained).

Township of Puslinch relies on County Official Plan.

- c) If this consent relates directly to an Official Plan Amendment(s) currently under review by an approval authority, please indicate the Amendment Number and the applicable file number(s).

Amendment Number(s): _____ File Number(s): _____

27. Is the subject land a proposed surplus farm dwelling?*

YES [] NO [x]

*If yes, an application to sever a surplus farm dwelling must be accompanied by a FARM INFORMATION FORM.

28. What is the zoning of the subject lands? Agricultural (A)

29. Does the proposal for the subject lands conform to the existing zoning?

YES [] NO [x]

- If NO, a) has an application been made for re-zoning?

YES [] NO [] File Number _____

- b) has an application been made for a minor variance?

YES [x] NO [] File Number D13-BOR (BORN)

30. Are the lands subject to any mortgages, easements, right-of-ways or other charges?

YES [x] NO []

If the answer is YES, please provide a copy of the relevant instrument.

~~For mortgages just provide complete name and address of Mortgagee.~~

Mortgagee - The Bank of Nova Scotia 15 Clair Road, Guelph, Ont N1L 0A6 (519-837-3442)

Questions 31 – 34 must be answered for Applications for severance in the Rural/Agricultural Area -- Otherwise, if this is not applicable to your application, please state "not Applicable"

31. **Type of Farm Operation** conducted on these subject lands:

Type: Dairy [] Beef Cattle [] Swine [] Poultry [] Other [x]
5 ponies

32. **Dimensions of Barn(s)/Outbuildings/Sheds (that are to remain) Severed & Retained Lands**

| | | | | |
|-----------------|---------------------|--------------------|---------------------------------|-----------------------------------|
| <u>Severed</u> | Width _____ | Length _____ | Area _____ | Use _____ |
| | Width _____ | Length _____ | Area _____ | Use _____ |
| <u>Retained</u> | Width <u>15.5 m</u> | Length <u>29 m</u> | Area <u>449.5 m²</u> | Use <u>storage & 5 stalls</u> |
| | Width _____ | Length _____ | Area _____ | Use _____ |

33. **Manure Storage Facilities** on these lands:

| DRY | | SEMI-SOLID | | LIQUID | |
|--------------|-----|-------------------------|-----|----------------------------|-----|
| Open Pile | [x] | Open Pile | [] | Covered Tank | [] |
| Covered Pile | [] | Storage with Buck Walls | [] | Aboveground Uncovered Tank | [] |
| | | | | Belowground Uncovered Tank | [] |
| | | | | Open Earth-sided Pit | [] |

34. Are there any drainage systems on the retained and severed lands?

YES [] NO [x]

| Type | Drain Name & Area | Outlet Location |
|---------------------|-------------------|----------------------|
| Municipal Drain [] | | Owner's Lands [] |
| Field Drain [] | | Neighbours Lands [] |
| | | River/Stream [] |

35. **Source Water Protection Plan**

Is the subject land within a Wellhead Protection Area, Issue Contributing Area, or Intake Protection Zone of a Source Protection Plan in effect? (www.wellingtonwater.ca)

YES [x] NO []

If YES, please complete the Source Water Protection Form and submit with your application.

36. Have you had a pre-consultation meeting with County Planning Staff before filling out this application form?

YES [] NO []

If yes, please indicate the person you have met/spoken to: Zachary Prince

37. If you wish to provide some further information that may assist the Planning and Land Division Committee in evaluating your application, please provide by a letter and attach it to this application.

NOTES:

1. **One original completed application and two original sketches must be filed with the County of Wellington Planning and Land Division office.** If original sketch is larger than 11" x 17", 8 additional copies are required plus one sketch reduced to a size of 11" x 17" (or smaller) for office photocopying and circulation to neighbours. Facsimile documents are not acceptable for reasons of the necessity of good photocopying.
2. The location of the lands (severed & retained) which are the subject of the application must also be shown on the Surveyor's sketch or on an attached "Key Map" and included with the application.
3. Since the filing fee for applications for consent change from time to time, please contact the Planning and Land Division office for current fee information. This fee may be paid in cash or by cheque payable to the County of Wellington.
4. Additional information about the process, about any particular application or obtaining application forms may be obtained by attending at the County of Wellington Administration Centre, 74 Woolwich Street, Guelph Ontario N1H 3T9, by telephone at 519-837-2600, ext. 2160 or 2170; or by facsimile (fax) at 519-837-3875.
5. Generally, regular severance application forms are also available at the local municipal office.
6. Some municipalities also require the applicant to attend at a Planning Advisory Committee or Council meeting to discuss the application prior to the Municipality's submitting comments to the County of Wellington Planning and Land Division Committee. Please check with your local municipality.
7. If the applicant is a Corporation, then the applicant's Declaration or if applicable, the Owner's authorization too, must be signed by an officer of the corporation who has authority to bind the corporation; or the corporation's seal must be affixed.

OWNER'S AUTHORIZATION:

The Owner must complete the following to authorize applicant, agent or solicitor to act on their behalf.

NOTE: If more than one owner is listed in item #2 of this application, then all owners must sign this authorization section of the application form or by a letter of authorization duly signed.

If the Owner is a corporation, the authorization must be by an officer of the corporation who has authority to bind the corporation.

I, (we), Jeffrey Gordon Born & Vicki Marguerite Dickson the Registered Owners of
4614 Concession 11 Of the Township of Puslinch in the
County/~~Region~~ of Wellington severally and jointly, solemnly declare that
Black, Shoemaker, Robinson & Donaldson Limited

Is authorized to submit an application for consent on my (our) behalf

Signature(s) of Registered Owner(s) or Corporation's Officer

APPLICANT'S DECLARATION

This must be completed by the Applicant for the proposed consent

I, (we) Nancy Shoemaker of the
City of Guelph In the County/~~Region~~ of
Wellington **Solemnly declare that all**
the statements contained in this application for consent for (property description) 4614 Concession 11

And all the supporting documents are true, and I, (we), make this solemn declaration conscientiously believing it to be true and complete, and knowing that it is of the same force and effect as if made under oath, and virtue of the CANADA EVIDENCE ACT.

DECLARED before me at the

City Of

Guelph In the

County/~~Region~~ of Wellington

This 21st day of April 20 21

Commissioner of Oaths

(Owner or Applicant)

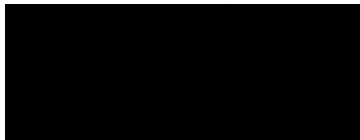
(Owner or Applicant)

Kerry Francis Hillis, a Commissioner, etc.,
Province of Ontario, for Black, Shoemaker,
Robinson & Donaldson Limited
Expires March 28, 2022

Printed Commissioner's, etc. Name

APPLICANT'S CONSENT (FREEDOM OF INFORMATION):

In accordance with the provisions of the Planning Act, it is the policy of the County Planning and Development Department to provide public access to all development applications and supporting documentation. In submitting this development application and supporting documentation, I, Nancy Shoemaker, the applicant, hereby acknowledge the above-noted and provide my consent in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act that the information on this application and any supporting documentation provided by myself, my agents, solicitors, and consultants will be part of the public record and will also be available to the general public.



Signature of Owner/Applicant/Agent(s)

April 21, 2021

Date

THIS APPLICATION PACKAGE IS TO BE SUBMITTED TO:

Secretary-Treasurer
Planning and Development Department
County of Wellington
74 Woolwich Street
Guelph, Ontario
N1H 3T9

Phone (519) 837-2600 Ext. 2160

Minimum Distance Separation I

Worksheet 1
Prepared By: Zach Prince

Description:

Application Date: Friday, April 9, 2021

Municipal File Number:

Proposed Application: Lot creation for four, or more, residential lots outside of a settlement area
Type B Land Use

Applicant Contact Information
Vicki Dickson

Location of Subject Lands
County of Wellington, Township of Puslinch
Concession: , Lot:
Roll Number: 230100000000000

Calculation Name: *Farm 1*

Description:

Farm Contact Information
Vicki Dickson

Location of existing livestock facility or anaerobic digester
County of Wellington, Township of Puslinch
Concession: , Lot:
Roll Number: 2301

Total Lot Size: 20 ha

The barn area is an estimate only and is intended to provide users with an indication of whether the number of livestock entered is reasonable.

| Manure Type | Type of Livestock/Manure | Existing Maximum Number | Existing Maximum Number (NU) | Estimated Livestock Barn Area |
|-------------|--|-------------------------|------------------------------|-------------------------------|
| Solid | Horses, Small-framed, mature; < 227 kg (including unweaned offspring) | 5 | 2.5 | 81 m ² |
| Solid | Horses, Medium-framed, mature; 227 - 680 kg (including unweaned offspring) | 1 | 1.0 | 23 m ² |

Existing Manure Storage: V3. Solid, outside, no cover, $\geq 30\%$ DM

Design Capacity (NU): 3.5

Potential Design Capacity (NU): 3.5

| Factor A (Odour Potential) | | Factor B (Size) | | Factor D (Manure Type) | | Factor E (Encroaching Land Use) | | Building Base Distance F' (minimum distance from livestock barn) | | Building Base Distance F' (actual distance from livestock barn) | |
|-------------------------------|---|--------------------|---|---------------------------|---|------------------------------------|---|---|--|--|--|
| 0.7 | X | 150 | X | 0.7 | X | 2.2 | = | 162 m (531 ft) | | TBD | |

| Storage Base Distance 'S' | |
|--|---------------------------------------|
| (minimum distance from manure storage) | (actual distance from manure storage) |
| 162 m (531 ft) | TBD |

Preparer Information

Zach Prince

Email: zacharyp@wellington.ca

Signature of Preparer: Zach Prince Date: _____

NOTE TO THE USER:

NOTE TO THE USER:
The Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA) has developed this software program for distribution and use with the Minimum Distance Separation (MDS) Formulae as a public service to assist farmers, consultants, and the general public. This version of the software distributed by OMAFRA will be considered to be the official version for purposes of calculating MDS. OMAFRA is not responsible for errors due to inaccurate or incorrect data or information; mistakes in calculation; errors arising out of modification of the software, or errors arising out of incorrect inputting of data. All data and calculations should be verified before acting on them.



April 21, 2021

Project: 21-14-365

Land Division Committee
Wellington County Administration Centre
74 Woolwich Street
GUELPH, Ontario N1H 3T9

RECEIVED

APR 23 2021

Attention: Ms. Turchet

**Re: Proposed Consent- 4614 Concession 11
Part of Lot 15, Concession 10, Township of Puslinch**

SECRETARY TREASURER
WELLINGTON COUNTY
LAND DIVISION COMMITTEE

Please find enclosed a completed "Application for Consent" for the above-noted property. Also enclosed is a cheque in the amount of \$4,630.00 payable to the County of Wellington and a cheque payable to the Grand River Conservation Authority in the amount of \$430.00 to cover processing fees. Jeffrey Gordon Born and Vicki Marguerite Dickson purchased the property in 2014. A copy of their deed is attached (WC407328). Also included is a sketch illustrating the proposed severance and a Source Water Protection Screening Form.

The parcel to be severed from this property will have a frontage of 46.37 metres along the west side of Concession 11 and an overall lot area of 0.4039.3 hectares. This parcel is currently vacant. The retained parcel contains a single detached dwelling, a barn that includes 5 animal stalls and storage, a septic system and well. It will have a frontage of 109.85 metres and an overall lot area of 22.07 hectares.

This property is designated Secondary Agricultural in the County's Official Plan and is zoned Agricultural. Both the severed and retained parcels will meet the requirements set out in the Township of Puslinch Zoning By-law, save for the following:

- 1) A minor variance was approved by Puslinch Committee of Adjustment to allow a reduced lot frontage (109 m) for the retained parcel;
- 2) A reduced MDS of 54.8 m for the new lot. A copy of the decision is attached. The County provided the MDS calculation as part of the review of the minor variances.

The proposed severance meets the policies of the County Official Plan. One new lot for residential purposes may be allowed from a parcel of land existing on March 1, 2005, and this application satisfies the following criteria:

- the lot meets a 0.4 ha minimum lot size
- the lot has access to an open public road;
- the residential use is compatible with surrounding development;
- the use is well removed from any settlement area boundary; and
- the lands have been owned by the applicant for at least 5 years.

I have asked the Township to prepare the list of property owners within 60 metres of the application. Should you have any questions, please do not hesitate to call me.

Yours very truly

████████████████████ DONALDSON LIMITED

Nancy Shoemaker, B.A.A., R.P.P.

Attachments
Copy: Jeffrey Gordon Born and Vicki Marguerite Dickson

Surveying | Mapping | GIS
Unit 101- 257 Woodlawn Road West | Guelph | Ontario | N1H 8J1
T: [519] 822-4031 | F: [519] 822-1220
www.jdbarnes.com

Jana Poechman

From: Source Water <sourcewater@centrewellington.ca>
Sent: Tuesday, May 4, 2021 9:31 AM
To: Jana Poechman
Cc: Source Water
Subject: RE: B24-21 - Screening Form
Attachments: WHPA_Map_Concession 11_4614.pdf

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you know the contents to be safe.

Hi Jana,

Thank you for providing the above referenced application for review. Since this property is located in a vulnerable area (wellhead protection area, issues contributing area, intake protection zone etc.), but the activity(ies), as indicated, would not create a significant drinking water threat, the application can be screened out and it does not require a Section 59 notice under the *Clean Water Act*.

I have attached a map showing the property and Wellhead Protection Areas for your reference.

If you have any further questions regarding this application, or in the event of any technical problem with the email or attachments, please contact me.

Emily Vandermeulen | Risk Management Inspector / Source Protection Coordinator

Wellington Source Water Protection | 7444 Wellington Road 21, Elora, ON, N0B 1S0
519.846.9691 x365 | evandermeulen@centrewellington.ca | www.wellingtonwater.ca
Toll free: 1.844.383.9800

Wellington Source Water Protection's offices are located in the Township of Centre Wellington offices. Centre Wellington has moved to a province wide shutdown. All Township facilities are closed for public use however many departments are offering most services electronically and scheduling appointments for services that cannot be delivered remotely. With the proper protocols in place, we are working to deliver services in a timely manner, however, you may still experience some delays or disruptions.

Phones will continue to be answered between the hours of 8:30 a.m. and 4:30 p.m., Monday-Friday at 519-846-9691, general email inquiries can be sent to clerks@centrewellington.ca and service requests such as purchasing of dog tags and burn permits are available online at www.centrewellington.ca/permits.

This is a rapidly evolving situation; discussions and decisions are ongoing. Any changes in operations will be communicated and posted to the Townships website at www.centrewellington.ca/emergencyplanning and our social media platforms, www.facebook.com/CentreWellington and Twitter www.twitter.com/CentrWellington

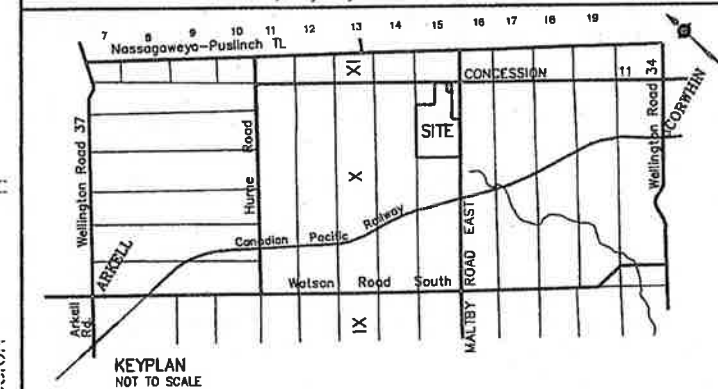
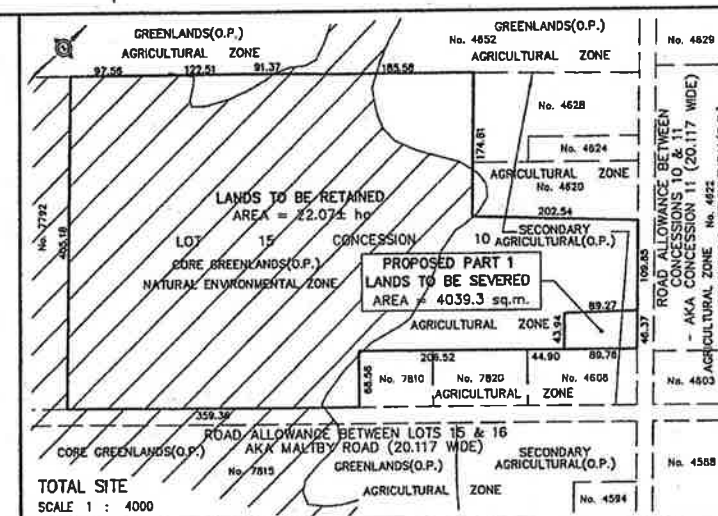
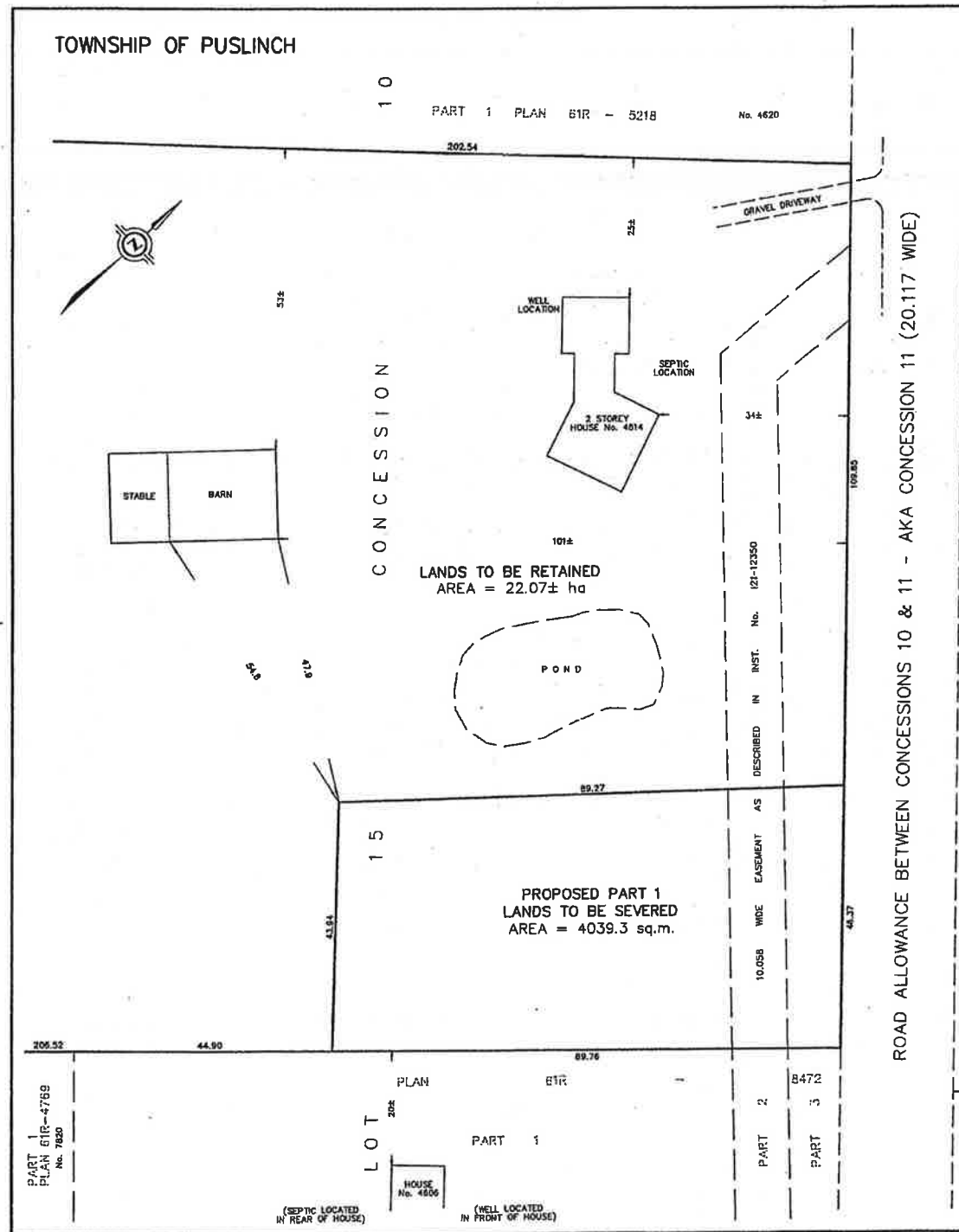
From: Jana Poechman [<mailto:janap@wellington.ca>]
Sent: April 29, 2021 10:52 AM
To: Emily Vandermeulen <EVandermeulen@centrewellington.ca>; Kyle Davis <KDavis@centrewellington.ca>
Cc: Source Water <sourcewater@centrewellington.ca>
Subject: B24-21 - Screening Form

Good Morning.

Please see the attached consent application for your review. We plan to circulate May 13th if possible.

Thanks.
Jana

Jana Poechman
Planning Administrative Clerk
Planning and Development Department
County of Wellington
74 Woolwich Street



PLAN

PREPARED FOR SEVERANCE APPLICATION

SCALE 1 : 500



METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
CAUTION: THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

NOTES

THIS PLAN REPRESENTS A COMPILATION OF VARIOUS PLANS AND DEEDS AND DOES NOT REFLECT THE RESULTS OF AN ACTUAL CURRENT FIELD SURVEY. THE POSITION OF BUILDINGS SHOWN HEREON ARE FROM GIS MAPPING, NOT BY ACTUAL SURVEY.

O.P. DENOTES COUNTY OF WELLINGTON OFFICIAL PLAN

REVISIONS

| NO. | DATE | BY | DESCRIPTION |
|-----|------|----|-------------|
| 1. | | | |
| 2. | | | |

THIS PLAN WAS PREPARED FOR VICKI DICKSON & JEFF BOURNE AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.



ONTARIO LAND SURVEYORS SURVEYING
URBAN & RURAL PLANNERS MAPPING
A wholly owned subsidiary of J.D. Borneo Ltd. Q11

237 WOODLAWN ROAD WEST, UNIT 101, GUELPH, ON N1H1A1
T: (519) 822-4031 F: (519) 822-1220 www.jdborneo.com

BY: [Signature] CHECKED BY: [Signature] REFERENCE NO.: 21-14-369-00
DATE: APRIL 15, 2021

ONTARIO LAND SURVEYOR

PLOTTED: 4/15/2021

FILE: 15-11-14-369-00 (Drawing 15-14-369-00) REV 001/01/01

County of Wellington Planning and Land Division Committee
Deborah Turchet, Secretary-Treasurer
Wellington County Administration Centre
74 Woolwich Street, Guelph ON N1H 3T9

May 14, 2021

NOTICE OF AN APPLICATION FOR CONSENT

Ontario Planning Act, Section 53(4)

The County of Wellington Planning and Land Division Committee requests your written comments on this application for consent.

APPLICATION SUBMITTED ON: May 06, 2021

FILE NO. B31-21

APPLICANT

6580 Wellington Road Inc.
6580 Wellington Rd 34
Cambridge N3C 2V4

LOCATION OF SUBJECT LANDS

Township of Puslinch
Part Lot 4
Concession 3

Proposed severance is 50m fr x 122m = 0.61 hectares, existing agricultural use for proposed rural residential use.

Retained parcel is 21.3 hectares with 100m frontage, existing and proposed agricultural use with existing dwelling, garage and pool.

**IF YOU WISH TO SUBMIT COMMENTS ON THIS APPLICATION,
WE MUST HAVE YOUR WRITTEN COMMENTS BEFORE**

June 30, 2021

Comments can be provided by mail at address above or by email janap@wellington.ca

Please note that if the Comments are not received by the requested date, the Planning and Land Division Committee may proceed to consider the application, and may assume that you have no objection to this Application for Consent.

Please also be advised that if a person or public body that files an appeal of a decision of the County of Wellington Planning and Land Division Committee in respect of the proposed consent has not made written submission to the County of Wellington Planning and Land Division Committee before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

If you wish to be **NOTIFIED OF THE DATE AND TIME OF THE CONSIDERATION** of this application - **please make your request in writing and provide your email address** to the Planning and Land Division Committee before the "Comments Return Date" noted above.

If you wish to be **NOTIFIED OF THE DECISION** of the County of Wellington Planning and Land Division Committee in respect of this proposed consent, **you must make a request in writing** to the County of Wellington Planning and Land Division Committee. This will also entitle you to be advised of a possible Local Planning Appeal Tribunal. Even if you are the successful party, you should request a copy of the decision since the County of Wellington Planning and Land Division Committee's decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the Public.

INFORMATION REGARDING THE APPLICATION is available to the public during regular business hours, Monday to Friday at the County of Wellington Planning and Land Division Office- 74 Woolwich St. Guelph, ON N1H 3T9.
Phone: (519) 837-2600 x2170 Fax: (519) 837-3875

MAILED TO:

Local Municipality – Puslinch

County Planning

Conservation Authority - GRCA

County Engineering

Source Water Protection

Bell Canada (email)

County Clerk

Roads/Solid Waste

Civic Addressing

Neighbour - as per list verified by local municipality and filed by applicant with this application

APPLICATION FOR CONSENT

Ontario Planning Act

1. Approval Authority:

County of Wellington Planning and Land Division Committee
 County of Wellington Administration Centre
 74 Woolwich Street, GUELPH, Ontario N1H 3T9

Phone: 519-837-2600, ext. 2170 or 2160 Fax: 519-837-3875

Required Fee: \$ 4630
 Fee Received: May 6/21

File No. B81-21Accepted as Complete on: May 6/21**A COPY OF YOUR CURRENT DEED MUST BE SUBMITTED WITH THIS APPLICATION**2. (a) Name of Registered Owner(s) 6580 Wellington Road Inc. c/o Shizhen WU (Jane Wu)Address 6580 Wellington Road 34, Cambridge, ON, N3C 2V4

Phone No. [REDACTED]

(b) Name and Address of Applicant (as authorized by Owner) _____

Phone No. _____

Email: _____

(c) Name and Address of Owner's Authorized Agent: _____

Jeff Buisman of Van Harten Surveying Inc.423 Woolwich Street, Guelph, ON, N1H 3X3Phone No. 519-821-2763 x225Email: Jeff.Buisman@vanharten.com(d) All Communication to be directed to:

REGISTERED OWNER []

APPLICANT []

AGENT [X]

(e) Notice Cards Posted by:

REGISTERED OWNER []

APPLICANT []

AGENT [X]

3. Type and Purpose of Proposed Transaction: (Check off appropriate box & provide short explanation)

RURAL RESIDENTIAL[X] AGRICULTURAL[] URBAN RESIDENTIAL[] COMMERCIAL/INDUSTRIAL[]

To create a new lot for rural residential purposesOR

EASEMENT []

RIGHT OF WAY []

CORRECTION OF TITLE []

LEASE []

(a) If known, the name of person to whom the land or an interest in the land is to be transferred, charged or leased.

Future owner is not known

4. (a) Location of Land in the County of Wellington:

Local Municipality: Township of Puslinch

Concession 3

Registered Plan No. _____

Reference Plan No. 61R-2746

Civic Address 6580 Wellington Road 34

Lot No. Part of Lot 4

Lot No. _____

Part No. Parts 1, 2, 3

(b) When was property acquired: May 2014

Registered Instrument No. WC403034

5. Description of Land intended to be SEVERED:

Metric []

Imperial []

Frontage/Width 50 ±

AREA

0.61 ha ±

Depth 122 ±

Existing Use(s)

Agricultural

Existing Buildings or structures: None

Proposed Uses (s): Rural Residential – Proposed Dwelling

Type of access (Check appropriate space)

Existing []

Proposed [X]

[] Provincial Highway

[X] County Road

[] Municipal road, maintained year round

[] Municipal road, seasonally maintained

[] Easement

[] Right-of-way

[] Private road

[] Crown access road

[] Water access

[] Other

Type of water supply - Existing [] Proposed [X] (check appropriate space)

[] Municipally owned and operated piped water system

[X] Well [X] individual [] communal

[] Lake

[] Other

Type of sewage disposal - Existing [] Proposed [X] (check appropriate space)

[] Municipally owned and operated sanitary sewers

[X] Septic Tank (specify whether individual or communal): Individual

[] Pit Privy

[] Other (Specify): _____

6. Description of Land intended to be RETAINED:

Metric ☒

Imperial ☐

Frontage/Width 100 & 9 ±

AREA

21.3 ha ±

Depth 739 ±

Existing Use(s)

Agricultural

Existing Buildings or structures: Dwelling. Garage and Pool

Proposed Uses (s): No Change

Type of access (Check appropriate space)

Existing ☒

Proposed ☐

☐ Provincial Highway

☒ Right-of-way

INST. ROS267183

☒ County Road

☐ Private road

☐ Municipal road, maintained year round

☐ Crown access road

☐ Municipal road, seasonally maintained

☐ Water access

☐ Easement

☐ Other

Type of water supply - Existing ☒ Proposed ☐ (check appropriate space)

☐ Municipally owned and operated piped water system

☒ Well ☒ individual ☐ communal

☐ Lake

☐ Other

Type of sewage disposal - Existing ☒ Proposed ☐ (check appropriate space)

☐ Municipally owned and operated sanitary sewers

☒ Septic Tank (specify whether individual or communal): Individual

☐ Pit Privy

☐ Other (Specify):

7. Is there an agricultural operation, (either a barn, manure storage, abattoir, livestock area or stockyard) within 500 metres of the Subject lands (severed and retained parcels)? YES ☐ NO ☒

*If yes, see sketch requirements and the application must be accompanied by a MINIMUM DISTANCE SEPARATION FORM.

8. Is there a landfill within 500 metres [1640 feet]? YES ☐ NO ☒

9. a) Is there a sewage treatment plant or waste stabilization plant within 500 metres [1640']? YES ☐ NO ☒

10. Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the lands to be retained or to be severed or within 120 metres [394 feet]? YES ☒ NO ☐

11. Is there any portion of the land to be severed or to be retained located within a floodplain? YES ☐ NO ☒

12. Is there a provincial park or are there Crown Lands within 500 metres [1640']? YES ☐ NO ☒

13. Is any portion of the land to be severed or retained within a rehabilitated mine/pit site? YES ☐ NO ☒

14. Is there an active or abandoned mine, quarry or gravel pit within 500 metres [1640']? YES ☐ NO ☒

15. Is there a noxious industrial use within 500 meters [1640']? YES ☐ NO ☒

16. Is there an active or abandoned principal or secondary railway within 500 metres [1640']? YES ☐ NO ☒

Name of Rail Line Company: _____

17. Is there an airport or aircraft landing strip nearby? YES [] NO [X]
18. Is there a propane retail outlet, propane filling tank, cardlock/keylock or private propane outlet/container refill centre within 750 metres of the proposed subject lands? YES [] NO [X]
19. PREVIOUS USE INFORMATION:
- a) Has there been an industrial use(s) on the site? YES [] NO [X] UNKNOWN []
If YES, what was the nature and type of industrial use(s)? _____
- b) Has there been a commercial use(s) on the site? YES [] NO [X] UNKNOWN []
If YES, what was the nature and type of the commercial use(s)? _____
- c) Has fill been brought to and used on the site (other than fill to accommodate septic systems or residential landscaping?) YES [] NO [X] UNKNOWN []
- d) Has there been commercial petroleum or other fuel storage on the site, underground fuel storage, or has the site been used for a gas station at any time, or railway siding? YES [] NO [X] UNKNOWN []
If YES, specify the use and type of fuel(s) _____
20. Is this a **resubmission** of a previous application? YES [] NO [X]
If YES, is it identical [] or changed [] Provide previous File Number _____
21. a) Has any severance activity occurred on the land from the holding which existed as of March 1, 2005 and as registered in the Land Registry/Land Titles Office? YES [] NO [X]
b) If the answer in (a) is YES, please indicate the previous severance(s) on the required sketch and provide: **Transferee's Name, Date of the Transfer and Use of Parcel Transferred.**

22. Has the parcel intended to be severed ever been, or is it now, the subject of an application for a plan of subdivision or other Consent or approval under the Planning Act or its predecessors? YES [] NO [X] UNKNOWN []
23. Under a separate application, is the Owner, applicant, or agent applying for additional consents on this holding simultaneously with this application? YES [] NO [X]
24. Provide explanation of how the application is consistent with the Provincial Policy Statement.
This application is consistent with the PPS as per Section 2.3.3.3 where it states that new land uses, including the creation of lots shall comply with the minimum distance separation formula.
25. In addition to Places to Grow (Provincial Growth Plan), is the subject land within an area of land designated under the Greenbelt Plan? Provide explanation of how the application conforms or does not conflict with the Provincial plan or plans.
There are areas of Natural Heritage System features located on the property however they are outside of the severance area.

26. a) Indicate the existing **County Official Plan** designation(s) of the subject land, and provide explanation of how the application conforms with the Official Plan (severed and retained).

The subject property is designated as Secondary Agricultural, Prime Agricultural, Core Greenlands and Greenlands in the Official Plan. Section 10.4.4 of the Official Plan that states that lot creation for residential uses is permitted in lands designated as Secondary Agricultural provided the criteria is met. (The severed parcel is within Secondary Ag).

- b) Indicate the existing **Local Official Plan** (if any) designation(s) of the subject land, and provide explanation of how the application conforms with the Official Plan (severed and retained).

N/A

- c) If this consent relates directly to an Official Plan Amendment(s) currently under review by an approval authority, please indicate the Amendment Number and the applicable file number(s).

Amendment Number(s): _____ File Number(s): _____

27. Is the subject land a proposed surplus farm dwelling?*

YES [] NO [X]

*If yes, an application to sever a surplus farm dwelling must be accompanied by a FARM INFORMATION FORM.

28. What is the zoning of the subject lands? Agricultural, Natural Environment and Environmental Protection Overlay

29. Does the proposal for the subject lands conform to the existing zoning?

YES [] NO [X]

A minor variance will be applied for pending severance approval for the reduced frontage of the retained.

- If NO, a) has an application been made for re-zoning?

YES [] NO [] File Number _____

- b) has an application been made for a minor variance?

YES [] NO [] File Number _____

30. Are the lands subject to any mortgages, easements, right-of-ways or other charges?

YES [X] NO []

If the answer is YES, please provide a copy of the relevant instrument.

For mortgages just provide complete name and address of Mortgagee.

- Mortgage as in Instrument No. WC403035 with the Royal Bank of Canada located at 6580 County Road 34, Puslinch, ON,
- Right-of-way as in INST ROS267183 for access

Questions 31 – 34 must be answered for Applications for severance in the Rural/Agricultural Area -- Otherwise, if this is not applicable to your application, please state "not Applicable"

31. Type of Farm Operation conducted on these subject lands:

Cash Crop

Type: Dairy [] Beef Cattle [] Swine [] Poultry [] Other [X]

32. Dimensions of Barn(s)/Outbuildings/Sheds (that are to remain) Severed & Retained Lands

| | | | | | | | | |
|-----------------|-------|------------|--------|------------|------|-------------------------|-----|---------------|
| <u>Retained</u> | Width | <u>6±m</u> | Length | <u>6±m</u> | Area | <u>36±m²</u> | Use | <u>Garage</u> |
| | Width | | Length | | Area | | Use | |
| <u>Severed</u> | Width | | Length | | Area | | Use | |
| | Width | | Length | | Area | | Use | |

33. **Manure Storage Facilities** on these lands: **None**

| DRY | | SEMI-SOLID | | LIQUID | |
|--------------|--------------------------|-------------------------|--------------------------|----------------------------|--------------------------|
| Open Pile | <input type="checkbox"/> | Open Pile | <input type="checkbox"/> | Covered Tank | <input type="checkbox"/> |
| Covered Pile | <input type="checkbox"/> | Storage with Buck Walls | <input type="checkbox"/> | Aboveground Uncovered Tank | <input type="checkbox"/> |
| | | | | Belowground Uncovered Tank | <input type="checkbox"/> |
| | | | | Open Earth-sided Pit | <input type="checkbox"/> |

34. Are there any drainage systems on the retained and severed lands?

YES ☐ NO ☒

| Type | Drain Name & Area | Outlet Location |
|--|-------------------|---|
| Municipal Drain <input type="checkbox"/> | | Owner's Lands <input type="checkbox"/> |
| Field Drain <input type="checkbox"/> | | Neighbours Lands <input type="checkbox"/> |
| | | River/Stream <input type="checkbox"/> |

35. **Source Water Protection Plan**

Is the subject land within a Wellhead Protection Area, Issue Contributing Area, or Intake Protection Zone of a Source Protection Plan in effect?

YES ☒ NO ☐

If YES, please complete the Source Water Protection Form and submit with your application.

36. Have you had a pre-consultation meeting with County Planning Staff before filling out this application form?

YES ☐ NO ☒

If yes, please indicate the person you have met/spoken to:

37. If you wish to provide some further information that may assist the Planning and Land Division Committee in evaluating your application, please provide by a letter and attach it to this application.

Please see covering letter.

NOTES:

1. One original completed application and two original sketches must be filed with the County of Wellington Planning and Land Division office. If original sketch is larger than 11" x 17", 8 additional copies are required plus one sketch reduced to a size of 11" x 17" (or smaller) for office photocopying and circulation to neighbours. Facsimile documents are not acceptable for reasons of the necessity of good photocopying.
2. The location of the lands (severed & retained) which are the subject of the application must also be shown on the Surveyor's sketch or on an attached "Key Map" and included with the application.
3. Since the filing fee for applications for consent change from time to time, please contact the Planning and Land Division office for current fee information. This fee may be paid in cash or by cheque payable to the County of Wellington.
4. Additional information about the process, about any particular application or obtaining application forms may be obtained by attending at the County of Wellington Administration Centre, 74 Woolwich Street, Guelph Ontario N1H 3T9, by telephone at 519-837-2600, ext. 2160 or 2170; or by facsimile (fax) at 519-837-3875.
5. Generally, regular severance application forms are also available at the local municipal office.

OWNER'S AUTHORIZATION:

21770-13

The Owner must complete the following to authorize applicant, agent or solicitor to act on their behalf.

NOTE: If more than one owner is listed in item #2 of this application, then all owners must sign this authorization section of the application form or by a letter of authorization duly signed.

If the Owner is a corporation, the authorization must be by an officer of the corporation who has authority to bind the corporation.

I, (we), 6580 Wellington Road Inc. c/o Jane Wu the Registered Owners of
Part of Lot 4, Concession 3, Parts 1 to 3, 61R-2746 Of the Township of Puslinch in the
County/Region of Wellington severally and jointly, solemnly declare that
Jeffrey E. Buisman, OLS, of Van Harten Surveying Inc.

Is authorized to submit an application for consent on my (our) behalf.

X

[Redacted Signature]
Signature of Registered Owner(s) or Corporation's Officer

APPLICANT'S DECLARATION

This must be completed by the Applicant for the proposed consent

I, (we) Jeffrey E. Buisman, OLS, of Van Harten Surveying Inc. of the
City of Guelph In the County/Region of
Wellington Solemnly declare that all

the statements contained in this application for consent for (property description) _____
Part of Lot 4, Concession 3, Parts 1 to 3, 61R-2746 Of the Township of Puslinch

And all the supporting documents are true, and I, (we), make this solemn declaration conscientiously believing it to be true and complete, and knowing that it is of the same force and effect as if made under oath, and virtue of the CANADA EVIDENCE ACT.

DECLARED before me at the

City Of _____
Guelph In the

County/Region of Wellington

This 5 day of May 20 21

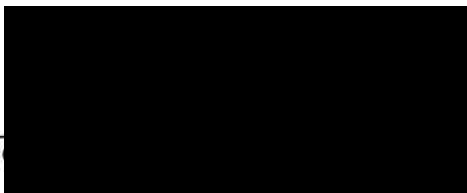
(Owner or Applicant)

[Redacted Signature]
James Michael Laws,
a Commissioner, etc.,
Province of Ontario.
for Van Harten Surveying Inc.
Exp Printed Commissioner's, etc. Name

APPLICANT'S CONSENT (FREEDOM OF INFORMATION):

In accordance with the provisions of the Planning Act, it is the policy of the County Planning and Development Department to provide public access to all development applications and supporting documentation. In submitting this development application and supporting documentation, I, Jeff Buisman of Van Harten Surveying Inc., the applicant, hereby acknowledge the above-noted and provide my consent in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act that the information on this application and any supporting documentation provided by myself, my agents, solicitors, and consultants will be part of the public record and will also be available to the general public.

Signature of



Date

May 5, 2021

THIS APPLICATION PACKAGE IS TO BE SUBMITTED TO:

Secretary-Treasurer
Planning and Development Department
County of Wellington
74 Woolwich Street
Guelph, Ontario
N1H 3T9

Phone (519) 837-2600 Ext. 2160

Jana Poechman

From: Emily Vandermeulen <EVandermeulen@centrewellington.ca>
Sent: Thursday, May 13, 2021 7:46 AM
To: Jana Poechman; Kyle Davis
Cc: Source Water
Subject: RE: B31-21 - SW Screening Form
Attachments: WHPA_Map_Wellington34_6580.pdf

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you know the contents to be safe.

Hi Jana,

Thank you for providing the above referenced application for review. Since this property is located in a vulnerable area (wellhead protection area, issues contributing area, intake protection zone etc.), but the activity(ies), as indicated, would not create a significant drinking water threat, the application can be screened out and it does not require a Section 59 notice under the *Clean Water Act*.

I have attached a map showing the property and Wellhead Protection Areas for your reference.

If you have any further questions regarding this application, or in the event of any technical problem with the email or attachments, please contact me.

Emily Vandermeulen | Risk Management Inspector / Source Protection Coordinator

Wellington Source Water Protection | 7444 Wellington Road 21, Elora, ON, N0B 1S0
519.846.9691 x365 | evandermeulen@centrewellington.ca | www.wellingtonwater.ca
Toll free: 1.844.383.9800

Wellington Source Water Protection's offices are located in the Township of Centre Wellington offices. Centre Wellington has moved to a province wide shutdown. All Township facilities are closed for public use however many departments are offering most services electronically and scheduling appointments for services that cannot be delivered remotely. With the proper protocols in place, we are working to deliver services in a timely manner, however, you may still experience some delays or disruptions.

Phones will continue to be answered between the hours of 8:30 a.m. and 4:30 p.m., Monday-Friday at 519-846-9691, general email inquiries can be sent to clerks@centrewellington.ca and service requests such as purchasing of dog tags and burn permits are available online at www.centrewellington.ca/permits.

This is a rapidly evolving situation; discussions and decisions are ongoing. Any changes in operations will be communicated and posted to the Townships website at www.centrewellington.ca/emergencyplanning and our social media platforms, www.facebook.com/CentreWellington and Twitter www.twitter.com/CentrWellington

From: Jana Poechman [<mailto:janap@wellington.ca>]
Sent: May 7, 2021 11:40 AM
To: Emily Vandermeulen <EVandermeulen@centrewellington.ca>; Kyle Davis <KDavis@centrewellington.ca>
Cc: Source Water <sourcewater@centrewellington.ca>
Subject: B31-21 - SW Screening Form

Hi guys.

Here is another consent application for our May 13th circulation.

Thanks.
Jana

Jana Poechman
Planning Administrative Clerk
Planning and Development Department
County of Wellington
74 Woolwich Street
Guelph ON N1H 3T9



May 5, 2021

21770-13

Jeff.Buisman@vanharten.com

County of Wellington Land Division Committee
74 Woolwich Street
Guelph, Ontario
N1H 3T9

Attention: Deborah Turchet

Dear Ms. Turchet:

**Re: Severance Application & Sketch
6580 Wellington County Road 34
Part of Lot 4, Concession 3
Parts 1-3, 61R-2746
PIN 71211-0052
Township of Puslinch**

RECEIVED

MAY 06 2021

SECRETARY TREASURER
WELLINGTON COUNTY
LAND DIVISION COMMITTEE

Please find enclosed an application for a severance on the above-mentioned property. Included with this submission are copies of the severance sketch, completed application form, PIN Report and Map, the required deed, addresses of neighbouring properties, Source Water Protection Form, a cheque to the GRCA for \$430.00 and a cheque to Wellington County for \$4,630.00.

Proposal

The proposal is to create a new rural residential parcel along Wellington Road No. 34 with a frontage of 50±m, depth of 122±m, for an area of 0.61±ha where a dwelling is proposed. The severed parcel was configured to be at least 35m away from the wetland feature at the front of the retained parcel. The parcel has been evaluated and safe entrance is possible.

The retained parcel (known as 6580 Wellington Road 34) has a frontage of 109±m, depth of 739±m for an area of 21.3±ha where the existing dwelling, garage and pool will remain. The retained parcel has a frontage of 109±m which is under the minimum frontage Zoning requirement of 120m; however, a minor variance will be applied for to address this slight deficiency. The entrance exists and the safe access will continue to be maintained.

The subject property is zoned Agricultural and the Reduced Lot Requirements listed in Table 11.3 of the Zoning By-law will be met for the Severed Parcel. The Zoning requirements are met for the Retained Parcel other than the frontage.

572 Weber Street North, Unit 7
Waterloo ON N2L 5C6
519-742-8371

Elmira, ON:
519-669-5070

423 Woolwich Street
Guelph, ON N1H 3X3
519-821-2763

660 Riddell Road, Unit 1
Orangeville, ON L9W 5G5
519-940-4110

Collingwood, ON:
249-499-8359

www.vanharten.com

R.P. Magahay, B.A. J.E. Buisman, B.E.S., B.Sc., O.L.S. R.M. Mak, B.Sc., O.L.S. J.M. Laws, B.Sc., O.L.S. J.M. Duffy, P.Eng.

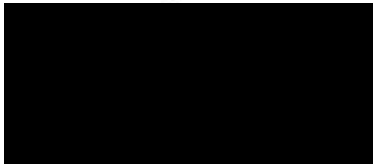
The parcel has a designation of Secondary Agricultural and Prime Agricultural in the County of Wellington Official Plan; however, the area to be Severed is within the Secondary Agricultural portion which allows for a severance, provided that certain criteria (Section 10.4.4) are met. We reviewed this section, and we provide the opinion that the relevant criteria are met including the following:

- The severed lands are designated Secondary Agricultural.
- Ownership is longer than 5 years.
- No severance since March 2005.
- Safe entrance is available – sight lines have been evaluated.
- Adequate space for new dwelling and septic.
- No impacts on environmentally sensitive lands or woodlot
- MDS requirements are met.

In summary this severance is very practical and follows the relevant criteria for a severance.

Please call me if you or the Planning Staff have any questions.

Very truly yours,
Van Harten Surveying Inc.



Jeffrey E. Buisman B.E.S., B.Sc.
Ontario Land Surveyor

cc Jane Wu

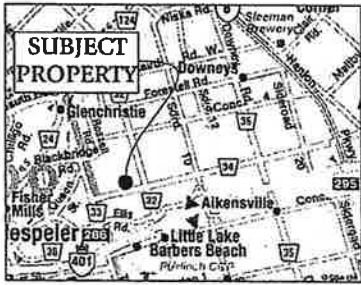
SEVERANCE SKETCH
PART OF LOT 4, CONCESSION 3
TOWNSHIP OF PUSLINCH
COUNTY OF WELLINGTON

SCALE 1 : 3000

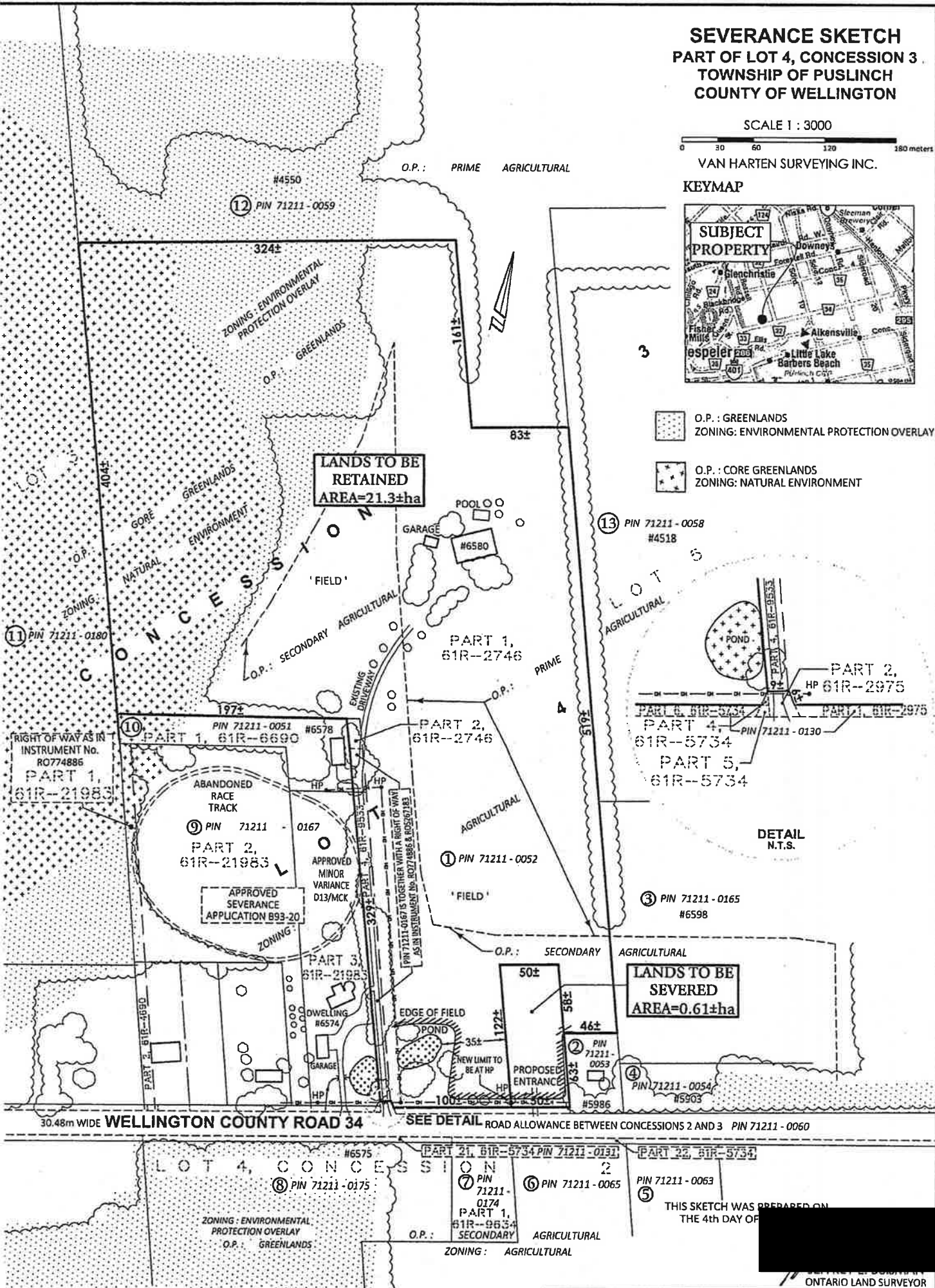


VAN HARTEN SURVEYING INC.

KEYMAP



- O.P. : GREENLANDS
ZONING: ENVIRONMENTAL PROTECTION OVERLAY
- O.P. : CORE GREENLANDS
ZONING: NATURAL ENVIRONMENT



- NOTES:
1. THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE USED FOR REAL ESTATE TRANSFERS OR MORTGAGES.
 2. SUBJECT LANDS ARE ZONED AGRICULTURAL, NATURAL ENVIRONMENT & ENVIRONMENTAL PROTECTION OVERLAY.
 3. SUBJECT LANDS HAVE AN OFFICIAL PLAN DESIGNATION OF SECONDARY AGRICULTURAL, PRIME AGRICULTURAL, CORE GREENLANDS & GREENLANDS.
 4. DISTANCES ON THIS PLAN ARE SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
 5. DIMENSIONS ON THIS SKETCH ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED BY SURVEY.
 6. SEE ATTACHED LIST OF NAMES AND ADDRESSES OF OWNERS.



Van Harten
SURVEYING INC.
LAND SURVEYORS and ENGINEERS

| | | |
|--|----------------------------|---------------------------------|
| Kitchener/Waterloo Ph: 519-742-8371 | Guelph Ph: 519-821-2763 | Orangeville Ph: 519-940-4110 |
|--|----------------------------|---------------------------------|

www.vanharten.cominfo@vanharten.com

| | | |
|---------------|-----------------|----------------------|
| DRAWN BY: ARN | CHECKED BY: JEB | PROJECT No. 21770-13 |
|---------------|-----------------|----------------------|

May 4, 2021 3:00:06 PM

2012/1

County of Wellington Planning and Land Division Committee
Deborah Turchet, Secretary-Treasurer
Wellington County Administration Centre
74 Woolwich Street, Guelph ON N1H 3T9

May 14, 2021

NOTICE OF AN APPLICATION FOR CONSENT

Ontario Planning Act, Section 53(4)

The County of Wellington Planning and Land Division Committee requests your written comments on this application for consent.

APPLICATION SUBMITTED ON: May 07, 2021

FILE NO. B37-21

APPLICANT

William & Lisa Hamilton
4674 Watson Rd S
Puslinch N0B 2C0

LOCATION OF SUBJECT LANDS

Township of Puslinch
Part Lot 13
Concession 9

Proposed severance is 0.9 hectares with 100m frontage (severed 1 on sketch), vacant land for proposed rural residential use.

Retained parcel is 11.7 hectares with 168m frontage, existing and proposed agricultural use (retained 1 on sketch)

**IF YOU WISH TO SUBMIT COMMENTS ON THIS APPLICATION,
WE MUST HAVE YOUR WRITTEN COMMENTS BEFORE**

June 30, 2021

Comments can be provided by mail at address above or by email janap@wellington.ca

Please note that if the Comments are not received by the requested date, the Planning and Land Division Committee may proceed to consider the application, and may assume that you have no objection to this Application for Consent.

Please also be advised that if a person or public body that files an appeal of a decision of the County of Wellington Planning and Land Division Committee in respect of the proposed consent has not made written submission to the County of Wellington Planning and Land Division Committee before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

If you wish to be **NOTIFIED OF THE DATE AND TIME OF THE CONSIDERATION** of this application - **please make your request in writing and provide your email address** to the Planning and Land Division Committee before the "Comments Return Date" noted above.

If you wish to be **NOTIFIED OF THE DECISION** of the County of Wellington Planning and Land Division Committee in respect of this proposed consent, **you must make a request in writing** to the County of Wellington Planning and Land Division Committee. This will also entitle you to be advised of a possible Local Planning Appeal Tribunal. Even if you are the successful party, you should request a copy of the decision since the County of Wellington Planning and Land Division Committee's decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the Public.

INFORMATION REGARDING THE APPLICATION is available to the public during regular business hours, Monday to Friday at the County of Wellington Planning and Land Division Office- 74 Woolwich St. Guelph, ON N1H 3T9.
Phone: (519) 837-2600 x2170 Fax: (519) 837-3875

MAILED TO:

Local Municipality – Puslinch

County Planning

Conservation Authority - GRCA

Source Water Protection

Bell Canada (email)

County Clerk

Roads/Solid Waste

Civic Addressing

Neighbour - as per list verified by local municipality and filed by applicant with this application

APPLICATION FOR CONSENT

Ontario Planning Act

1. Approval Authority:

County of Wellington Planning and Land Division Committee
County of Wellington Administration Centre
74 Woolwich Street, GUELPH, Ontario N1H 3T9

Phone: 519-837-2600, ext. 2170 or 2160 Fax: 519-837-3875

Required Fee: \$

Fee Received:

File No.

Accepted as Complete on:

A COPY OF YOUR CURRENT DEED MUST BE SUBMITTED WITH THIS APPLICATION2. (a) Name of Registered Owner(s) William Harvey HAMILTON & Lisa Anne HAMILTONAddress 4674 Watson Road South, Puslinch, ON, N0B 2C0

Phone

(b) Name and Address of Applicant (as authorized by Owner)

Phone No.

Email:

(c) Name and Address of Owner's Authorized Agent:

Jeff Buisman of Van Harten Surveying Inc.423 Woolwich Street, Guelph, ON, N1H 3X3Phone No. 519-821-2763 x225Email: Jeff.Buisman@vanharten.com(d) All Communication to be directed to:

REGISTERED OWNER []

APPLICANT []

AGENT [X]

(e) Notice Cards Posted by:

REGISTERED OWNER []

APPLICANT []

AGENT [X]

3. Type and Purpose of Proposed Transaction: (Check off appropriate box & provide short explanation)

RURAL RESIDENTIAL[X] AGRICULTURAL[] URBAN RESIDENTIAL[] COMMERCIAL/INDUSTRIAL[]

To create a new lot for rural residential purposesOR

EASEMENT []

RIGHT OF WAY []

CORRECTION OF TITLE []

LEASE []

(a) If known, the name of person to whom the land or an interest in the land is to be transferred, charged or leased.

Future owner is not known

4. (a) Location of Land in the County of Wellington:

Local Municipality: Township of Puslinch

Concession 9

Lot No. Part of Lot 13

Registered Plan No. _____

Lot No. _____

Reference Plan No. _____

Part No. _____

Civic Address 4674 Watson Road South

(b) When was property acquired: August 2016

Registered Instrument No. WC476841

5. Description of Land intended to be SEVERED:

Metric []

Imperial []

Frontage/Width 100 / 102 ±

AREA

0.9 ha ±

Depth 111 / 80 ±

Existing Use(s)

Vacant Land

Existing Buildings or structures: None

Proposed Uses (s): Proposed Dwelling

Type of access (Check appropriate space)

Existing []

Proposed [X]

- [] Provincial Highway
[] County Road
[X] Municipal road, maintained year round
[] Municipal road, seasonally maintained
[] Easement

- [] Right-of-way
[] Private road
[] Crown access road
[] Water access
[] Other

Type of water supply - Existing [] Proposed [X] (check appropriate space)

- [] Municipally owned and operated piped water system
[X] Well [X] individual [] communal
[] Lake
[] Other

Type of sewage disposal - Existing [] Proposed [X] (check appropriate space)

- [] Municipally owned and operated sanitary sewers
[X] Septic Tank (specify whether individual or communal): Individual
[] Pit Privy
[] Other (Specify):

6. Description of Land intended to be RETAINED:
Metric [X] Imperial []
Frontage/Width 105 & 63 / 395 ± AREA 11.7 ha ±
Depth 352 ± Existing Use(s) Agricultural
Existing Buildings or structures: None
Proposed Uses (s): No Change

| Type of access (Check appropriate space) | Existing [X] | Proposed [] |
|---|---|--------------|
| <input type="checkbox"/> Provincial Highway | <input checked="" type="checkbox"/> Right-of-way <u>INST No. MS107143</u> | |
| <input type="checkbox"/> County Road | <input type="checkbox"/> Private road | |
| <input checked="" type="checkbox"/> Municipal road, maintained year round | <input type="checkbox"/> Crown access road | |
| <input type="checkbox"/> Municipal road, seasonally maintained | <input type="checkbox"/> Water access | |
| <input type="checkbox"/> Easement | <input type="checkbox"/> Other | |

Type of water supply - Existing [] Proposed [] (check appropriate space)

☐ Municipally owned and operated piped water system
☐ Well ☐ individual ☐ communal
☐ Lake
☒ Other Not required for agricultural use

Type of sewage disposal - Existing [] Proposed [X] (check appropriate space)

☐ Municipally owned and operated sanitary sewers
☐ Septic Tank (specify whether individual or communal):
☐ Pit Privy
☒ Other (Specify): Not required for agricultural use

7. Is there an agricultural operation, (either a barn, manure storage, abattoir, livestock area or stockyard) within 500 metres of the Subject lands (severed and retained parcels)? YES [X] NO []
*If yes, see sketch requirements and the application must be accompanied by a MINIMUM DISTANCE SEPARATION FORM.

8. Is there a landfill within 500 metres [1640 feet]? YES [] NO [X]

9. a) Is there a sewage treatment plant or waste stabilization plant within 500 metres [1640']? YES [] NO [X]

10. Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the lands to be retained or to be severed or within 120 metres [394 feet]? YES [X] NO []

11. Is there any portion of the land to be severed or to be retained located within a floodplain? YES [] NO [X]

12. Is there a provincial park or are there Crown Lands within 500 metres [1640']? YES [] NO [X]

13. Is any portion of the land to be severed or retained within a rehabilitated mine/pit site? YES [] NO [X]

14. Is there an active or abandoned mine, quarry or gravel pit within 500 metres [1640']? YES [] NO [X]

15. Is there a noxious industrial use within 500 meters [1640']? YES [] NO [X]

16. Is there an active or abandoned principal or secondary railway within 500 metres [1640']? YES [] NO [X]

Name of Rail Line Company: _____

17. Is there an airport or aircraft landing strip nearby? YES [] NO [X]

18. Is there a propane retail outlet, propane filling tank, cardlock/keylock or private propane outlet/container refill centre within 750 metres of the proposed subject lands? YES [] NO [X]

19. PREVIOUS USE INFORMATION:

a) Has there been an industrial use(s) on the site? YES [] NO [X] UNKNOWN []

If YES, what was the nature and type of industrial use(s)?

b) Has there been a commercial use(s) on the site? YES [] NO [X] UNKNOWN []

If YES, what was the nature and type of the commercial use(s)

c) Has fill been brought to and used on the site (other than fill to accommodate septic systems or residential landscaping?) YES [] NO [X] UNKNOWN []

d) Has there been commercial petroleum or other fuel storage on the site, underground fuel storage, or has the site been used for a gas station at any time, or railway siding? YES [] NO [X] UNKNOWN []

If YES, specify the use and type of fuel(s)

20. Is this a **resubmission** of a previous application? YES [] NO [X]

If YES, is it identical [] or changed [] Provide previous File Number

21. a) Has any severance activity occurred on the land from the holding which existed as of March 1, 2005 and as registered in the Land Registry/Land Titles Office? YES [] NO [X]

b) If the answer in (a) is YES, please indicate the previous severance(s) on the required sketch and provide: **Transferee's Name, Date of the Transfer and Use of Parcel Transferred.**

22. Has the parcel intended to be severed ever been, or is it now, the subject of an application for a plan of subdivision or other Consent or approval under the Planning Act or its predecessors?

YES [] NO [X] UNKNOWN []

23. Under a separate application, is the Owner, applicant, or agent applying for additional consents on this holding simultaneously with this application? YES [X] NO []

A lot line adjustment application is being submitted simultaneously

24. Provide explanation of how the application is consistent with the Provincial Policy Statement.

This application is consistent with the PPS as per Section 2.3.3.3 where it states that new land uses, including the creation of lots shall comply with the minimum distance separation formula. A minor variance will be applied for to meet the MDS to the barn across the road.

25. In addition to Places to Grow (Provincial Growth Plan), is the subject land within an area of land designated under the Greenbelt Plan? Provide explanation of how the application conforms or does not conflict with the Provincial plan or plans.

The Natural Heritage System mapping indicates that there is a small portion of wetland features on the subject property, however the new boundary limits are well outside of the natural features area and the area will not be disturbed.

26. a) Indicate the existing **County Official Plan** designation(s) of the subject land, and provide explanation of how the application conforms with the Official Plan (severed and retained).

The subject property is designated as Secondary Agricultural, Core Greenlands, Greenlands and Earth Science ANSI in the Official Plan. Section 10.4.4 of the Official Plan that states that lot creation for residential uses is permitted in lands designated as Secondary Agricultural provided the criteria is met.

b) Indicate the existing **Local Official Plan** (if any) designation(s) of the subject land, and provide explanation of how the application conforms with the Official Plan (severed and retained).

N/A

c) If this consent relates directly to an Official Plan Amendment(s) currently under review by an approval authority, please indicate the Amendment Number and the applicable file number(s).

Amendment Number(s): _____ File Number(s): _____

27. Is the subject land a proposed surplus farm dwelling?* YES [] NO [X]

*If yes, an application to sever a surplus farm dwelling must be accompanied by a FARM INFORMATION FORM.

28. What is the zoning of the subject lands? Agricultural, Natural Environment and Environmental Protection Overlay

29. Does the proposal for the subject lands conform to the existing zoning? YES [X] NO []

If NO, a) has an application been made for re-zoning?
YES [] NO [] File Number _____

b) has an application been made for a minor variance?
YES [] NO [] File Number _____

30. Are the lands subject to any mortgages, easements, right-of-ways or other charges? YES [X] NO []

If the answer is YES, please provide a copy of the relevant instrument.
For mortgages just provide complete name and address of Mortgagee.

- Mortgage as in INST No. WC572986 with the Royal Bank of Canada located at 10 York Mills Road, 3rd Floor, Toronto, ON, M2P 0A2
- Right of Way as in INST No. MS107143 over PIN 71187-0067 in favour of PIN 71187-0060

Questions 31 – 34 must be answered for Applications for severance in the Rural/Agricultural Area -- Otherwise, if this is not applicable to your application, please state “not Applicable”

31. Type of Farm Operation conducted on these subject lands: None

Type: Dairy [] Beef Cattle [] Swine [] Poultry [] Other []

32. Dimensions of Barn(s)/Outbuildings/Sheds (that are to remain) Severed & Retained Lands None

| | | | | |
|-----------------|-------|--------|------|-----|
| <u>Retained</u> | Width | Length | Area | Use |
| | Width | Length | Area | Use |
| <u>Severed</u> | Width | Length | Area | Use |
| | Width | Length | Area | Use |

33. **Manure Storage Facilities** on these lands: None

| DRY | SEMI-SOLID | LIQUID |
|------------------|-----------------------------|--------------------------------|
| Open Pile [] | Open Pile [] | Covered Tank [] |
| Covered Pile [] | Storage with Buck Walls [] | Aboveground Uncovered Tank [] |
| | | Belowground Uncovered Tank [] |
| | | Open Earth-sided Pit [] |

34. Are there any drainage systems on the retained and severed lands? YES [] NO [X]

| Type | Drain Name & Area | Outlet Location |
|---------------------|-------------------|----------------------|
| Municipal Drain [] | | Owner's Lands [] |
| Field Drain [] | | Neighbours Lands [] |
| | | River/Stream [] |

35. **Source Water Protection Plan**

Is the subject land within a Wellhead Protection Area, Issue Contributing Area, or Intake Protection Zone of a Source Protection Plan in effect? YES [X] NO []

If YES, please complete the Source Water Protection Form and submit with your application.

36. Have you had a pre-consultation meeting with County Planning Staff before filling out this application form?

YES [X] NO []

If yes, please indicate the person you have met/spoken to: Meagan Ferris

37. **If you wish to provide some further information** that may assist the Planning and Land Division Committee in evaluating your application, please provide by a letter and attach it to this application.

Please see covering letter.

NOTES:

1. **One original completed application and two original sketches must be filed with the County of Wellington Planning and Land Division office.** If original sketch is larger than 11" x 17", 8 additional copies are required plus one sketch reduced to a size of 11" x 17" (or smaller) for office photocopying and circulation to neighbours. Facsimile documents are not acceptable for reasons of the necessity of good photocopying.
2. The location of the lands (severed & retained) which are the subject of the application must also be shown on the Surveyor's sketch or on an attached "Key Map" and included with the application.
3. Since the filing fee for applications for consent change from time to time, please contact the Planning and Land Division office for current fee information. This fee may be paid in cash or by cheque payable to the County of Wellington.
4. Additional information about the process, about any particular application or obtaining application forms may be obtained by attending at the County of Wellington Administration Centre, 74 Woolwich Street, Guelph Ontario N1H 3T9, by telephone at 519-837-2600, ext. 2160 or 2170; or by facsimile (fax) at 519-837-3875.
5. Generally, regular severance application forms are also available at the local municipal office.

OWNER'S AUTHORIZATION:

The Owner must complete the following to authorize applicant, agent or solicitor to act on their behalf.

NOTE: If more than one owner is listed in item #2 of this application, then all owners must sign this authorization section of the application form or by a letter of authorization duly signed.

If the Owner is a corporation, the authorization must be by an officer of the corporation who has authority to bind the corporation.

I, (we), William Harvey HAMILTON & Lisa Anne HAMILTON the Registered Owners of

Part of Lot 13, Concession 9, as in INST MS90099 Of the Township of Puslinch in the

County/Region of Wellington severally and jointly, solemnly declare that

Jeffrey E. Buisman, OLS, of Van Harten Surveying Inc.

Corporation's Officer

APPLICANT'S DECLARATION

This must be completed by the Applicant for the proposed consent

I, (we) Jeffrey E. Buisman, OLS, of Van Harten Surveying Inc. of the

City of Guelph In the County/Region of

Wellington Solemnly declare that all

the statements contained in this application for consent for (property description) _____

Part of Lot 13, Concession 9, as in INST MS90099 Of the Township of Puslinch

And all the supporting documents are true, and I, (we), make this solemn declaration conscientiously believing it to be true and complete, and knowing that it is of the same force and effect as if made under oath, and virtue of the CANADA EVIDENCE ACT.

DECLARED before me at the

City Of

Guelph In the

County/Region of Wellington

This 6 day of May, 20 21

(Owner or Applicant)

James Michael Laws,
a Commissioner, etc.,

Province of Ontario,
Printed Commissioner's, etc. Name
for Van Harten Surveying Inc.
Expires May 11, 2021.

County of Wellington

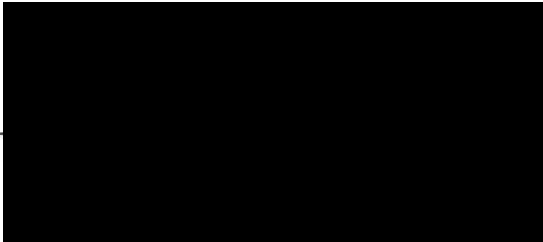
LAND DIVISION FORM – SEVERANCE

Revised April 2018

APPLICANT'S CONSENT (FREEDOM OF INFORMATION):

In accordance with the provisions of the Planning Act, it is the policy of the County Planning and Development Department to provide public access to all development applications and supporting documentation. In submitting this development application and supporting documentation, I, Jeff Buisman of Van Harten Surveying Inc., the applicant, hereby acknowledge the above-noted and provide my consent in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act that the information on this application and any supporting documentation provided by myself, my agents, solicitors, and consultants will be part of the public record and will also be available to the general public.

Signature



Date

May 6, 2021

THIS APPLICATION PACKAGE IS TO BE SUBMITTED TO:

**Secretary-Treasurer
Planning and Development Department
County of Wellington
74 Woolwich Street
Guelph, Ontario
N1H 3T9**

Phone (519) 837-2600 Ext. 2160



FARM DATA SHEET
Minimum Distance Separation I (MDSI)
County of Wellington

NOTE TO FARM OWNER(S)
By filling out this form you will help to ensure that new land uses will be located a suitable distance from your livestock operation. Feel free to contact the County Planning office with any questions.

Owner(s) of Livestock Facility Allan McFee

Contact Information [Redacted]

Email [Redacted]

Civic Address 4147 + 1/2 Wilson Road S Municipality Rimrock

Lot 13 Concession 10 Division

Lot Size (where livestock facility is located) 12 hectares acres

Signature of Livestock Facility Owner [Redacted] Date June 28/17

BARN(S) SIZE Please provide the size of the barns located on the property. This information is used to verify maximum livestock capacity. ft²/m² ft²/m²

- Manure Storage Types** Solid manure: 18% dry matter, or more Liquid manure: <18% dry matter
- | | | | |
|----|---|----|--|
| V1 | Solid, inside, bedded pack | L1 | Solid, outside, no cover, 18%- <30% dry matter, with uncovered liquid runoff storage |
| V2 | Solid, outside, covered | L2 | Liquid, outside, with a permanent floating cover |
| V3 | Solid, outside, no cover, ≥30% dry matter | M1 | Liquid, outside, no cover, straight-walled storage |
| V4 | Solid, outside, no cover, 18% - <30% dry matter, with covered liquid runoff storage | M2 | Liquid, outside, roof, but with open sides |
| V5 | Liquid, Inside, underneath slatted floor | H1 | Liquid, outside, no cover, sloped-sided storage |
| V6 | Liquid, outside, with a permanent, tight-fitting cover | | |

| Animal Type of Material | Description | Housing Capacity (maximum) | Manure Storage Type (select from list) |
|-------------------------|--|----------------------------|--|
| Beef Cattle | Cows, including calves to weaning (all breeds) | | |
| | Feeders (7 – 16 months) | | |
| | Backgrounders (7 – 12.5 months) | | |
| | Shortkeepers (12.5 – 17.5 months) | | |
| Dairy Cattle | Milking-age cows (dry or milking) | | |
| | Large-framed; 545 – 658 kg (e.g. Holsteins) | | |
| | Medium-framed; 455 – 545 kg (e.g. Guernseys) | | |
| | Small-framed; 364 – 455 kg (e.g. Jerseys) | | |
| | Hifers (5 months to freshening) | | |
| | Large-framed; 182 – 545 kg (e.g. Holsteins) | | |
| | Medium-framed; 148 – 455 kg (e.g. Guernseys) | | |
| | Small-framed; 125 – 364 kg (e.g. Jerseys) | | |
| | Calves (0 – 5 months) | | |
| | Large-framed; 45 – 182 kg (e.g. Holsteins) | | |
| Horses | Medium-framed; 39 – 148 kg (e.g. Guernseys) | | |
| | Small-framed; 30 – 125 kg (e.g. Jerseys) | | |
| | Large-framed, mature; >681 kg (e.g. draft or draft cross breeds including unweaned offspring) | | |
| | Medium-framed, mature; 227 – 680 kg (e.g. saddle, riding and racing breeds including unweaned offspring) | 11 | V3 |
| | Small-framed, mature; <227 kg (e.g. ponies and miniatures including unweaned offspring) | | |

FARM DATA SHEET (continued)
Minimum Distance Separation I (MDSI)

County of Wellington

| Animal Type of Material | Description | Housing Capacity (maximum) | Manure Storage Type (select from list) |
|----------------------------|--|----------------------------|--|
| Swine | Sows with litter, dry sows or boars | | |
| | Breeder gilts (entire barn designed specifically for this purpose) | | |
| | Weaners (7 – 27 kg) | | |
| | Feeders (27 – 136 kg) | | |
| Sheep | Ewes & rams (for meat lambs; includes unweaned offspring & replacements) | | |
| | Ewes & rams (dairy operation; includes unweaned offspring & replacements) | | |
| | Lambs (dairy or feeder lambs) | | |
| Goats | Does & bucks (for meat kids; includes unweaned offspring and replacements) | | |
| | Does & bucks (for dairy; includes unweaned offspring & replacements) | | |
| | Kids (dairy or feeder kids) | | |
| Chickens | Layer hens (for eating eggs; after transfer from pullet barn) | | |
| | Layer pullets (day-olds until transferred into layer barn) | | |
| | Broiler breeder growers (males/females transferred out to layer barn) | | |
| | Broiler breeder layers (males/females transferred in from grower barn) | | |
| | Broilers on any length of cycle | | |
| Turkeys | Turkey poults (day-old until transferred to grow out turkey barn) | | |
| | Turkey breeder layers (males/females transferred in from grower barn) | | |
| | Breeder toms | | |
| | Broilers (day-olds to 6.2 kg) | | |
| | Hens (day-olds up to 6.2 to 10.8 kg; 7.5 kg is typical) | | |
| | Toms (day-olds to over 10.8 to 20 kg; 14.5 kg is typical) | | |
| | Turkeys at any other weights, or if unknown (by floor area) | | |
| Veal | Milk-fed | | |
| | Grain-fed | | |
| Other | Please refer to Factor Table 1 of The Minimum Distance Separation (MDS) Document for complete list of animal types | | |
| | | | |
| | | | |
| Imported manure | Use the volume of the manure storages | | |
| Unoccupied livestock barns | A livestock barn that does not currently house any livestock, but that housed livestock in the past and continues to be structurally sound and reasonably capable of housing livestock.* | | |

*NOTE: This should only be used where obtaining information from the farm operator(s) and/or owner(s) was not possible (see Implementation Guideline 20 for more information).

QUESTIONS?
PLEASE CONTACT

County of Wellington
Planning and Development Department
74 Woolwich Street, Guelph
ON N1H 3T9
F 519.923.1694

Linda Redmond, Senior Planner
E lindar@wellington.ca
T 519.837.2600 x2380
1.800.663.0750 x2380

Sarah Wilhelm, Senior Planner
E sarahw@wellington.ca
T 519.837.2600 x2130
1.800.663.0750 x2130

Jana Poechman

From: Emily Vandermeulen <EVandermeulen@centrewellington.ca>
Sent: Thursday, May 13, 2021 9:02 AM
To: Jana Poechman
Cc: Source Water
Subject: RE: B37-21 & B38-21 - SW Screening Form
Attachments: WHPA_Map_WatsonS_4674.pdf

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you know the contents to be safe.

Hi Jana,

Thank you for providing the above referenced application for review. Since this property is located in a vulnerable area (wellhead protection area, issues contributing area, intake protection zone etc.), but the activity(ies), as indicated, would not create a significant drinking water threat, the application can be screened out and it does not require a Section 59 notice under the *Clean Water Act*.

I have attached a map showing the property and Wellhead Protection Areas for your reference.

If you have any further questions regarding this application, or in the event of any technical problem with the email or attachments, please contact me.

Emily Vandermeulen | Risk Management Inspector / Source Protection Coordinator

Wellington Source Water Protection | 7444 Wellington Road 21, Elora, ON, N0B 1S0
519.846.9691 x365 | evandermeulen@centrewellington.ca | www.wellingtonwater.ca
Toll free: 1.844.383.9800

Wellington Source Water Protection's offices are located in the Township of Centre Wellington offices. Centre Wellington has moved to a province wide shutdown. All Township facilities are closed for public use however many departments are offering most services electronically and scheduling appointments for services that cannot be delivered remotely. With the proper protocols in place, we are working to deliver services in a timely manner, however, you may still experience some delays or disruptions.

Phones will continue to be answered between the hours of 8:30 a.m. and 4:30 p.m., Monday-Friday at 519-846-9691, general email inquiries can be sent to clerks@centrewellington.ca and service requests such as purchasing of dog tags and burn permits are available online at www.centrewellington.ca/permits.

This is a rapidly evolving situation; discussions and decisions are ongoing. Any changes in operations will be communicated and posted to the Townships website at www.centrewellington.ca/emergencyplanning and our social media platforms, www.facebook.com/CentreWellington and Twitter www.twitter.com/CentrWellington

From: Jana Poechman [<mailto:janap@wellington.ca>]
Sent: May 7, 2021 11:44 AM
To: Emily Vandermeulen <EVandermeulen@centrewellington.ca>; Kyle Davis <KDavis@centrewellington.ca>
Cc: Source Water <sourcewater@centrewellington.ca>
Subject: B37-21 & B38-21 - SW Screening Form

Here is a pair of consent applications for our May 13th circulation. I believe there is just one more that I'm expecting later today.

Thanks.
Jana

Jana Poechman
Planning Administrative Clerk
Planning and Development Department
County of Wellington
74 Woolwich Street
Guelph ON N1H 3T9
T 519.837.2600 x 2170

May 7, 2021

29598-21

Jeff.Buisman@vanharten.com

County of Wellington Land Division Committee
74 Woolwich Street
Guelph, Ontario
N1H 3T9

Attention: Deborah Turchet

Dear Ms. Turchet:

**Re: Severance and Lot Line Adjustment Applications and Sketch
4674 Watson Road South
Part of Lot 13, Concession 9
Township of Puslinch**

Please find enclosed an application for a Severance and Lot Line Adjustment Severance and Sketch on the above-mentioned property. Included with this submission are copies of the Severance Sketch, completed application forms, the required deeds, PIN report and map, MDS Farm Data Sheet, Sourcewater Protection Form, a cheque to the GRCA for \$430.00 and a cheque to Wellington County for \$9,260.00.

Proposal:

The proposal is to reconfigure the two properties into three properties with a severance and lot line adjustment. The result is to create a new parcel for rural residential purposes and to merge two larger, vacant parcels for continued agricultural use, retaining the dwelling on a smaller lot. The two existing properties are as follows:

- 1) **PIN 71187-0067** – 4674 Watson Road South, Puslinch (owned by William Hamilton and Lisa Hamilton)
- 2) **PIN 71187-0060** – Vacant Parcel (owned by William Harvey Hamilton, Lisa Hamilton, Nancy Ann Hamilton & The Estate of William Michael Hamilton).

Please see the sketch which shows the severances and the configuration.

RECEIVED

MAY 07 2021

**SECRETARY TREASURER
WELLINGTON COUNTY
LAND DIVISION COMMITTEE**

572 Weber Street North, Unit 7
Waterloo ON N2L 5C6
519-742-8371

Elmira, ON:
519-669-5070

423 Woolwich Street
Guelph, ON N1H 3X3
519-821-2763

660 Riddell Road, Unit 1
Orangeville, ON L9W 5G5
519-940-4110

Collingwood, ON:
249-499-8359

www.vanharten.com

Severance Review:

The proposal is to create a new rural residential parcel along Watson Road South in between two existing residential parcels. The proposed Severed Parcel (1) will have a frontage of 100±m, depth of 111±m and 80±m, for an area of 0.9±ha where a dwelling is proposed. The severed parcel was configured to fill in the space between the existing rural residential parcel (#4662) and the retained parcel (2) of the lot line adjustment (#4674). The depths match each adjacent parcel which creates a diagonal rear property line. The parcel has been evaluated and a safe entrance is possible. The Zoning requirements are met for the Severed Parcel (1).

The Retained Parcel (1) known as 4674 Watson Road South will have a frontage of 168±m, depth of 352±m for an area of 11.7±ha that is vacant.

The Minimum Distance Separation (MDS) guidelines were evaluated for the barn across the road at #4677 Watson Road South. The MDS requirement of "Type B" Land Use must be applied in this situation instead of "Type A" Land Use. Type B applies in situations *"that results in four or more lots for development, which are in immediate proximity to one another"* (Guideline #34). Under this definition, Type B applies because this is an existing cluster of rural residential parcels and this severance creates a fourth. The challenge is, however, that the MDS minimum under Type B is 220m whereas under Type A, the minimum is 110m. In this case the barn is about 170m to severed parcel.

The barn at #4677 is approximately 170±m, whereas the required distance is 220m using Type B land use. Therefore technically, the MDS requirement is not met and a minor variance for the MDS requirement will have to be sought.

The subject property is zoned Agricultural and the Reduced Lot Requirements listed in Table 11.3 of the Zoning By-law will be met for the Severed and Retained Parcels.

The parcel has a designation of Secondary Agricultural in the County of Wellington Official Plan which allows for a severance, provided that certain criteria (Section 10.4.4) are met. We reviewed this section, and we provide the opinion that the relevant criteria are met including the following:

- The severed lands are designated Secondary Agricultural.
- Ownership is longer than 5 years.
- No severance since March 2005.
- Safe entrance is available – sight lines have been evaluated.
- Adequate space for new dwelling and septic.
- No impacts on environmentally sensitive lands or woodlot
- Very close to meeting the MDS requirement which can be addressed via a Minor Variance.

In summary this severance is a very practical and follows the relevant criteria for severance.

Lot Lone Adjustment Review:

The proposal for the lot line adjustment is to sever the majority of the large agricultural property known as #4674 Watson Road South (PIN 71187-0067) and merge it with the vacant parcel to the south-west (PIN 71187-0060) to create a larger agricultural parcel. The Severed Parcel (2) has a frontage of 168±m, depth of 351±m for an area of 11.7±ha that will be merged with the adjacent parcel to the southwest (PIN 71187-0060) for continued agricultural use. The Lands to be Added to is also vacant and the merged parcel will have a combined area of 37.5±ha.

The Retained Parcel (2) will have a frontage of 78±m, depth of 111±m for an area of 0.9±ha where the existing dwelling, garage and shed will remain for continued residential purposes. The configuration of the retained parcel is to follow the fence line and the side lot lines will be at least 3m from the garage and septic to meeting Zoning and OBC requirements. The rear limit is to follow an existing fence line. The zoning requirements are met for this parcel.

A strong benefit to this lot line adjustment is the fact that the rear parcel (PIN 71187-0060) does not currently have frontage along Watson Road South and access to that property is through a Right-of-Way Easement identified as INST. MC107143. This easement runs along the northwest side of the Severed Parcel (2) (PIN 71187-0067). The lot line adjustment will merge the rear parcel with the front parcel and extinguishing the right-of-way.


After reviewing the Minimum Distance Separation (MDS) Guideline # 8, it is our interpretation that MDS setbacks are not applicable to this application as this proposal is for a boundary adjustment and not the creation of a new lot and the buildings already exist.

The proposed lot line adjustment follows the guidelines in Section 10.4.6 of the Wellington County Official Plan for lot line adjustments of lands that are designated Secondary Agricultural. This section states that lot line adjustments are permitted where no adverse effect on agriculture will occur and where a more viable agricultural operation will result.

In conclusion, the severance is very practical and allows for the creation of a rural residential while following the relevant criteria and the lot lone adjustment will create a larger parcel for agricultural proposes and also allow the rear, isolated parcel to have frontage along Watson Road South.

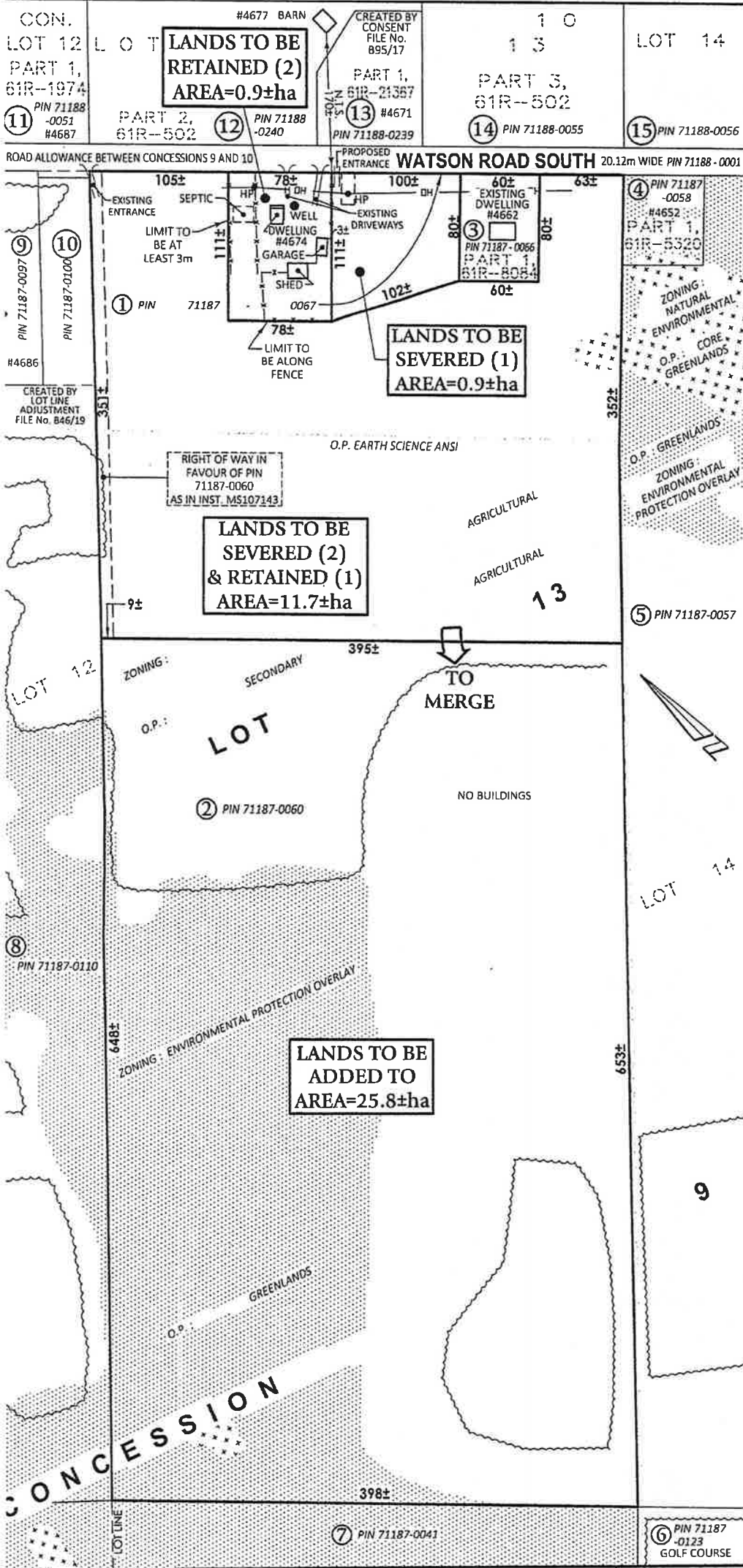
Please call me if you or the Planning Staff have any questions.

Very truly yours,
Van Harten Surveying Inc.



Jeffrey E. Buisman B.E.S., B.Sc.
Ontario Land Surveyor

cc Bill Hamilton



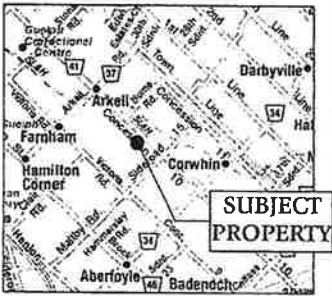
SEVERANCE SKETCH
PART OF LOT 13, CONCESSION 9
TOWNSHIP OF PUSLINCH
COUNTY OF WELLINGTON

SCALE 1 : 3000

0 30 60 120 180 meters

VAN HARTEN SURVEYING INC.

KEYMAP



NOTES:

1. THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE USED FOR REAL ESTATE TRANSFERS OR MORTGAGES.
2. SUBJECT LANDS ARE ZONED AGRICULTURAL, NATURAL ENVIRONMENT & ENVIRONMENTAL PROTECTION OVERLAY.
3. SUBJECT LANDS HAVE AN OFFICIAL PLAN DESIGNATION OF SECONDARY AGRICULTURAL, GREENLANDS, CORE GREENLANDS & EARTH SCIENCE ANSI.
4. DISTANCES ON THIS PLAN ARE SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
5. DIMENSIONS ON THIS SKETCH ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED BY SURVEY.
6. SEE ATTACHED LIST OF NAMES AND ADDRESSES OF OWNERS.
7. N.T.S. DENOTES NOT TO SCALE.

O.P. : EARTH SCIENCE ANSI

- O.P. : GREENLANDS
- ZONING: ENVIRONMENTAL PROTECTION OVERLAY
- O.P. : CORE GREENLANDS
- ZONING: NATURAL ENVIRONMENT

THIS SKETCH WAS PREPARED
ON THE 6th DAY OF MAY 2021

[Redacted Signature]

ONTARIO LAND SURVEYOR

 **Van Harten**
SURVEYING INC.
LAND SURVEYORS and ENGINEERS

| | | |
|---|----------------------------|---------------------------------|
| Kitchener Ph: 519-742-8371 | Guelph Ph: 519-821-2763 | Orangeville Ph: 519-940-4110 |
| www.vanharten.com | | info@vanharten.com |
| DRAWN BY: ARN | CHECKED BY: JEB | PROJECT No. 29598-21 |
| May 6, 2021-4:03:12 PM | | |
| G:\PUSLINCH\CON9\ACAD\SEV LOT 13 (HAMILTON) UTM.dwg | | |

227-214728-21

May 14, 2021

NOTICE OF AN APPLICATION FOR CONSENT

Ontario Planning Act, Section 53(4)

The County of Wellington Planning and Land Division Committee requests your written comments on this application for consent.

APPLICATION SUBMITTED ON: May 07, 2021

FILE NO. B38-21

APPLICANT

William & Lisa Hamilton
4674 Watson Rd S
Puslinch N0B 2C0

LOCATION OF SUBJECT LANDS

Township of Puslinch
Part Lot 13
Concession 9

Proposed lot line adjustment is 11.7 hectares with 168m frontage (severed 2 on sketch), vacant land to be added to abutting agricultural parcel – William, Lisa, Nancy Hamilton & Estate of William Hamilton.

Retained parcel is 78m fr x 111m = 0.9 hectares, existing and proposed rural residential use with existing dwelling, garage and shed (retained 2 on sketch)

IF YOU WISH TO SUBMIT COMMENTS ON THIS APPLICATION,
WE MUST HAVE YOUR WRITTEN COMMENTS BEFORE

June 30, 2021

Comments can be provided by mail at address above or by email janap@wellington.ca

Please note that if the Comments are not received by the requested date, the Planning and Land Division Committee may proceed to consider the application, and may assume that you have no objection to this Application for Consent.

Please also be advised that if a person or public body that files an appeal of a decision of the County of Wellington Planning and Land Division Committee in respect of the proposed consent has not made written submission to the County of Wellington Planning and Land Division Committee before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

If you wish to be NOTIFIED OF THE DATE AND TIME OF THE CONSIDERATION of this application - please make your request in writing and provide your email address to the Planning and Land Division Committee before the "Comments Return Date" noted above.

If you wish to be NOTIFIED OF THE DECISION of the County of Wellington Planning and Land Division Committee in respect of this proposed consent, **you must make a request in writing** to the County of Wellington Planning and Land Division Committee. This will also entitle you to be advised of a possible Local Planning Appeal Tribunal. Even if you are the successful party, you should request a copy of the decision since the County of Wellington Planning and Land Division Committee's decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the Public.

INFORMATION REGARDING THE APPLICATION is available to the public during regular business hours, Monday to Friday at the County of Wellington Planning and Land Division Office- 74 Woolwich St. Guelph, ON N1H 3T9.
Phone: (519) 837-2600 x2170 Fax: (519) 837-3875

MAILED TO:

Local Municipality - Puslinch County Planning Conservation Authority - GRCA

Source Water Protection

Bell Canada (email) County Clerk Roads/Solid Waste Civic Addressing

Neighbour - as per list verified by local municipality and filed by applicant with this application

APPLICATION FOR CONSENT

Ontario Planning Act

1. Approval Authority:

County of Wellington Planning and Land Division Committee
County of Wellington Administration Centre
74 Woolwich Street, GUELPH, Ontario N1H 3T9

Phone: 519-837-2600, ext. 2170 or 2160 Fax: 519-837-3875

SECTION B

Required Fee: \$ 4630
Fee Received: May 7/21

File No. B38-21

Accepted as Complete on: May 7/21

A COPY OF YOUR CURRENT DEED MUST BE SUBMITTED WITH THIS APPLICATION

SECTION B: Parcel from which land is being transferred

2(a) Name of Registered Owner(s) William Harvey HAMILTON & Lisa Anne HAMILTON

Address 4674 Watson Road South, Puslinch, ON, N0B 2C0

Phone No. [REDACTED]

(b) Name and Address of Applicant (as authorized by Owner) _____

Phone No. _____ **Email:** _____

(c) Name and Address of Owner's Authorized Agent: _____

Jeff Buisman of Van Harten Surveying Inc.

423 Woolwich Street, Guelph, ON, N1H 3X3

Phone No. 519-821-2763 x225

Email: Jeff.Buisman@vanharten.com

(d) All Communication to be directed to:

REGISTERED OWNER []

APPLICANT []

AGENT [X]

(e) Notice Cards Posted by:

REGISTERED OWNER []

APPLICANT []

AGENT [X]

3 (a) Type and Purpose of Proposed Transaction: (Check off appropriate box & provide short explanation)

☒ Conveyance to effect an addition to a lot

☐ Other (Specify – e.g. mortgage, lease, easement, Right-of-way, correction of title):

(b) Provide legal description of the lands to which the parcel will be added:

Part of Lot 13, Concession 9, as in ROS648855; T/W MS107143 (PIN 71187-0060)

4. (a) Location of Land in the County of Wellington:

Local Municipality: Township of Puslinch

Concession 9 Lot No. Part of Lot 13

Registered Plan No. Lot No.

Reference Plan No. Part No.

Civic Address 4674 Watson Road South

(b) When was property acquired: August 2016 Registered Instrument No. WC476841

5. Description of Land intended to be SEVERED: Metric [X] Imperial []

Frontage/Width 105 & 63 / 395 ± AREA 11.7 ha ±

Depth 352 ± Existing Use(s) Agricultural

Existing Buildings or structures: None

Proposed Uses (s): To be added to the adjacent landlocked parcel to the south-west (PIN 71187-0060) for continued agricultural use

Type of access (Check appropriate space) Existing [X] Proposed []

[] Provincial Highway [X] Right-of-way INST NO. MS107143

[] County Road [] Private road

[] Municipal road, maintained year round [] Crown access road

[X] Municipal road, seasonally maintained [] Water access

[] Easement [] Other

Type of water supply - Existing [] Proposed [] (check appropriate space)

[] Municipally owned and operated piped water system

[] Well [] individual [] communal

[] Lake

[X] Other (specify): Not required for agricultural use

Type of sewage disposal - Existing [X] Proposed [] (check appropriate space)

[] Municipally owned and operated sanitary sewers

[] Septic Tank [] individual [] communal

[] Pit Privy

[X] Other (specify): Not required for agricultural use

6. Description of Land intended to be RETAINED: Metric [X] Imperial []

Frontage/Width 78 ± AREA 0.9 ha ±

Depth 111 ± Existing Use(s) Rural Residential

Existing Buildings or structures: Dwelling, Garage and Shed

Proposed Uses (s): No Change

Type of access (Check appropriate space)

☐ Provincial Highway

☐ County Road

☒ Municipal road, maintained year round

☐ Municipal road, seasonally maintained

☐ Easement

☐ Right-of-way

☐ Private road

☐ Crown access road

☐ Water access

☐ Other (specify) _____

Type of water supply - Existing ☒ Proposed ☐ (check appropriate space)

☐ Municipally owned and operated piped water system

☒ Well ☒ individual ☐ communal

☐ Lake

☐ Other (specify): _____

Type of sewage disposal - Existing ☒ Proposed ☐ (check appropriate space)

☐ Municipally owned and operated sanitary sewers

☒ Septic Tank ☒ individual ☐ communal

☐ Pit Privy

☐ Other (specify): _____

7. Is there an agricultural operation, (either a barn, manure storage, abattoir, livestock area or stockyard) within 500 metres of the Subject lands (severed and retained parcels)?

YES ☒ NO ☐

*If yes, see sketch requirements and the application must be accompanied by a:
MINIMUM DISTANCE SEPARATION FORM.
8. Is there a landfill within 500 metres [1640 feet]?

YES ☐ NO ☒
9. Is there a sewage treatment plant or waste stabilization plant within 500 metres [1640']?

YES ☐ NO ☒
10. Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the lands to be retained or to be severed or within 120 metres [394 feet]?

YES ☒ NO ☐
11. Is there any portion of the land to be severed or to be retained located within a floodplain?

YES ☐ NO ☒
12. Is there a provincial park or are there Crown Lands within 500 metres [1640']?

YES ☐ NO ☒
13. Is any portion of the land to be severed or retained within a rehabilitated mine/pit site?

YES ☐ NO ☒
14. Is there an active or abandoned mine, quarry or gravel pit within 500 metres [1640']?

YES ☐ NO ☒
15. Is there a noxious industrial use within 500 meters [1640']?

YES ☐ NO ☒
16. Is there an active or abandoned principal or secondary railway within 500 metres [1640']?

YES ☐ NO ☒

Name of Rail Line Company:
17. Is there an airport or aircraft landing strip nearby?

YES ☐ NO ☒
18. Is there a propane retail outlet, propane filling tank, cardlock/keylock or private propane outlet/container refill centre within 750 metres of the proposed subject lands?

YES ☐ NO ☒

19. PREVIOUS USE INFORMATION:

a) Has there been an industrial use(s) on the site?

YES ☐ NO ☒ UNKNOWN ☐

If YES, what was the nature and type of industrial use(s)?

b) Has there been a commercial use(s) on the site? YES [] NO [X] UNKNOWN []

If YES, what was the nature and type of the commercial use(s)

c) Has fill been brought to and used on the site (other than fill to accommodate septic systems or residential landscaping?) YES [] NO [X] UNKNOWN []

d) Has there been commercial petroleum or other fuel storage on the site, underground fuel storage, or has the site been used for a gas station at any time, or railway siding? YES [] NO [X] UNKNOWN []

If YES, specify the use and type of fuel(s) _____

20. Is this a **resubmission** of a previous application? YES [] NO [X]

If YES, is it identical [] or changed [] Provide previous File Number _____

21. a) Has any severance activity occurred on the land from the holding which existed as of March 1, 2005 and as registered in the Land Registry/Land Titles Office? YES [] NO [X]

b) If the answer in (a) is YES, please indicate the previous severance(s) on the required sketch and provide:
Transferee's Name, Date of the Transfer and Use of Parcel Transferred.

22. Has the parcel intended to be severed ever been, or is it now, the subject of an application for a plan of subdivision or other Consent or approval under the Planning Act or its predecessors? YES [] NO [X] UNKNOWN []

23. Under a separate application, is the Owner, applicant, or agent applying for additional consents on this holding simultaneously with this application? YES [X] NO []

A severance application is being submitted simultaneously

24. Provide explanation of how the application is consistent with the Provincial Policy Statement.

The application is consistent with the PPS. There are no MDS concerns as the structures already exist and a lot line adjustment is deemed not to create a new lot.

25. In addition to the Places to Grow (Provincial Growth Plan), is the subject land within an area of land designated under the Greenbelt Plan? Provide explanation of how the application conforms or does not conflict with the Provincial plan or plans.

The Natural Heritage System mapping indicates that there is a small portion of wetland features on the subject property, however the new boundary limits are well outside of the natural features area and the area will not be disturbed.

26. a) Indicate the existing **County Official Plan** designation(s) of the subject land, and provide explanation of how the application conforms with the Official Plan (severed and retained).

The subject property is designated as Secondary Agricultural, Core Greenlands, Greenlands and Earth-Science ANSI in the Official Plan. This proposal follows the guidelines set out in Section 10.4.6 for Secondary Agricultural parcels that states that lot line adjustments are permitted where no adverse effect on agriculture will occur and where a more viable agricultural operation will result.

b) Indicate the existing **Local Official Plan** (if any) designation(s) of the subject land, and provide explanation of how the application conforms with the Official Plan (severed and retained).

N/A

c) If this consent relates directly to an Official Plan Amendment(s) currently under review by an approval authority, please indicate the Amendment Number and the applicable file number(s).

Amendment Number(s): _____ File Number(s): _____

27. What is the **zoning** of the subject lands? **Agricultural, Natural Environment and Environmental Protection Overlay**

28. Does the proposal for the subject lands conform to the existing zoning? **YES** ☒ **NO** ☐

If NO, a) has an application been made for re-zoning?
YES ☐ **NO** ☐ **File Number** _____

b) has an application been made for a minor variance?
YES ☐ **NO** ☐ **File Number** _____

29. Are the lands subject to any mortgages, easements, right-of-ways or other charges? **YES** ☒ **NO** ☐

If the answer is YES, please provide a copy of the relevant instrument.
For mortgages, provide complete name and address of Mortgagee _____

- **Lands to be Added to: Mortgage as in INST No. WC498994 with Hasson Collision Ltd. located at 15 Industrial Street, Guelph, ON, N1E 6B9**
- **Lands to Be Severed: Mortgage as in INST No. WC572986 with the Royal Bank of Canada located at 10 York Mills Road, 3rd Floor, Toronto, ON, M2P 0A2**
- **Right of Way as in INST No. MS107143 over PIN 71187-0067 in favour of PIN 71187-0060**

Questions 30 – 33 must be answered for Applications for severance in the Rural/Agricultural Area -- Otherwise, if this is not applicable to your application, please state “not Applicable”

30. **Type of Farm Operation** conducted on these subject lands: **None**

Type: Dairy ☐ Beef Cattle ☐ Swine ☐ Poultry ☐ Other ☐

31. **Dimensions of Barn(s)/Outbuildings/Sheds (that are to remain) Severed & Retained Lands**

| | | | | | |
|-----------------|-------------------------|---------------------------|---------------------------|-----|----------------------|
| <u>Severed</u> | Width | Length | Area | Use | |
| | Width | Length | Area | Use | |
| <u>Retained</u> | Width <u>8±m</u> | Length <u>13±m</u> | Area <u>104±m²</u> | Use | <u>Garage</u> |
| | Width <u>8±m</u> | Length <u>15±m</u> | Area <u>120±m²</u> | Use | <u>Shed</u> |

32. **Manure Storage Facilities** on these lands: **None**

| DRY | | SEMI-SOLID | | LIQUID | |
|--------------|--------------------------|-------------------------|--------------------------|----------------------------|--------------------------|
| Open Pile | <input type="checkbox"/> | Open Pile | <input type="checkbox"/> | Covered Tank | <input type="checkbox"/> |
| Covered Pile | <input type="checkbox"/> | Storage with Buck Walls | <input type="checkbox"/> | Aboveground Uncovered Tank | <input type="checkbox"/> |
| | | | | Belowground Uncovered Tank | <input type="checkbox"/> |
| | | | | Open Earth-sided Pit | <input type="checkbox"/> |

33. Are there any drainage systems on the retained and severed lands? YES [] NO [X]

| Type | Drain Name & Area | Outlet Location |
|---------------------|-------------------|----------------------|
| Municipal Drain [] | | Owner's Lands [] |
| Field Drain [] | | Neighbours Lands [] |
| | | River/Stream [] |

34. Source Water Protection Plan

Is the subject land within a Wellhead Protection Area, Issue Contributing Area, or Intake Protection Zone of a **Source Protection Plan** in effect? YES [X] NO []

If YES, please complete the Source Water Protection Form and submit with your application.

35. Have you had a pre-consultation meeting with County Planning Staff before filling out this application form? YES [X] NO []

If yes, please indicate the person you have met/spoken to: Meagan Ferris

36. If a **new farm operation**, or **new crops**, or **new farm buildings** are being proposed for the severed and/or retained lands. Please provide some details:

None

37. If you wish to provide some further information that may assist the Planning and Land Division Committee in evaluating your application, please provide by a letter and attach it to this application.

Please see covering letter.

NOTES:

1. **One original completed application and two original sketches must be filed with the County of Wellington Planning and Land Division office.** If original sketch is larger than 11" x 17", 8 additional copies are required plus one sketch reduced to a size of 11" x 17" (or smaller) for office photocopying and circulation to neighbours. Facsimile documents are not acceptable for reasons of the necessity of good photocopying.
2. The location of the lands (severed & retained) which are the subject of the application must also be shown on the Surveyor's sketch or on an attached "Key Map" of the local municipality and included with the application.
3. Since the filing fee for applications for consent change from time to time, please contact the Planning and Land Division office for current fee information. This fee may be paid in cash or by cheque payable to the County of Wellington.
4. Additional information about the process, about any particular application or obtaining application forms may be obtained by attending at the County of Wellington Administration Centre, 74 Woolwich Street, Guelph Ontario N1H 3T9, by telephone at 519-837-2600, ext. 2160 or 2170; or by facsimile (fax) at 519-837-3875.
5. Some municipalities also require the applicant to attend at a Planning Advisory Committee or Council meeting to discuss the application prior to the Municipality's submitting comments to the County of Wellington Planning and Land Division Committee. Please check with your local municipality on this matter.
6. If the applicant is a Corporation, then the applicant's Declaration or if applicable, the Owner's authorization too, must be signed by an officer of the corporation who has authority to bind the corporation; or the corporation's seal must be affixed.
7. **ONE CONSOLIDATED SKETCH WITH APPROPRIATE NOTES AND MARKINGS MAY SUFFICE FOR SECTIONS A AND B OF THIS CONSOLIDATED APPLICATION FORM for LOT LINE ADJUSTMENTS ONLY.**

OWNER'S AUTHORIZATION:

The Owner must complete the following to authorize applicant, agent or solicitor to act on their behalf.

NOTE: If more than one owner is listed in item #2 of this application, then all owners must sign this authorization section of the application form or by a letter of authorization duly signed.

If the Owner is a corporation, the authorization must be by an officer of the corporation who has authority to bind the corporation.

I, (we), William Harvey HAMILTON & Lisa Anne HAMILTON the Registered Owners of
Part of Lot 13, Concession 9, as in INST MS90099 the Township of Puslinch in the
County/-Region of Wellington severally and jointly, solemnly declare that

Jeffrey E. Buisman, OLS, of Van Harten Surveying Inc.

Is authorized to submit an application for consent on my (our) behalf

Signature(s) of Registered Owner(s) or Corporation's Officer

APPLICANT'S DECLARATION

This must be completed by the Applicant for the proposed consent

I, (we) Jeffrey E. Buisman, OLS, of Van Harten Surveying Inc. of the
City of Guelph In the County/-Region of
Wellington Solemnly declare that all

the statements contained in this application for consent for (property description) _____

Part of Lot 13, Concession 9, as in INST MS90099 Of the Township of Puslinch

And all the supporting documents are true, and I, (we), make this solemn declaration conscientiously believing it to be true and complete, and knowing that it is of the same force and effect as if made under oath, and virtue of the CANADA EVIDENCE ACT.

DECLARED before me at the _____

City of _____

Guelph In the _____

County/-Region of Wellington

This 6 day of May 20 21

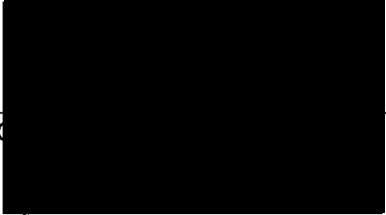
Commissioner of Oaths

(Owner or Applicant)

James Michael Laws,
a Commissioner, etc.,
Printed Name of Commissioner, etc. Name
for Van Harten Surveying Inc.
Expires May 11, 2021.

APPLICANT’S CONSENT (FREEDOM OF INFORMATION):

In accordance with the provisions of the Planning Act, it is the policy of the County Planning and Development Department to provide public access to all development applications and supporting documentation. In submitting this development application and supporting documentation, I, Jeff Buisman of Van Harten Surveying Inc., the applicant, hereby acknowledge the above-noted and provide my consent in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act that the information on this application and any supporting documentation provided by myself, my agents, solicitors, and consultants will be part of the public record and will also be available to the general public.

Signature of 

May 6, 2021
Date

THIS APPLICATION PACKAGE IS TO BE SUBMITTED TO:

Secretary-Treasurer
Planning and Development Department
County of Wellington
74 Woolwich Street
Guelph, Ontario
N1H 3T9

Phone (519) 837-2600 Ext. 2160

APPLICATION FOR CONSENT

Ontario Planning Act

1. Approval Authority:

County of Wellington Planning and Land Division Committee
County of Wellington Administration Centre
74 Woolwich Street, GUELPH, Ontario N1H 3T9

Phone: 519-837-2600, ext. 2170 or 2160 Fax: 519-837-3875

SECTION A

Fee Received: May 7/21
File No. B38-21

Accepted as Complete on: May 7/21

A COPY OF YOUR CURRENT DEED MUST BE SUBMITTED WITH THIS APPLICATION

SECTION A: Parcel to which land is being added.

2. (a) Name of Registered Owner(s) William Harvey HAMILTON, Lisa Anne HAMILTON, Nancy Ann HAMILTON & Estate of William Michael Hamilton

Address 4674 Watson Road South, Puslinch, ON, N0B 2C0

Phone No. [REDACTED]

(b) Name and Address of Applicant (as authorized by Owner) _____

Phone No. _____ Email: _____

(c) Name and Address of Owner's Authorized Agent: _____

Jeff Buisman of Van Harten Surveying Inc.
423 Woolwich Street, Guelph, ON, N1H 3X3

Phone No. 519-821-2763 x225 Email: Jeff.Buisman@vanharten.com

(d) All Communication to be directed to:

REGISTERED OWNER [] APPLICANT [] AGENT [X]

(e) Notice Cards Posted by:

REGISTERED OWNER [] APPLICANT [] AGENT [X]

3. Location of Land in the County of Wellington:

Local Municipality: Township of Puslinch

Concession 9 Lot No. Part of Lot 13

Registered Plan No. Lot No.

Reference Plan No. Part No.

Civic Address PIN 71187-0060 (vacant parcel)

(b) When was property acquired: June 2013 Registered Instrument No. WC375672 & WC486368

May 7, 2021
29598-21

Jeff.Buisman@vanharten.com

County of Wellington Land Division Committee
74 Woolwich Street
Guelph, Ontario
N1H 3T9

Attention: Deborah Turchet

Dear Ms. Turchet:

**Re: Severance and Lot Line Adjustment Applications and Sketch
4674 Watson Road South
Part of Lot 13, Concession 9
Township of Puslinch**

Please find enclosed an application for a Severance and Lot Line Adjustment Severance and Sketch on the above-mentioned property. Included with this submission are copies of the Severance Sketch, completed application forms, the required deeds, PIN report and map, MDS Farm Data Sheet, Sourcewater Protection Form, a cheque to the GRCA for \$430.00 and a cheque to Wellington County for \$9,260.00.

Proposal:

The proposal is to reconfigure the two properties into three properties with a severance and lot line adjustment. The result is to create a new parcel for rural residential purposes and to merge two larger, vacant parcels for continued agricultural use, retaining the dwelling on a smaller lot. The two existing properties are as follows:

- 1) **PIN 71187-0067** – 4674 Watson Road South, Puslinch (owned by William Hamilton and Lisa Hamilton)
- 2) **PIN 71187-0060** – Vacant Parcel (owned by William Harvey Hamilton, Lisa Hamilton, Nancy Ann Hamilton & The Estate of William Michael Hamilton).

Please see the sketch which shows the severances and the configuration.

RECEIVED

MAY 07 2021

SECRETARY TREASURER
WELLINGTON COUNTY
LAND DIVISION COMMITTEE

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Severance Review:

The proposal is to create a new rural residential parcel along Watson Road South in between two existing residential parcels. The proposed Severed Parcel (1) will have a frontage of 100±m, depth of 111±m and 80±m, for an area of 0.9±ha where a dwelling is proposed. The severed parcel was configured to fill in the space between the existing rural residential parcel (#4662) and the retained parcel (2) of the lot line adjustment (#4674). The depths match each adjacent parcel which creates a diagonal rear property line. The parcel has been evaluated and a safe entrance is possible. The Zoning requirements are met for the Severed Parcel (1).

The Retained Parcel (1) known as 4674 Watson Road South will have a frontage of 168±m, depth of 352±m for an area of 11.7±ha that is vacant.

The Minimum Distance Separation (MDS) guidelines were evaluated for the barn across the road at #4677 Watson Road South. The MDS requirement of "Type B" Land Use must be applied in this situation instead of "Type A" Land Use. Type B applies in situations *"that results in four or more lots for development, which are in immediate proximity to one another"* (Guideline #34). Under this definition, Type B applies because this is an existing cluster of rural residential parcels and this severance creates a fourth. The challenge is, however, that the MDS minimum under Type B is 220m whereas under Type A, the minimum is 110m. In this case the barn is about 170m to severed parcel.

The barn at #4677 is approximately 170±m, whereas the required distance is 220m using Type B land use. Therefore technically, the MDS requirement is not met and a minor variance for the MDS requirement will have to be sought.

The subject property is zoned Agricultural and the Reduced Lot Requirements listed in Table 11.3 of the Zoning By-law will be met for the Severed and Retained Parcels.

The parcel has a designation of Secondary Agricultural in the County of Wellington Official Plan which allows for a severance, provided that certain criteria (Section 10.4.4) are met. We reviewed this section, and we provide the opinion that the relevant criteria are met including the following:

- The severed lands are designated Secondary Agricultural.
- Ownership is longer than 5 years.
- No severance since March 2005.
- Safe entrance is available – sight lines have been evaluated.
- Adequate space for new dwelling and septic.
- No impacts on environmentally sensitive lands or woodlot
- Very close to meeting the MDS requirement which can be addressed via a Minor Variance.

In summary this severance is a very practical and follows the relevant criteria for severance.

Lot Line Adjustment Review:

The proposal for the lot line adjustment is to sever the majority of the large agricultural property known as #4674 Watson Road South (PIN 71187-0067) and merge it with the vacant parcel to the south-west (PIN 71187-0060) to create a larger agricultural parcel. The Severed Parcel (2) has a frontage of 168±m, depth of 351±m for an area of 11.7±ha that will be merged with the adjacent parcel to the southwest (PIN 71187-0060) for continued agricultural use. The Lands to be Added to is also vacant and the merged parcel will have a combined area of 37.5±ha.

The Retained Parcel (2) will have a frontage of 78±m, depth of 111±m for an area of 0.9±ha where the existing dwelling, garage and shed will remain for continued residential purposes. The configuration of the retained parcel is to follow the fence line and the side lot lines will be at least 3m from the garage and septic to meeting Zoning and OBC requirements. The rear limit is to follow an existing fence line. The zoning requirements are met for this parcel.

A strong benefit to this lot line adjustment is the fact that the rear parcel (PIN 71187-0060) does not currently have frontage along Watson Road South and access to that property is through a Right-of-Way Easement identified as INST. MC107143. This easement runs along the northwest side of the Severed Parcel (2) (PIN 71187-0067). The lot line adjustment will merge the rear parcel with the front parcel and extinguishing the right-of-way.

After reviewing the Minimum Distance Separation (MDS) Guideline # 8, it is our interpretation that MDS setbacks are not applicable to this application as this proposal is for a boundary adjustment and not the creation of a new lot and the buildings already exist.

The proposed lot line adjustment follows the guidelines in Section 10.4.6 of the Wellington County Official Plan for lot line adjustments of lands that are designated Secondary Agricultural. This section states that lot line adjustments are permitted where no adverse effect on agriculture will occur and where a more viable agricultural operation will result.

In conclusion, the severance is very practical and allows for the creation of a rural residential while following the relevant criteria and the lot line adjustment will create a larger parcel for agricultural purposes and also allow the rear, isolated parcel to have frontage along Watson Road South.

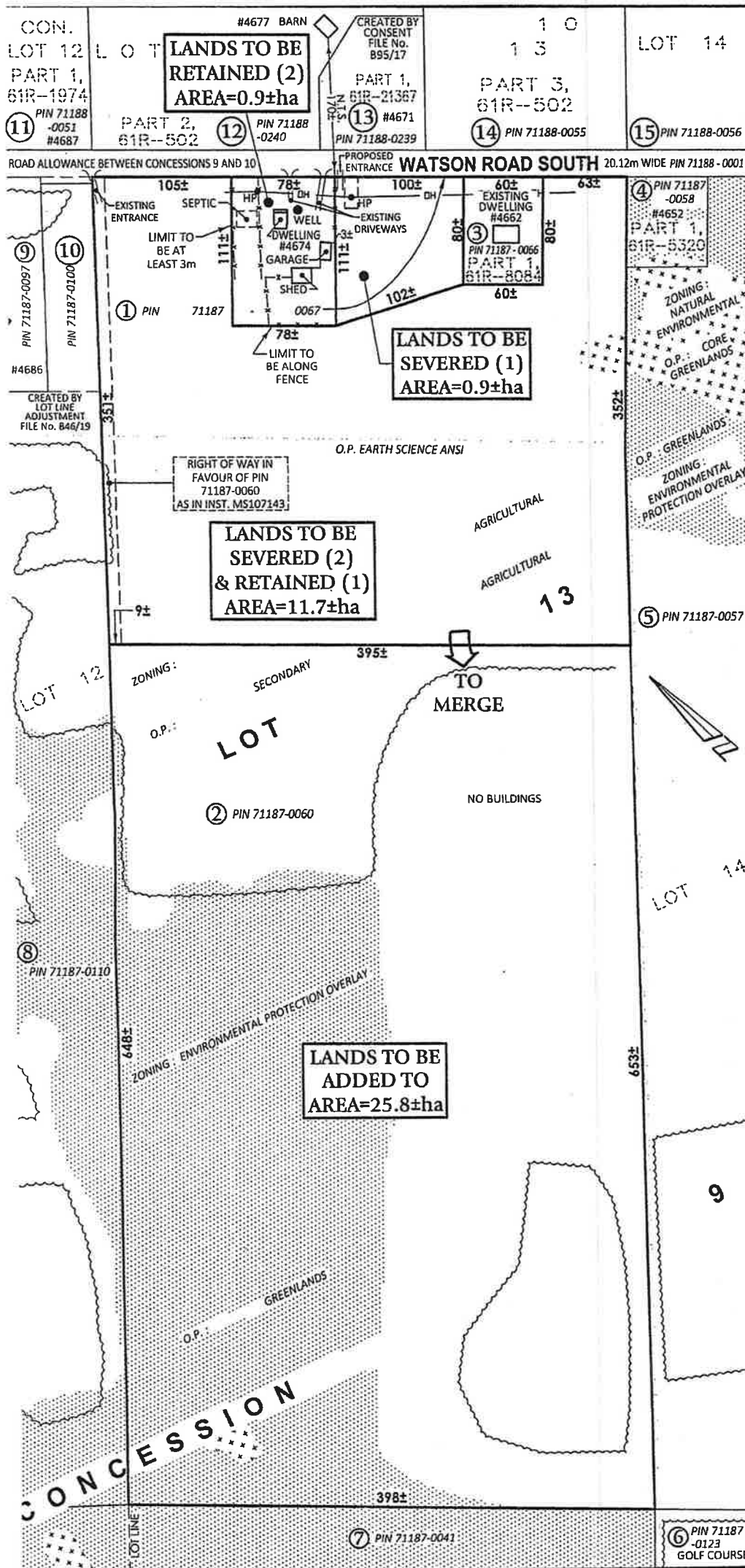
Please call me if you or the Planning Staff have any questions.

Very truly yours,
Van Harten Surveying Inc.



Jeffrey E. Buisman B.E.S., B.Sc.
Ontario Land Surveyor

cc Bill Hamilton



SEVERANCE SKETCH **PART OF LOT 13, CONCESSION 9** **TOWNSHIP OF PUSLINCH** **COUNTY OF WELLINGTON**

SCALE 1 : 3000

0 30 60 120 180 meters

VAN HARTEN SURVEYING INC.

KEYMAP



NOTES:

1. THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE USED FOR REAL ESTATE TRANSFERS OR MORTGAGES.
2. SUBJECT LANDS ARE ZONED AGRICULTURAL, NATURAL ENVIRONMENT & ENVIRONMENTAL PROTECTION OVERLAY.
3. SUBJECT LANDS HAVE AN OFFICIAL PLAN DESIGNATION OF SECONDARY AGRICULTURAL, GREENLANDS, CORE GREENLANDS & EARTH SCIENCE ANSI.
4. DISTANCES ON THIS PLAN ARE SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
5. DIMENSIONS ON THIS SKETCH ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED BY SURVEY.
6. SEE ATTACHED LIST OF NAMES AND ADDRESSES OF OWNERS.
7. N.T.S. DENOTES NOT TO SCALE.

O.P. : EARTH SCIENCE ANSI

- O.P. : GREENLANDS ZONING: ENVIRONMENTAL PROTECTION OVERLAY
- O.P. : CORE GREENLANDS ZONING: NATURAL ENVIRONMENT

THIS SKETCH WAS PREPARED ON THE 6th DAY OF MAY 2021

ONTARIO LAND SURVEYOR



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DRAWN BY: ARN

CHECKED BY: JEB

PROJECT No. 29598-21

May 6, 2021 4:03:12 PM

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