



PLANNING & DEVELOPMENT ADVISORY COMMITTEE
VIRTUAL MEETING BY ELECTRONIC PARTICIPATION
AUGUST 9, 2022
7:00 p.m.

Register in advance:

https://us02web.zoom.us/webinar/register/WN_hkxcwrrLTdCoRxtf9oT3Xg

Or join by phone:

Dial (for higher quality, dial a number based on your current location):

Canada: +1 613 209 3054

or +1 647 374 4685

or +1 647 558 0588

or +1 778 907 2071

or +1 438 809 7799

or +1 587 328 1099

Webinar ID: 856 1601 8006

Passcode: 605072

International numbers available: <https://us02web.zoom.us/j/85616018006>

AGENDA

COMMITTEE OF ADJUSTMENT:

- 1. CALL THE MEETING TO ORDER**
- 2. ROLL CALL**
- 3. OPENING REMARKS**
- 4. DISCLOSURE OF PECUNIARY INTEREST**
- 5. APPROVAL OF MINUTES**
 - June 14, 2022
- 6. APPLICATIONS FOR MINOR VARIANCE OR PERMISSION** under section 45 of the Planning Act to be heard by the Committee this date:
 - 6(a) Minor Variance Application D13-HAY – J. Paul Haynes and Allison Tait – 217 Hume, Concession 10, Part Lot 11, Township of Puslinch.**

Requesting relief of New Comprehensive Zoning By-Law #23-2018, as amended, from Section 4.2 (a) (i) Accessory Apartments.

The purpose and effect of this application is to provide relief from:

1. Section 4.2 (a) (i) Accessory Apartments to permit an accessory apartment to be 166.2 m2 instead of 130 m2 as required.



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AUGUST 9, 2022
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7. OTHER MATTERS

- None

8. ADJOURNMENT OF COMMITTEE OF ADJUSTMENT



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- June 14, 2022

6. APPLICATION FOR SITE PLAN URBAN DESIGN REVIEW

- None

7. ZONING BY-LAW AMENDMENT

- None

8. LAND DIVISION

8(a) Severance application B76-22 (D10-CHA) – Maria Charbonneau – Part Lot 7, Concession Gore, municipally known as 6648 Gore Road, Township of Puslinch.

Proposed severance is 44.2m fr x 111.24m = 0.49 hectares, vacant land for proposed rural residential use.

Retained parcel is 2.88 hectares with 159.74m, existing and proposed rural residential use with existing dwelling.

8(b) Severance application B77-22 (D10-RIT) – Cheryl Ritter – Part Lot 15, Concession 10, municipally known as 7726 Maltby Rd E, Township of Puslinch.

Proposed severance is 37.5m fr x 106.45m = 0.4077 hectares, vacant land for proposed rural residential use.

Retained parcel is 1.4793 hectares with 77.65m frontage, existing and proposed rural



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residential use with existing dwelling.

9. OTHER MATTERS

- None

10. CLOSED MEETING

- None

11. NEXT MEETING Tuesday, September 13, 2022 @ 7:00 p.m.

12. ADJOURNMENT

MINUTES

1. CALL THE MEETING TO ORDER

The June 14, 2022 Committee of Adjustment Meeting was held on the above date and called to order at 7:00 p.m. via electronic participation.

2. ROLL CALL

MEMBERS IN ATTENDANCE

Councilor John Sepulis, Chair
Deep Basi
Dan Kennedy
Dennis O'Connor

MEMBERS ABSENT

Paul Sadhra

STAFF IN ATTENDANCE

Lynne Banks, Development and Legislative Coordinator
Courtenay Hoytfox, Municipal Clerk
Joanna Salsberg, Planner, County of Wellington

3. OPENING REMARKS

The Chair welcomed those attending the meeting to the Committee of Adjustment and informed the attendees that Township Staff would present the application, then the applicant would have the opportunity to present the purpose and details of the application and provide any further relevant information. Following this, the public can obtain clarification, ask questions and express their views on the proposal. The members of the Committee can then obtain clarification, ask questions and express their views on the proposal. All application decisions are subject to a 20 day appeal period.

4. DISCLOSURE OF PECUNIARY INTEREST

None

5. APPROVAL OF MINUTES

Moved by: Deep Basi

Seconded by: Dennis O'Connor

That the Minutes of the Committee of Adjustment meeting held Tuesday, May 10, 2021 be adopted.

CARRIED

6. APPLICATIONS FOR MINOR VARIANCE OR PERMISSION under section 45 of the Planning Act to be heard by the Committee this date.

6(a) Minor Variance Application D13-GIL – Scott and Herminia Gillingham – 6891 Forestell Road, Concession 4, Front Part Lot 20, Township of Puslinch.

Requesting relief of New Comprehensive Zoning By-Law #23-2018, as amended from Section 11.3 Agricultural Zone Requirements, Table 11.2.

The purpose and effect of this application is to provide relief from:

1. Section 11.3, Table 11.2 to permit a reduced lot frontage of the retained parcel to be 98m instead of 120m as required.

- Jeff Buisman, agent for the applicant, provided an overview of the application.
- A phone in caller expressed support for the application.



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH
COMMITTEE OF ADJUSTMENT

JUNE 14, 2022

7:00 PM

VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

- There were no further questions or comments from the public.
- There were no questions or comments from the Committee.

That Application D13/GIL requesting relief from provisions of Zoning By-Law #023/2018, as amended, to permit a reduced lot frontage of the retained parcel to be 98m instead of 120m as required.

Is approved with no conditions

CARRIED

7. OTHER MATTERS

None

8. ADJOURNMENT

Moved by: Dennis O'Connor

Seconded by: Deep Basi

The Committee of Adjustment meeting adjourned at 7:09 p.m.

CARRIED



Township of Puslinch
7404 Wellington Road 34
Puslinch, ON, N0B 2J0
T: (519) 763 – 1226
F: (519) 763 – 5846
www.puslinch.ca

Minor Variance or Permission Application

General Information:

1. Applicant Information:

Registered Owner's Name(s): J. Paul Haynes & Allison Tait

Address: 217 Hume Road

City: Puslinch

Postal Code: N0B 2J0

E-mail Address:

Telephone Number:

Fax:

Applicant (Agent) Name(s): Shane K Willson

Address: 121 Central Avenue

City: Grimsby

Postal Code: L3M 4Y3

E-mail Address:

Telephone Number:

Fax:

Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property.

RBC

Send correspondence to: Owner: ☒ Agent: ☒ Other: _____

2. Provide a description of the "entire" property:

Municipal address: 217 Hume Road

Concession: 10 Lot: 11

Registered Plan Number: _____

Area 3.44 ha Depth: _____ m Frontage: _____ m
 _____ ac 1,308.51 ft 161.99 ft

Width of road allowance (if known): _____

Reason for Application:

3. Please indicate the Section of the Planning Act under which this application is being made. Select one:

☐ Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.), or

☐ Section 45(2) relates to a change to or expansion of an existing legal non-conforming use.

4. What is the nature and extent of the relief that is being applied for? (please specifically indicate on sketch).

We are asking for relief in the maximum size of an accessory dwelling unit above a new detached garage.

Allowable : 130 sq. m Proposed 166.2 sq. m

**5. Why is it not possible to comply with the provisions of the by-law?
(please specifically indicate on sketch).**

We are hoping to build a new 4 bay garage with a second floor. The living space is for guests and family to stay when they visit. The home owner has a few cars in his collection which has resulted in the footprint being a bit larger than is allowed by the by-law

6. What is the current Official Plan and zoning status?

Official Plan Designation: _____

Zoning Designation: Agricultural

7. What is the access to the subject property?

Provincial Highway: ☐

Continually maintained municipal road: ☒

Seasonally maintained municipal road: ☐

Other: ☐ (please specify below)

8. What is the name of the road or street that provides access to the subject property?

Watson Road South or Concession Road 11

9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

n/a

Existing and Proposed Service:**10. Indicate the applicable water supply and sewage disposal:**

Water Supply/Sewage Disposal:	Existing:	Proposed:
Municipal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Private Well:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Water Supply:	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Private Septic:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Sewage Disposal:	<input type="checkbox"/>	<input type="checkbox"/>

11. How is storm drainage provided?Storm Sewers: ☐Ditches: ☐Swales: ☒Other means: ☐ (explain below)

Existing Subject and Abutting Property Land Uses, Buildings and their Locations:**12. What is the existing use of:**The subject property? Single Family DwellingThe abutting properties? Single Family Dwelling**13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)**

Type of Building(s)/ structures	EXISTING HOME			PROPOSED GARAGE		
Main Building height	m	35	ft.	m		ft.
*Percentage lot coverage	m	< 1%	ft.	m	< 1%	ft.
*Number of parking spaces						
*Number of loading spaces						
Number of floors		2			2	
Total floor area	m ²	4008	ft ²	m ²	3,734.4	ft ²
Ground floor area (exclude basement)	m ²	2800	ft ²	m ²	1,945.3	ft ²

14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)

	EXISTING HOME			PROPOSED GARAGE			
Front Yard	House	m	550	ft.	m	468'-5"	ft.
Rear Yard		m	705	ft.	m	56'-10"	ft.
Side Yards		m	128/107	ft.	m	28'-6"	ft.

15. What are the dates of acquisition and construction of subject property and building property?

May 2012

Date of acquisition of subject property: _____

2003

Date of construction of buildings property: _____

16. How long have the existing uses continued on the subject property? 20 yrs.**17. Has the owner previously applied for relief in respect of the subject property?**Yes ☐

No

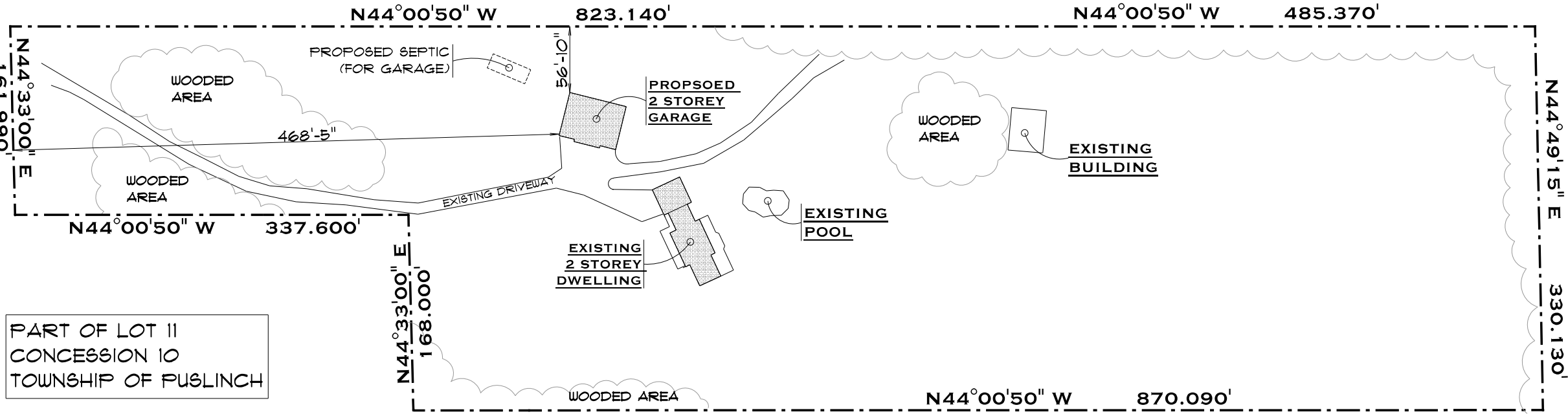


If the answer is yes, please indicate the file number and describe briefly:

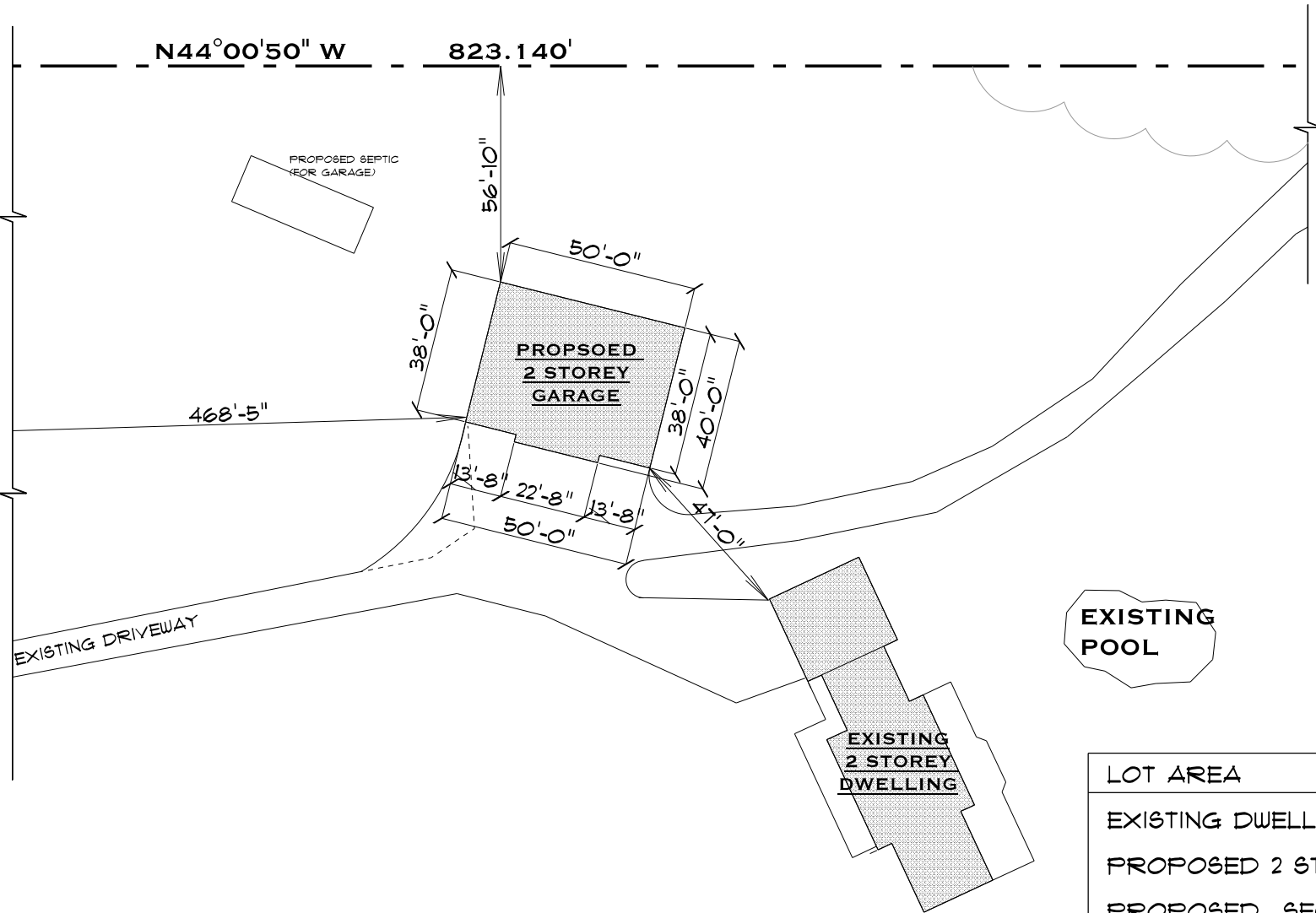
Other Related Planning Applications:**18. Has an application for any of the following on the subject lands?**

Planning Application:	Yes:	No:	File Number:	Approval Authority:	Subject Lands	Purpose:	Status:
Official Plan Amendment	<input type="checkbox"/>	<input type="checkbox"/>					
Zoning By-Law Amendment	<input type="checkbox"/>	<input type="checkbox"/>					
Plan of Subdivision	<input type="checkbox"/>	<input type="checkbox"/>					
Consent (Severance)	<input checked="" type="checkbox"/>	<input type="checkbox"/>					
Site Plan	<input type="checkbox"/>	<input type="checkbox"/>					
Minor Variance	<input type="checkbox"/>	<input type="checkbox"/>					

* We believe there was a severance approved for the original owner to sever a 1.3 acre parcel on Hume Rd. We have no records of this



PART OF LOT 11
CONCESSION 10
TOWNSHIP OF PUSLINCH



EXISTING
POOL

LOT AREA	3.44 HECTARES	
EXISTING DWELLING	4,008.0 SF	372.3 SQ. M
PROPOSED 2 STOREY GARAGE (MAIN FLOOR)	1,945.3 SF	180.7 SQ. M
PROPOSED SECONDARY DWELLING UNIT	1,789.0 SF	166.2 SQ. M

NO.	DATE:	ISSUE / REVISION
1	06-10-22	FOR C.O.A.
2		
3		
4		
5		

GENERAL NOTES:

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS WITH CONDITIONS ON SITE AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY.

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USE LATEST REVISED DRAWINGS.

MAKE GOOD ALL AREAS OF WORK AND SURFACES DISTURBED BY CONSTRUCTION WHETHER SHOWN ON THE DRAWINGS OR NOT.

DO NOT SCALE DRAWINGS.

THESE DRAWINGS ARE IN ACCORDANCE TO THE 2012 OBC.

QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A DESIGNER. REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

SHANE K WILSON
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@DETAILSMATTER07

PROJECT:
217 HUME ROAD
PUSLINCH, ONTARIO

SHEET TITLE:
SITE SKETCH

DRAWN BY: S.K.W.	CHECKED BY: S.K.W.	
SCALE:	DATE: MAR 2022	PROJECT NO: DM22-009

DRAWING NO:
AO

HAYNES GARAGE



STEEL LINTEL SCHEDULE		
	LINTEL SIZE	MAXIMUM SPAN
		STONE 4" (100mm)
SL1	L 3 1/2"x3 1/2"x1/4" (90x90x6)	7'-9" (2.30m)
SL2	L 4"x3 1/2"x1/4" (100x90x6)	8'-2" (2.48m)
SL3	L 4 7/8"x3 1/2"x5/16" (125x90x8)	10'-1" (3.08m)
SL4	L 4 7/8"x3 1/2"x3/8" (125x90x10)	10'-8" (3.24m)
SL5	L 4 7/8"x3 1/2"x1/2" (125x90x13)	10'-11" (3.33m)
SL6	L 5 7/8"x3 1/2"x3/8" (150x90x10)	11'-8" (3.54m)
SL7	L 5 7/8"x3 1/2"x1/2" (150x90x13)	12'-5" (3.77m)

DRAWINGS LIST

- A1 COVER SHEET
- A2 FRONT AND LEFT ELEVATIONS
- A3 REAR AND RIGHT ELEVATIONS
- A4 FOUNDATION PLAN
- A5 MAIN FLOOR PLAN
- A6 UPPER FLOOR PLAN
- A7 CROSS SECTION A-A

MAIN FLOOR AREA : 1945.3 SF
SECOND FLOOR AREA : 1,189.0 SF
TOTAL FLOOR AREA : 3,134.3 SF

BM1	2 - 2X6	BM6	2 - 2X10
BM2	3 - 2X6	BM7	3 - 2X10
BM3	2 - 2X8	BM8	4 - 2X10
BM4	3 - 2X8	BM9	2 - 2X12
BM5	4 - 2X8	BM10	3 - 2X12

LVL1	1 3/4" X 7 1/4" 2.OE LVL
LVL2	2 - 1 3/4" X 7 1/4" 2.OE LVL
LVL3	3 - 1 3/4" X 7 1/4" 2.OE LVL
LVL4	1 3/4" X 9 1/2" 2.OE LVL
LVL5	2 - 1 3/4" X 9 1/2" 2.OE LVL
LVL6	3 - 1 3/4" X 9 1/2" 2.OE LVL
LVL7	4 - 1 3/4" X 9 1/2" 2.OE LVL
LVL8	1 3/4" X 11 7/8" 2.OE LVL
LVL9	2 - 1 3/4" X 11 7/8" 2.OE LVL
LVL10	3 - 1 3/4" X 11 7/8" 2.OE LVL
LVL11	4 - 1 3/4" X 11 7/8" 2.OE LVL
LVL12	1 3/4" X 14" 2.OE LVL
LVL13	2 - 1 3/4" X 14" 2.OE LVL

TABLE 3.1.1.2.A (IP) - ZONE 1
COMPLIANCE PACKAGE 'A1'

COMPONENT	THERMAL VALUES	
CEILING WITH ATTIC SPACE	MINIMUM NOMINAL R MINIMUM EFFECTIVE R	60 59.22
CEILING WITHOUT ATTIC SPACE	MINIMUM NOMINAL R MINIMUM EFFECTIVE R	31 21.65
EXPOSED FLOOR	MINIMUM NOMINAL R MINIMUM EFFECTIVE R	31 21.65
WALLS ABOVE GRADE	MINIMUM NOMINAL R MINIMUM EFFECTIVE R	22 17.03
BASEMENT WALLS	MINIMUM NOMINAL (R)-VALUE MINIMUM EFFECTIVE R	20c1 OR 12 + 10c1 21.12
BELOW GRADE SLAB ENTIRE SURFACE > 600 MM BELOW GRADE	MINIMUM NOMINAL (R)-VALUE MINIMUM EFFECTIVE R	- -
HEATED GRADE SLAB OR SLAB <= 600 MM BELOW GRADE	MINIMUM NOMINAL (R)-VALUE MINIMUM EFFECTIVE R	10 11.13
EDGE OF BELOW GRADE SLAB <= 600 MM BELOW GRADE	MINIMUM NOMINAL (R)-VALUE	10
WINDOWS AND SLIDING GLASS DOORS	MAX U ENERGY RATING	10 10
SKYLIGHTS	MAX U	0.49
SPACE HEATING EQUIPMENT	MINIMUM AFUE	96%
HVAC	MINIMUM SE	75%
DOMESTIC HOT WATER HEATER	MINIMUM EF	0.80

CONSTRUCTION DETAILS

1

STRIP FOOTINGS

20" WIDE X 6" DEEP CONTINUOUS FOUR CONCRETE FOOTING

2

CONC. FOUNDATION WALLS

WATERPROOF DRAINAGE MEMBRANE ON BITUMINOUS ASPHALT DAMPROOFING ON 1/2" FARGING ON 10" THICK POURED CONCRETE WALL

3

DRAINAGE LAYER

4" DIA WEEPING TILE W/ 6" 3/4" CLEAR STONE COVER MIN.

4A

EXTERIOR WALL - SIDING

VINYL BOARD AND BATTEN SIDING R5 ZIP PANEL'S COMPLETE WITH Z TAPE. SEAL ALL BEAMS AND EDGES 2X6 WOOD STUDS AT 16" O.C. R22 BATT INSULATION W/ 6 MIL POLY VAPOUR BARRIER 1/2" GYPSUM WALLBOARD TAPED AND FINISHED

4B

GARAGE WALLS - STONE

4" STONE VENEER 1" AIR SPACE .003 THICK X 1/8" WIDE GALVANIZED SPIRAL NAILS OR SCREWS 32" O.C. HORIZ., 16" O.C. VERT. TYVEK AIR BARRIER 1/2" EXTERIOR GRADE SHEATHING 2X6 WOOD STUDS AT 16" O.C. R22 BATT INSULATION (OPT.) 6 MIL POLY VAPOUR BARRIER (OPT.) 1/2" PLYWOOD SHEATHING (OPT.) 1/2" GYPSUM WALLBOARD

4C

GARAGE WALLS - SIDING

VINYL BOARD AND BATTEN SIDING R5 ZIP PANEL'S COMPLETE WITH Z TAPE. SEAL ALL BEAMS AND EDGES 2X6 WOOD STUDS AT 16" O.C. R22 INSULATION (OPT.) W/ 6 MIL POLY VAPOUR BARRIER (OPT.) 1/2" PLYWOOD SHEATHING 1/2" GYPSUM WALLBOARD TAPED AND FINISHED

4D

INTERIOR STUD PARTITION

1/2" DRYWALL ON BOTH SIDES OF 2X4 WOOD STUDS AT 16" O.C. OR 2X6 WOOD STUDS AT 16" O.C. AS INDICATED

5A

FLOOR - GARAGE

5" MIN. CONCRETE SLAB ON 6" MIN. WELL COMPACTED GRANULAR 'A' BASE WITH 6X6 WIRE MESH REINFORCEMENT

5B

FLOOR - EUP

14" DEEP PRE-ENGINEERED FLOOR JOISTS AT 16" O.C. WITH 3/4" SUBFLOOR GLUED AND NAILED

6

FLOOR INSULATION

CONTINUOUS HEADER JOIST WITH R22 BATT INSULATION EXTEND VAPOUR/AIR BARRIER & SEAL TO JOIST AND SUBFLOOR

7A

R60 CEILING

1/2" INTERIOR DRYWALL FINISH CONTINUOUS AIR/VAPOUR BARRIER MIN. R60 BATT INSULATION

7B

GARAGE CEILING

1/2" INTERIOR DRYWALL FINISH 2 COATS OF JOIST COMPOUND

7C

CATHEDRAL CEILING (BATT)

CONTINUOUS AIR/VAPOUR BARRIER MIN. R31 BATT INSULATION 2 1/2" AIR VENTILATION SPACE BELOW W/S ROOF SHEATHING 1/2" C.B., TAPED AND FINISHED

8A

PRE-ENGINEERED TRUSSES

30 YEAR ASPHALT SHINGLES (SELECTION BY OWNER) METAL EAVE STARTER 36" EAVES PROTECTION 1/2" SPRUCE PLYWOOD SHEATHING COMPLETE WITH 'H' FLYCLIPS PRE-ENGINEERED ROOF TRUSSES AT 24" O.C. (SEE LAYOUT FROM SUPPLIER)

8B

STICK FRAMED ROOF

30 YEAR ASPHALT SHINGLES (SELECTION BY OWNER) METAL EAVE STARTER 36" EAVES PROTECTION 1/2" SPRUCE PLYWOOD SHEATHING COMPLETE WITH 'H' FLYCLIPS 2X6 ROOF RAFTERS AT 16" O.C. 2X6 CEILING JOISTS AT 16" O.C.

9

ROOF VENTILATION

ROOF VENTS UNIFORMLY DISTRIBUTED EQUAL TO 1:300 OF INSULATED CEILING AREA

10

STOVE VENT

CAPPED (STOVE/DRYER) EXHAUST VENTED TO EXTERIOR, CONFORMING TO PART 6, OBC 9.32.1.5(1)

11

ATTIC ACCESS

PROVIDE ATTIC ACCESS MIN 20" X 24" W/INSULATION AND WEATHERSTRIPPING

12

EXTERIOR SOFFIT & FASCIA

PREFINISHED ALUMINUM SOFFIT, FASCIA, EAVES AND DOWNSPOUT. 36" EAVES PROTECTION

13

STEPPED FOOTINGS

VERTICAL RISE 15 3/4" MAX FOR SAND / GRAVEL 23 5/8" FOR FIRM SOIL HORIZONTAL RUN 23 5/8" * WINDOW REINFORCING * PROVIDE 2-15M BARS ON EACH SIDE OF OPENING AND AT SILL WITH 2" COVERAGE.

14

HANDRAIL / GUARDS

(REFER TO O.B.C. 9.8 & 9B-7)

INTERIOR LANDING: 3'-0"
EXTERIOR LANDING 3'-6"
EXTERIOR STAIRS 3'-0"
INTERIOR STAIRS 2'-9"
MINIMUM STAIR WIDTH 2'-10"
MAX BETWEEN PICKETS 4"
EXTERIOR GUARDS AT LANDINGS MAY BE 2'-8" IF LESS THAN 4'-0" TO GRADE LEVEL

15

STAIRS (TABLE 9.8.4.2)

MAXIMUM RISE: 7 1/8"
MINIMUM RUN 10"
MAXIMUM NOSING 1"
MINIMUM WIDTH 2'-10"
MINIMUM HEADROOM 6'-5"

16

METAL FLASHING

MIN 3" UP BEHIND SHEATHING MN 3" HORIZONTAL OVER ROOF

NO.	DATE:	ISSUE / REVISION
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2		
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4		
5		

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USE LATEST REVISED DRAWINGS.

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QUALIFICATION INFORMATION

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FACEBOOK.COM/DETAILSMATTER2007
@DETAILSMATTER07

PROJECT:
217 HUME ROAD
PUSLINCH, ONTARIO

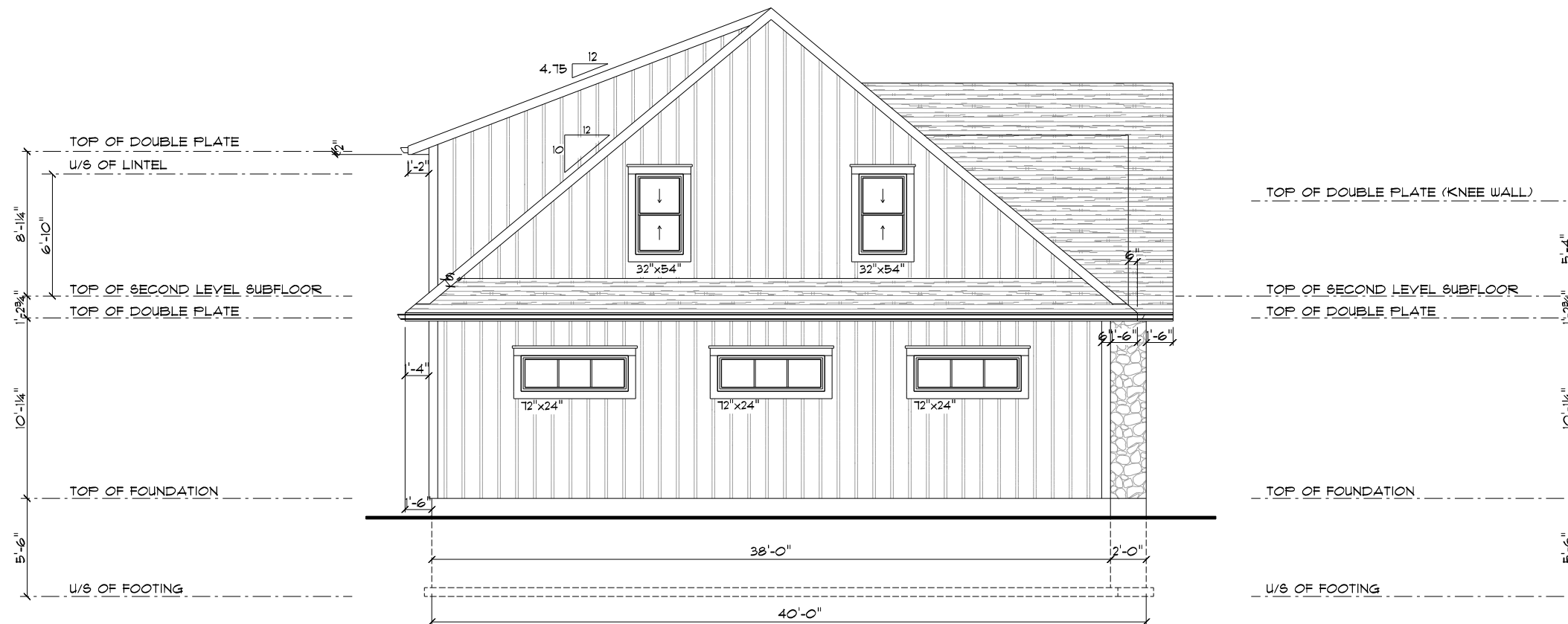
SHEET TITLE:

DRAWN BY: S.K.W.	CHECKED BY: S.K.W.	
SCALE:	DATE: MAR 2022	PROJECT NO: DM22-009

DRAWING NO:
A1



FRONT ELEVATION



LEFT ELEVATION

NO.	DATE:	ISSUE / REVISION
1	06-10-22	FOR C.O.A.
2		
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SHANE K WILSON
FIRM NAME: DETAILS MATTER 39141


M. 905.870.8445
SHANE@DETAILSMATTER.CA WWW.DETAILSMATTER.CA

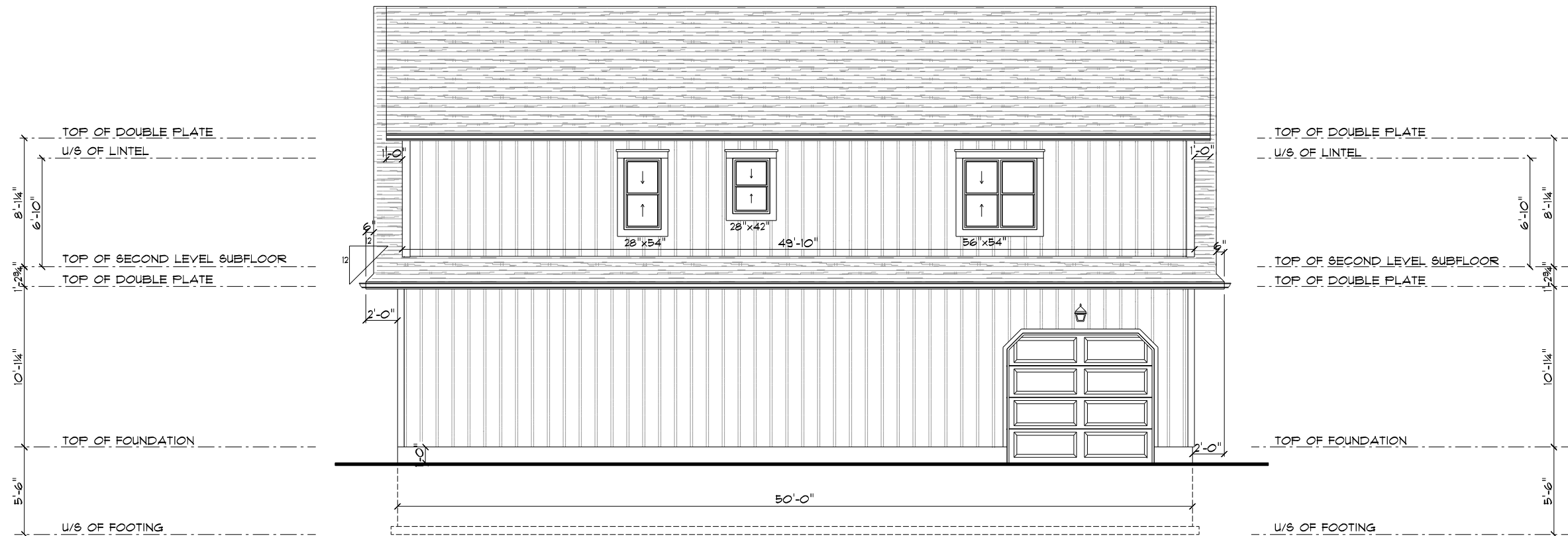
FACEBOOK.COM/DETAILSMATTER2007
@DETAILSMATTER07

PROJECT:
217 HUME ROAD
PUSLINCH, ONTARIO

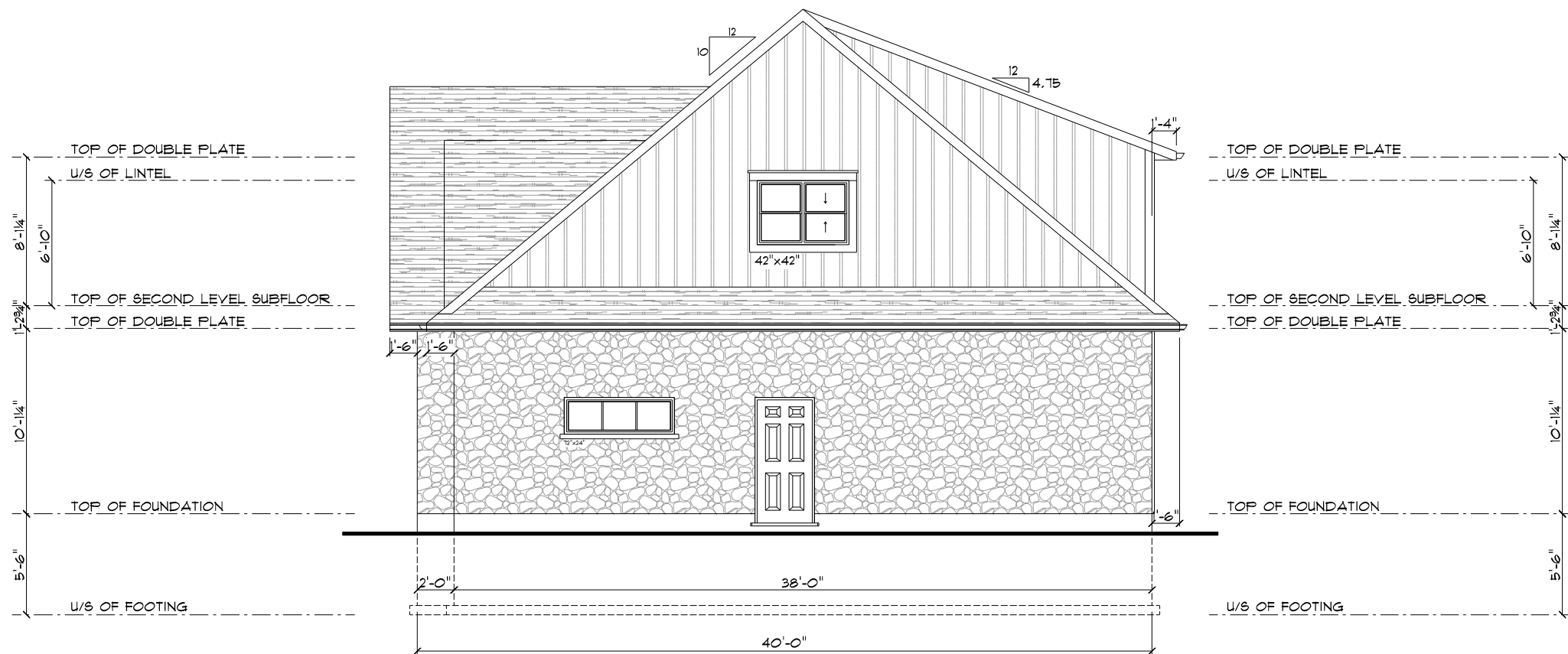
SHEET TITLE:
**FRONT AND LEFT
ELEVATIONS**

DRAWN BY: S.K.W.	CHECKED BY: S.K.W.	
SCALE: 1/8" = 1'-0"	DATE: MAR 2022	PROJECT NO: DM22-009

DRAWING NO:
A2



REAR ELEVATION



RIGHT ELEVATION

NO.	DATE:	ISSUE / REVISION
1	06-10-22	FOR C.O.A.
2		
3		
4		
5		

GENERAL NOTES:

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USE LATEST REVISED DRAWINGS.

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SHANE K WILSON
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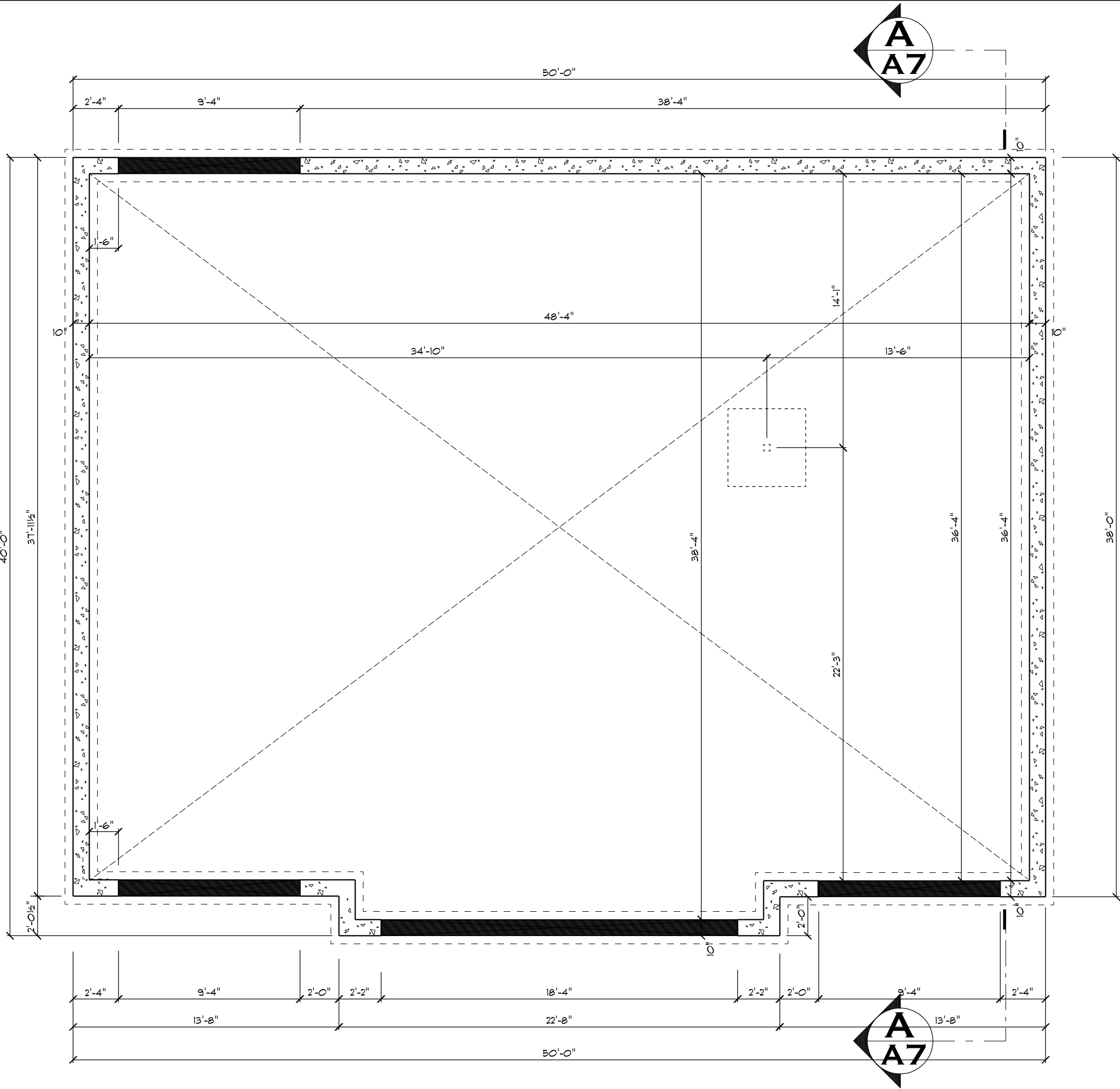
FACEBOOK.COM/DETAILSMATTER2007
@DETAILSMATTER07

PROJECT:
217 HUME ROAD
PUSLINCH, ONTARIO

SHEET TITLE:
REAR AND RIGHT
ELEVATIONS

DRAWN BY: S.K.W.	CHECKED BY: S.K.W.	
SCALE: 1/8" = 1'-0"	DATE: MAR 2022	PROJECT NO: DM22-009

DRAWING NO:
A3



NO.	DATE:	ISSUE / REVISION
1	06-10-22	FOR C.O.A.
2		
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SHANE@DETAILSMATTER.CA WWW.DETAILSMATTER.CA

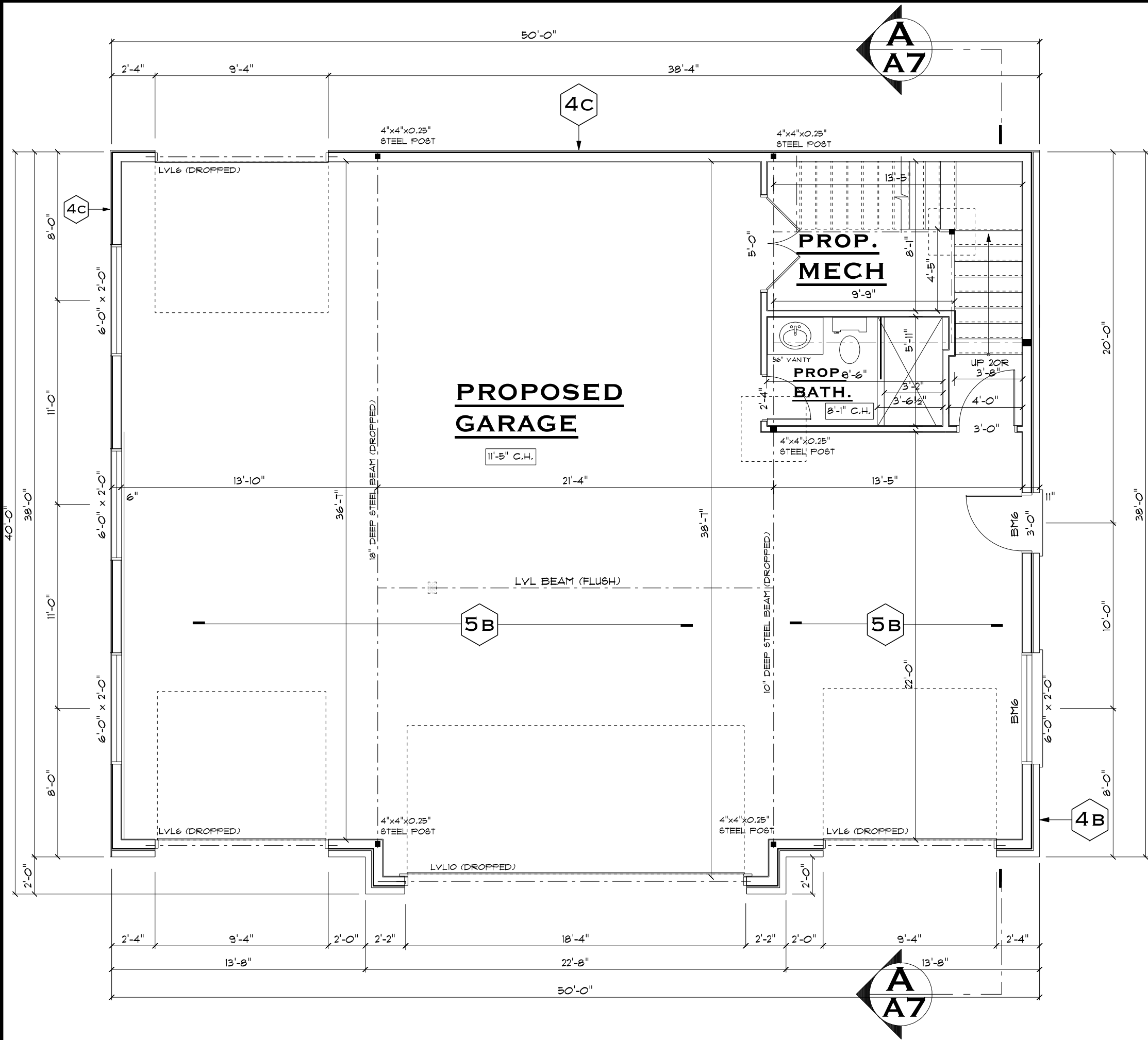
FACEBOOK.COM/DETAILSMATTER2007@DETAILSMATTER07

PROJECT:
217 HUME ROAD
PUSLINCH, ONTARIO

SHEET TITLE:
**FOUNDATION
PLAN**

DRAWN BY: S.K.W.	CHECKED BY: S.K.W.	
SCALE: 3/16" = 1'-0"	DATE: MAR 2022	PROJECT NO: DM22-009

DRAWING NO:
A4



BM1	2 - 2X6	BM6	2 - 2X10
BM2	3 - 2X6	BM7	3 - 2X10
BM3	2 - 2X8	BM8	4 - 2X10
BM4	3 - 2X8	BM9	2 - 2X12
BM5	4 - 2X8	BM10	3 - 2X12

LVL1	1 3/4" X 7 1/4" 2.OE LVL	LVL11	4 - 1 3/4" X 11 7/8" 2.OE LVL
LVL2	2 - 1 3/4" X 7 1/4" 2.OE LVL	LVL12	1 3/4" X 14" 2.OE LVL
LVL3	3 - 1 3/4" X 7 1/4" 2.OE LVL	LVL13	2 - 1 3/4" X 14" 2.OE LVL
LVL4	1 3/4" X 9 1/2" 2.OE LVL		
LVL5	2 - 1 3/4" X 9 1/2" 2.OE LVL		
LVL6	3 - 1 3/4" X 9 1/2" 2.OE LVL		
LVL7	4 - 1 3/4" X 9 1/2" 2.OE LVL		
LVL8	1 3/4" X 11 7/8" 2.OE LVL		
LVL9	2 - 1 3/4" X 11 7/8" 2.OE LVL		
LVL10	3 - 1 3/4" X 11 7/8" 2.OE LVL		

NO.	DATE:	ISSUE / REVISION
1	06-10-22	FOR C.O.A.
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GENERAL NOTES:

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SHANE K WILSON
FIRM NAME: DETAILS MATTER 39141



M. 905.870.8445
SHANE@DETAILSMATTER.CA WWW.DETAILSMATTER.CA

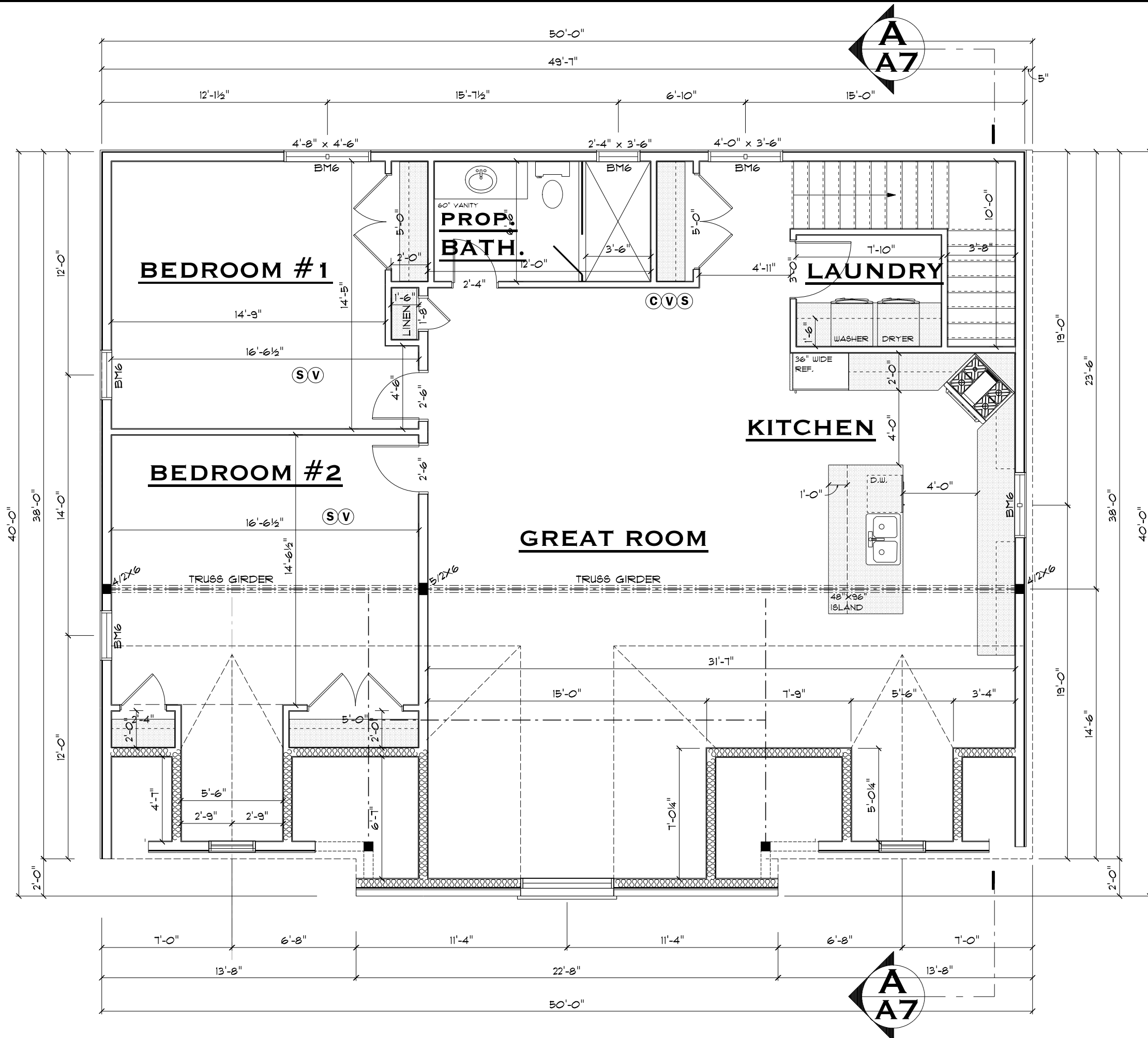
FACEBOOK.COM/DETAILSMATTER2007@DETAILSMATTER07

PROJECT:
217 HUME ROAD
PUSLINCH, ONTARIO

SHEET TITLE:
MAIN FLOOR PLAN
1,945.3 SF

DRAWN BY:	CHECKED BY:	
S.K.W.	S.K.W.	
SCALE:	DATE:	PROJECT NO:
3/16" = 1'-0"	MAR 2022	DM22-009

DRAWING NO:
A5



S	5A: SMOKE ALARMS SHALL BE LOCATED WITHIN EACH BEDROOM AND EACH ADJACENT HALLWAY OR SPACE. 9.10.19.3.(1) DIV. B, OBC, TYPICAL.
V	V: VISUAL SIGNALLING COMPONENTS SHALL BE LOCATED WHERE EACH SMOKE ALARM IS REQUIRED. SHALL BE INTERCONNECTED WITH BATTERY BACK UP, SHALL HAVE SYNCHRONIZED FLASH RATES 9.10.19.1(3) AND SHALL CONFORM TO 18.5.3. NFPA 12 FOR LIGHT, COLOUR AND CHARACTERISTICS, TYPICAL.
C	C: CARBON MONOXIDE ALARMS SHALL BE LOCATED ADJACENT TO EACH BEDROOM 9.33.4. DIV. B, OBC TYPICAL.

NO.	DATE:	ISSUE / REVISION
1	06-10-22	FOR C.O.A.
2		
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SHANE K WILSON
FIRM NAME: DETAILS MATTER 39141

Details Matter

M. 905.870.8445
SHANE@DETAILSMATTER.CA WWW.DETAILSMATTER.CA

FACEBOOK.COM/DETAILSMATTER2007
@DETAILSMATTER07

PROJECT:
217 HUME ROAD
PUSLINCH, ONTARIO

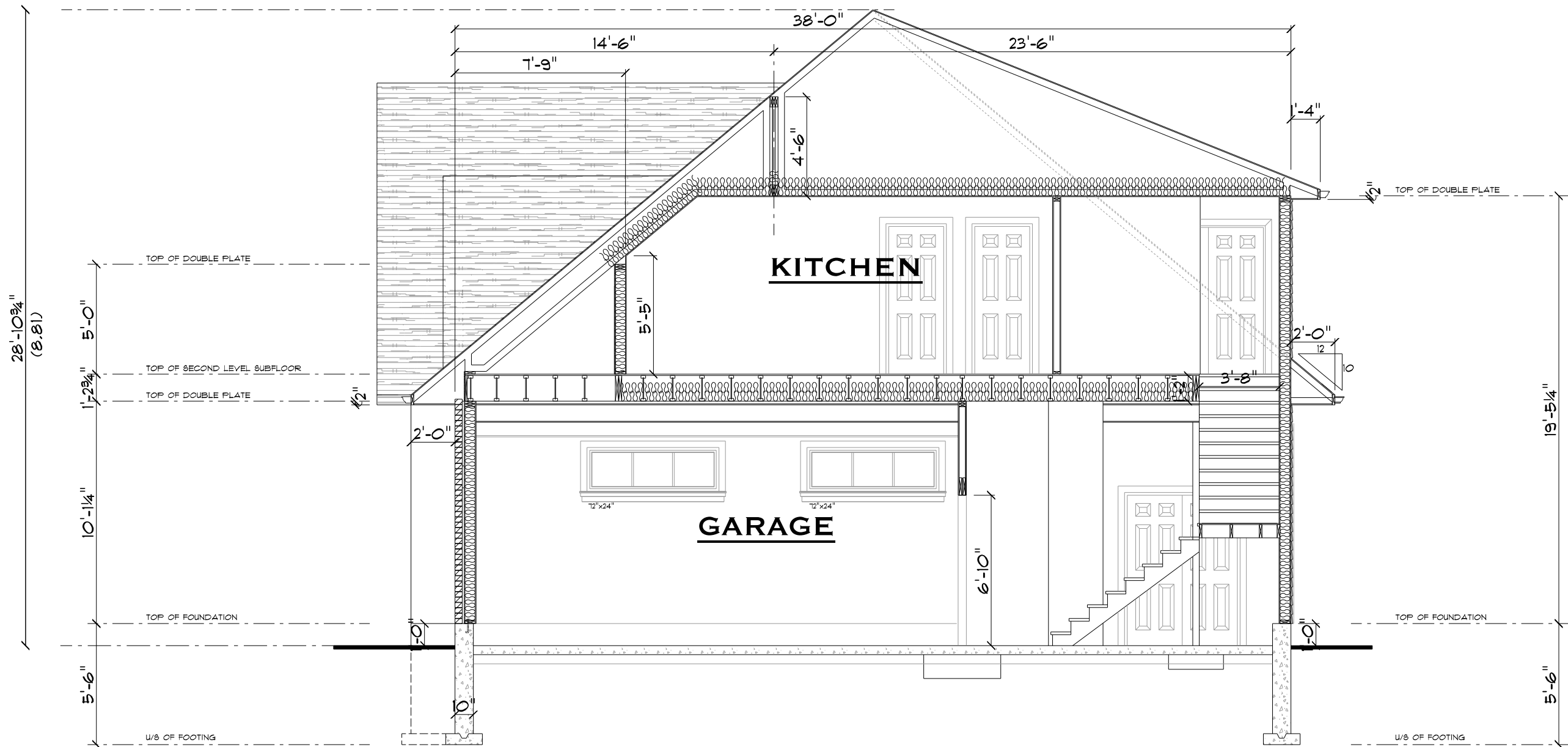
SHEET TITLE:
SECOND FLOOR PLAN
1,789.0 SF

BM1	2 - 2X6	BM6	2 - 2X10
BM2	3 - 2X6	BM7	3 - 2X10
BM3	2 - 2X8	BM8	4 - 2X10
BM4	3 - 2X8	BM9	2 - 2X12
BM5	4 - 2X8	BM10	3 - 2X12

LVL1	1 3/4" X 7 1/4" 2.OE LVL	LVL1	1 3/4" X 7 1/4" 2.OE LVL
LVL2	2 - 1 3/4" X 7 1/4" 2.OE LVL	LVL2	2 - 1 3/4" X 7 1/4" 2.OE LVL
LVL3	3 - 1 3/4" X 7 1/4" 2.OE LVL	LVL3	3 - 1 3/4" X 7 1/4" 2.OE LVL
LVL4	1 3/4" X 9 1/2" 2.OE LVL	LVL4	1 3/4" X 9 1/2" 2.OE LVL
LVL5	2 - 1 3/4" X 9 1/2" 2.OE LVL	LVL5	2 - 1 3/4" X 9 1/2" 2.OE LVL
LVL6	3 - 1 3/4" X 9 1/2" 2.OE LVL	LVL6	3 - 1 3/4" X 9 1/2" 2.OE LVL
LVL7	4 - 1 3/4" X 9 1/2" 2.OE LVL	LVL7	4 - 1 3/4" X 9 1/2" 2.OE LVL
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LVL10	3 - 1 3/4" X 11 7/8" 2.OE LVL	LVL10	3 - 1 3/4" X 11 7/8" 2.OE LVL
LVL11	4 - 1 3/4" X 11 7/8" 2.OE LVL	LVL11	4 - 1 3/4" X 11 7/8" 2.OE LVL
LVL12	1 3/4" X 14" 2.OE LVL	LVL12	1 3/4" X 14" 2.OE LVL
LVL13	2 - 1 3/4" X 14" 2.OE LVL	LVL13	2 - 1 3/4" X 14" 2.OE LVL

DRAWN BY:	CHECKED BY:	
S.K.W.	S.K.W.	
SCALE:	DATE:	PROJECT NO:
3/16" = 1'-0"	MAR 2022	DM22-009

DRAWING NO:
A6



CROSS SECTION A-A

NO.	DATE:	ISSUE / REVISION
1	06-10-22	FOR C.O.A.
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SHANE K WILSON
FIRM NAME: DETAILS MATTER 39141

Details Matter

M. 905.870.8445
SHANE@DETAILSMATTER.CA WWW.DETAILSMATTER.CA

FACEBOOK.COM/DETAILSMATTER2007
@DETAILSMATTER07

PROJECT:
217 HUME ROAD
PUSLINCH, ONTARIO

SHEET TITLE:
**CROSS SECTION
A-A**

DRAWN BY: S.K.W.	CHECKED BY: S.K.W.	
SCALE: 3/16" = 1'-0"	DATE: MAR 2022	PROJECT NO: DM22-009

DRAWING NO:
A7

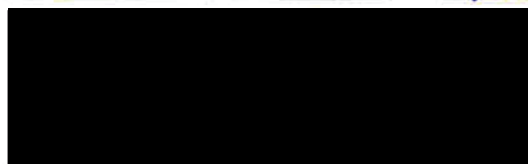
Authorization for Agent/Solicitor to act for Owner:

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

I (we) J. Paul Haynes of the
Township of Puslinch County/Region of
Wellington do hereby authorize
Shane Wilson to act as my agent in this application.
J. Paul Haynes June 15, 2022
 Signature of Owner(s) Date

Affidavit:

I (we) J. Paul Haynes of the
Township of Puslinch County/Region of
Wellington solemnly declare that all the statements
 contained in this application are true, and I, (we), make this solemn declaration
 conscientiously believing it to be true, and knowing that it is of the same force and effect
 as if made under oath and by virtue of the CANADA EVIDENCE ACT. DECLARED
 before me at the Office of The Township of Puslinch in the
 County/Region of Wellington this 20th day of
June, 20 22



Signature of Owner or authorized
 Hillary Noel Miller, Commissioner, etc.,
 Province of Ontario, for the Corporation of the
 Township of Puslinch.

Expires August 21, 2024.

Signature of Commissioner

June 20/2022
 Date

June 20/2022
 Date

Sworn (or Affirmed or Declared) remotely by

Allison Tait

of (City, Town, etc.) of Guelph

in the (County, Regional Municipality, etc.) of Wellington

before me at the (City, Town, etc.) of Kitchener

in the (County, Regional Municipality, etc.) of Regional Municipality of Waterloo

on 7/5/2022

(date) in accordance with O.Reg. 431/20, Administering Oath or Declaration Remotely

Commissioner for Taking Affidavits
Township of Puslinch
County of Wellington

Sealed by: The Corporation of the Township of Puslinch

Sealed Time: 7/5/2022



July 26, 2022

via email

GRCA File: D13-HAY – 217 Hume Road

Lynne Banks
Township of Puslinch
7404 Wellington Road 34
Puslinch, ON N0B 2J0

Dear Ms. Banks,

Re: Minor Variance Application D13/HAY
217 Hume Road, Township of Puslinch
J. Paul Haynes and Allison Tait

Grand River Conservation Authority (GRCA) staff has reviewed the above-noted minor variance application requesting an increased floor area for a proposed accessory apartment.

Recommendation

The Grand River Conservation Authority (GRCA) has no objection to the proposed minor variance application.

GRCA Comments

GRCA has reviewed this application as per our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS, 2020) and as a regulatory authority under Ontario Regulation 150/06. GRCA has also provided comments as per our Memorandum of Understanding (MOU) with the County of Wellington and as a public body under the Planning Act as per our CA Board approved policies.

Information currently available at this office indicates that the subject property contains the provincially significant Arkell Corwhin Wetland Complex, floodplain, valley slopes and the associated regulated allowances. A copy of our resource mapping is attached.

Due to the presence of the above-noted features, a portion of the subject property is regulated by the GRCA under Ontario Regulation 150/06 - Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Regulation. Any future development or other alteration within the regulated area will require prior written approval from GRCA in the form of a permit pursuant to Ontario Regulation 150/06.

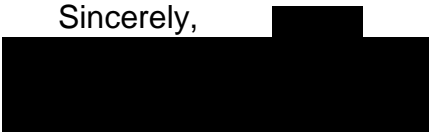
The GRCA has issued Permit 434/22 for the proposed accessory apartment and the plans circulated with this application are consistent with the plans approved under the GRCA permit noted above. GRCA staff do not anticipate negative impacts to the adjacent features as a result of this application or the proposed development. As such, we have no objection to the approval of the application by the Township of Puslinch.

We wish to note that this application may be subject to Growth Plan policies for key hydrologic features and suggest that the Township/County consider the applicable policies in their review of this application.

Consistent with GRCA's 2022 approved fee schedule, this application is considered a 'minor' minor variance and the applicant will be invoiced in the amount of \$290.00 for the GRCA's review of this application.

Should you have any questions, please contact me at 519-621-2763 ext. 2228 or aherreman@grandriver.ca.

Sincerely,



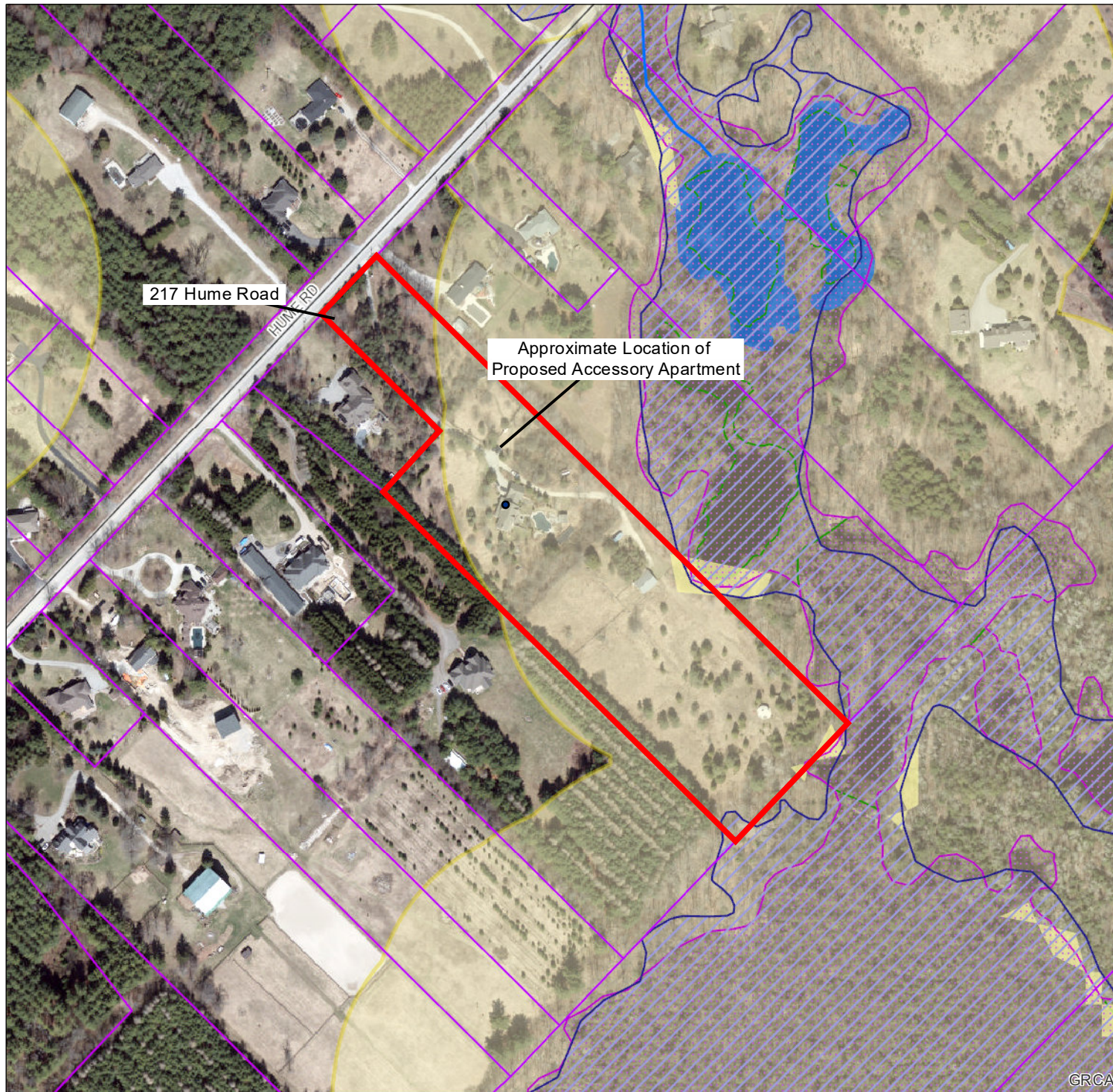
Andrew Herreman, CPT
Resource Planning Technician
Grand River Conservation Authority

Enclosed: GRCA Mapping

Copy: J. Paul Haynes & Allison Tait (via email)
Shane K Wilson (via email)



D13/HAY - 217 Hume Road



Legend

- Regulation Limit (GRCA)
- Regulated Watercourse (GRCA)
- Regulated Waterbody (GRCA)
- Wetland (GRCA)
- Floodplain (GRCA)
 - Engineered
 - Estimated
 - Approximate
 - Special Policy Area
- Slope Valley (GRCA)
 - Steep
 - Oversteep
 - Steep
- Slope Erosion (GRCA)
 - Oversteep
 - Toe
- Lake Erie Flood (GRCA)
- Lake Erie Shoreline Reach (GRCA)
- Lake Erie Dynamic Beach (GRCA)
- Lake Erie Erosion (GRCA)
- Parcel - Assessment (MPAC/MNRF)

This legend is static and may not fully reflect the layers shown on the map. The text of Ontario Regulation 150/06 supercedes the mapping as represented by these layers.

Copyright Grand River Conservation Authority, 2022.
Disclaimer: This map is for illustrative purposes only. Information contained herein is not a substitute for professional review or a site survey and is subject to change without notice. The Grand River Conservation Authority takes no responsibility for, nor guarantees, the accuracy of the information contained on this map. Any interpretations or conclusions drawn from this map are the sole responsibility of the user.
The source for each data layer is shown in parentheses in the map legend. For a complete listing of sources and citations go to: <https://maps.grandriver.ca/Sources-and-Citations.pdf>



Hillary Miller

From: Andrew Hartholt
Sent: Wednesday, July 20, 2022 4:55 PM
To: Hillary Miller
Subject: RE: Minor Variance Notice of Public Hearing - D13/HAY - 217 Hume Road

Hillary,

I have no concerns from a building code perspective for the increased area from 130m2 to 166.2m2.

Technical items (structural, exits and fire separations) for the accessory apartment will be addressed through the building permit process.



Andrew Hartholt, CBCO/CRBO
Chief Building Official
Township of Puslinch
7404 Wellington Rd. 34, Puslinch, ON N0B 2J0
P: 519-763-1226 ext. 229/Fax: 519-763-5846 www.puslinch.ca



Puslinch.ca/Votes2022

From: Hillary Miller <hmiller@puslinch.ca>
Sent: Monday, July 18, 2022 4:09 PM
To: Brent Smith <bsmith@puslinch.ca>; Mike Fowler <mfowler@puslinch.ca>; Andrew Hartholt <ahartholt@puslinch.ca>; Building <building@puslinch.ca>; Services <services@puslinch.ca>; Jeff Bunn <jbunn@puslinch.ca>; Lynne Banks <lbanks@puslinch.ca>; Jacob Normore <jnormore@puslinch.ca>
Subject: Minor Variance Notice of Public Hearing - D13/HAY - 217 Hume Road

Good afternoon,

Attached please find the Notice of Public Hearing with respect to the above property, for your review and comment. Please provide any comments you might have by noon on Wednesday, July 27, 2022.

Kind regards,



Hillary Miller
Legislative Assistant
Township of Puslinch
7404 Wellington Rd. 34, Puslinch, ON N0B 2J0
P: 519-763-1226 x207/Fax: 519-763-5846 www.puslinch.ca

Hillary Miller

From: Brent Smith
Sent: Friday, July 22, 2022 10:46 AM
To: Hillary Miller
Subject: RE: Minor Variance Notice of Public Hearing - D13/HAY - 217 Hume Road

Hi Hillary,

Puslinch fire and Rescue Services have reviewed the minor variance request for 217 Hume road on July, 22, 2022. The department has no concerns with increasing the size of the unit providing a building permit, and electrical permit are obtained for the construction of the unit.

Thanks

Brent Smith

From: Hillary Miller <hmill@puslinch.ca>
Sent: Monday, July 18, 2022 4:09 PM
To: Brent Smith <bsmith@puslinch.ca>; Mike Fowler <mfowler@puslinch.ca>; Andrew Hartholt <ahartholt@puslinch.ca>; Building <building@puslinch.ca>; Services <services@puslinch.ca>; Jeff Bunn <jbunn@puslinch.ca>; Lynne Banks <lbanks@puslinch.ca>; Jacob Normore <jnormore@puslinch.ca>
Subject: Minor Variance Notice of Public Hearing - D13/HAY - 217 Hume Road

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Kind regards,



Hillary Miller
Legislative Assistant
Township of Puslinch
7404 Wellington Rd. 34, Puslinch, ON N0B 2J0
P: 519-763-1226 x207/Fax: 519-763-5846 www.puslinch.ca



Hillary Miller

From: Source Water <sourcewater@centrewellington.ca>
Sent: Wednesday, July 20, 2022 1:24 PM
To: Hillary Miller
Cc: Source Water
Subject: RE: Minor Variance Notice of Public Hearing - D13/HAY - 217 Hume Road
Attachments: WHPA_Map_Hume_217.pdf

Hi Hillary,

Thank you for providing the above referenced application for review. Since this property is located in a vulnerable area (wellhead protection area, issues contributing area, intake protection zone etc.), but the activity(ies), as indicated, would not create a significant drinking water threat, the application can be screened out and it does not require a Section 59 notice under the *Clean Water Act*.

I have attached a map showing the property and Wellhead Protection Areas for your reference.

If you have any further questions regarding this application, or in the event of any technical problem with the email or attachments, please contact me.

Kind regards,
Danielle

Danielle Walker (she/ her) | Source Protection Coordinator

Wellington Source Water Protection | 7444 Wellington Road 21, Elora, ON, N0B 1S0
519.846.9691 x236 | DWalker@centrewellington.ca | www.wellingtonwater.ca
Toll free: 1-844-383-9800

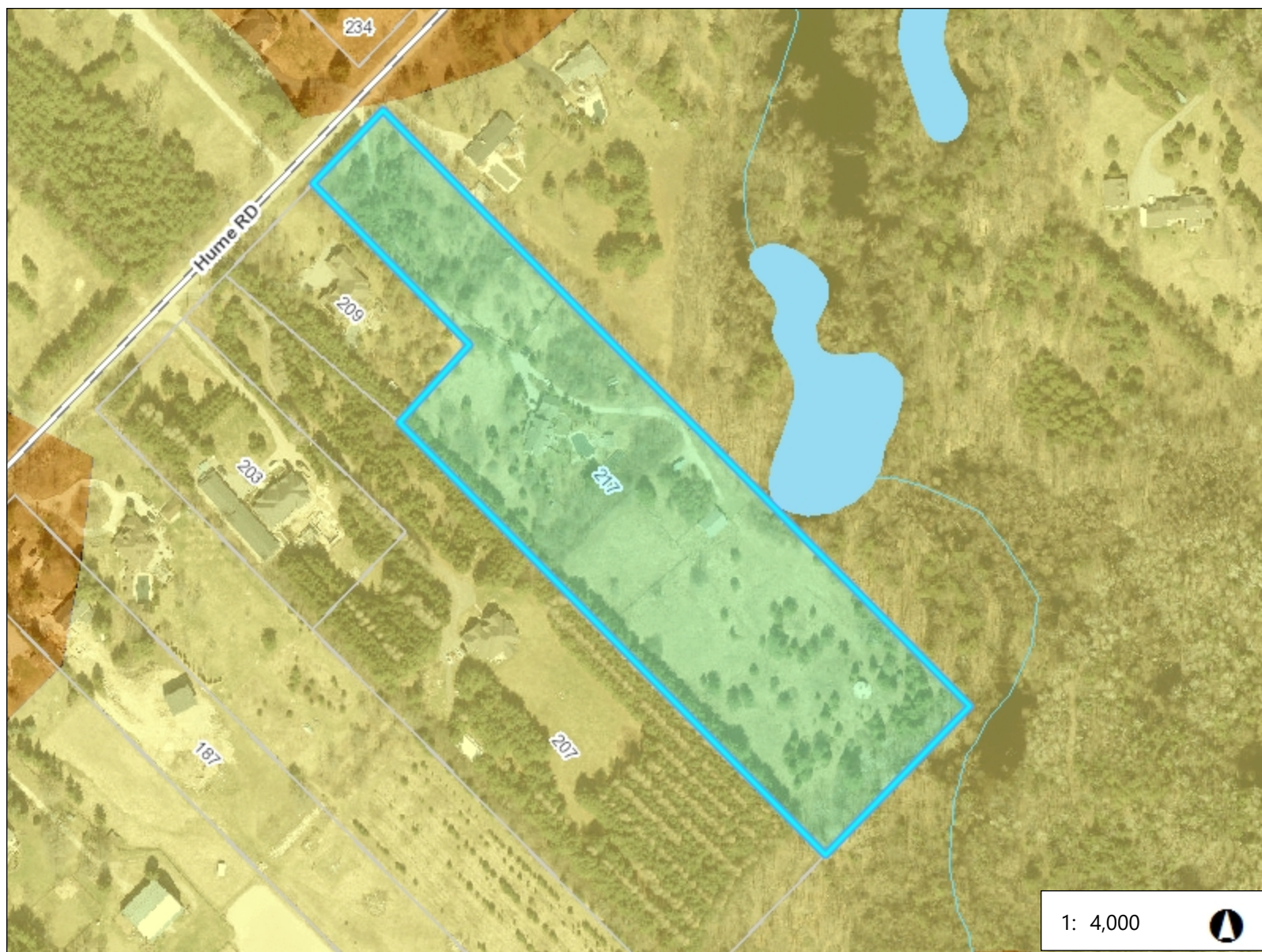
Wellington Source Water Protection is a municipal partnership between the Townships of Centre Wellington, Guelph / Eramosa, Mapleton, Puslinch, Wellington North, the Towns of Erin and Minto and the County of Wellington created to protect existing and future sources of drinking water.

From: Hillary Miller <hmiller@puslinch.ca>
Sent: July 18, 2022 4:06 PM
To: Source Water <sourcewater@centrewellington.ca>
Subject: Minor Variance Notice of Public Hearing - D13/HAY - 217 Hume Road

Good afternoon,

Attached please find the Notice of Public Hearing with respect to the above property, for your review and comment. Please provide any comments you might have by noon on Wednesday, July 27, 2022.

Kind regards,



Legend

- Parcels
- Roads
 - Local Road
 - County Road
 - Highway
- Conservation Authority Boundaries
- Waterbodies
- Watercourses
- Well Locations
- Wellhead Protection Area Boundaries
 - A
 - B
 - C
 - D
- Issue Contributing Area
 - Chloride
 - Nitrate
 - Sodium
 - TCE
- Vulnerability Score
 - 10
 - 8, D; 8, C
 - 2, 4, 6 (A, B or C)
 - 2, 4, 6, D; 2, 4, D; 2, 4, 6 (D); 4, D; 6, D
- HVA Roadlookup

0.2 0 0.10 0.2 Kilometers

Notes



PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department

DATE: August 9th, 2022
TO: Lynne Banks, Secretary-Treasurer
Township of Puslinch
FROM: Asavari Jadhav, Junior Planner
Joanna Salsberg, Planner
County of Wellington
SUBJECT: **MINOR VARIANCE APPLICATION D13/HAY (J Paul Haynes & Allison Tait)**
217 Hume Road, Puslinch
Concession 10 Part Lot 11 RP;61R11196 Part 2
ATTACHMENTS: 1. Site Plan
2. Architectural Plans

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

Planning Opinion

The variance requested would provide relief from Section 4.2 (a)(i) of the Zoning By-law to facilitate construction of an Accessory Residential Unit (ARU) above a detached accessory structure (garage). The ARU is proposed to have a floor area of 166.2m², whereas a maximum floor area of 130 m² is permitted by the by-law.

The minor variance application would maintain the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property provided that the Grand River Conservation Authority (GRCA) has no concerns. We consider the request minor and have no concerns with the application.

Proposal:

Regulation	By-law Section	Required	Proposed	Relief Requested
Additional Residential Unit – Maximum Total Floor Area	4.2 (a)(i)	130 m ²	166.2 m ²	36.2 m ²

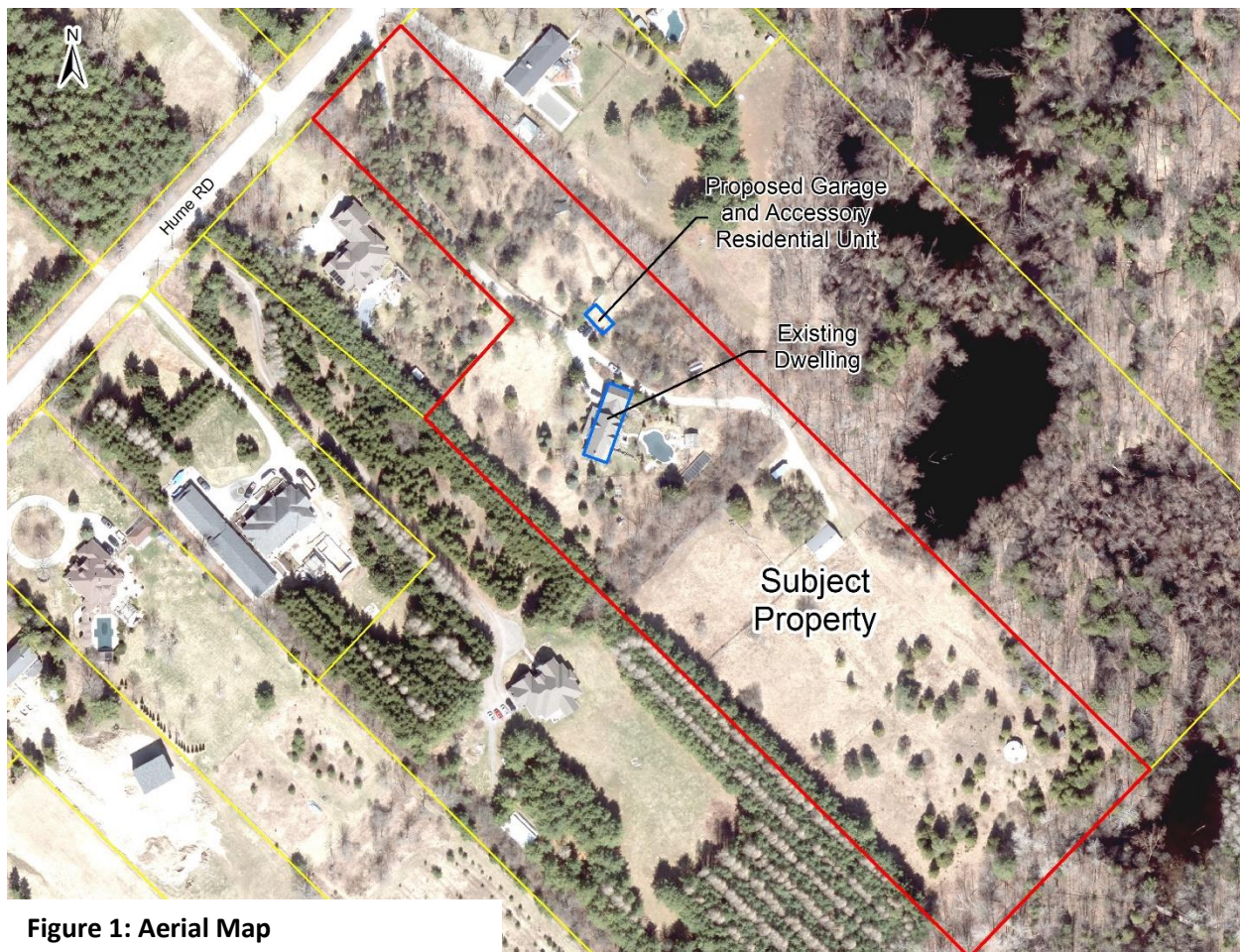


Figure 1: Aerial Map

Our discussion of this application relative to the four tests under the *Planning Act* is as follows:

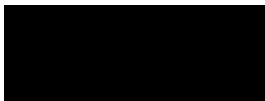
Four Tests	Discussion
That the requested variance is minor in nature	<ul style="list-style-type: none"> • The subject property is approximately 3.44 ha (8.5 ac) in size and contains an existing two-storey dwelling, pool, and an existing ancillary building. • The applicant has indicated that their intent is to build a 4 bay garage to park cars with the 2nd floor fully devoted to an Additional Residential Unit (ARU) to provide living space for guests and family. • The applicant has indicated the size of the garage is required to accommodate the owner's car collection. • The ARU is proposed to have a total area of 166.2m² and fully occupies the 2nd floor of the proposed garage. The ARU has a floor area of 45% of the floor area of the main dwelling. • The ARU is located within the main building cluster on the property and is located 14.3 m from the main dwelling • The proposed ARU would be visually screened from Hume Road due to existing foliage. • The driveway access to the ARU is shared with the main dwelling.

<p>That the intent and purpose of the Zoning By-law is maintained</p>	<ul style="list-style-type: none"> • The subject property is zoned Agricultural (A), Natural Environmental (NE) and lies within Environmental Protection Overlay. • The proposed accessory building to accommodate the 4 bay garage and the ARU is located fully within the A Zone. • The proposed variance is for an increased floor area of 166.2 m² for an ARU above a detached accessory structure (garage). • An ARU that is part of an ancillary building is a permitted use within the A Zone. • Section 4.2 (a)(i) requires that 'The maximum total floor area of an additional residential unit shall not exceed 45 percent of the total floor area of the principal dwelling unit up to a maximum of 130 m². The calculation of floor area shall include any part of a dwelling unit that meets the definition of a habitable room'. • The ARU does not exceed the 45% of the maximum floor area of the main dwelling; however, it does exceed the maximum area cap for floor area of 130 m². • The total floor area of the ancillary building is 346.94m² (3,734.4 ft²) that includes the proposed 4 bay garage and the ARU. The total floor area for the ARU is the floor area of the 2nd floor of the ancillary building which is 166.2 m². The Ground Floor Area of the ancillary building which is devoted to the garage use, 180.72 m² (1,945.3 ft²), is not included in the area calculation for the ARU. • The proposed ARU meets the height and other setback requirements including the Interior Side Yard, Rear Yard and Front Yard setbacks • Table 5.2 requires one parking space for the ARU and two parking spaces are required for the existing detached dwelling for a total of three required parking spaces. The proposed garage and existing parking area provide adequate space to accommodate the required parking spaces. • In regards the barn on the subject lands, under Guideline #14 of Publication 853, an MDS I setback is not required to be met for proposed dwellings from an existing livestock facility on the same lot as the proposal. • Planning staff have reviewed surrounding barns on adjacent properties and are satisfied MDS I can be met for the ARU.
<p>That the general intent and purpose of the Official Plan is maintained</p>	<ul style="list-style-type: none"> • The subject property is designated as Secondary Agriculture, Core Greenlands and Greenlands in the County Official Plan. • The ARU is located within the Secondary Agricultural Area and an Additional Residential Unit is a permitted use within this designation. • Section 4.4.6.2 of the Official Plan directs that an Additional Residential Unit may be permitted as a separate standalone ancillary building or as part of an ancillary building.

	<ul style="list-style-type: none"> • It is also noted that the proposed ARU is within the main building cluster on the property, is within the permitted 40 m setback from the main dwelling, and is secondary in scale and function as required by the Official Plan. • The general intent of the Official Plan is maintained.
That the variance is desirable for the appropriate development and use of the land, building or structure	<ul style="list-style-type: none"> • The subject lands are bounded by rural residential uses to the north, east and west, and natural features to the south. • The proposed structure is visually buffered from the road due to existing foliage and due to a substantial setback. • The ARU is proposed to be serviced by a proposed septic system. Servicing capacity and requirements will be reviewed as part of the building permit. • The intent of the subject application is to facilitate the construction of 166.2m² Accessory Residential Unit above a detached accessory structure (garage) which exceeds the required area cap of 130m² by 36m² • Although the proposed ARU exceeds the area cap it meets the maximum floor area percentage maximum for ARUs of 45%. • The area of the building is exceeded as the intent is to construct a four bay garage and the ARU will utilize the entire 2nd storey. The applicant has also indicated that the multi-bay garage is required to accommodate the owner's car collection. • Parking for the ARU and the main dwelling can be accommodated on the lot, the unit is within the building cluster, the ancillary building is screened from Hume Road, and shares access with the main dwelling. • Planning Staff do not have any concerns with the proposed minor variance application.

In conclusion, planning staff is of the opinion that the requested variance application **meets the four tests** of the *Planning Act*. We trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application.

Respectfully submitted
County of Wellington Planning and Development Department

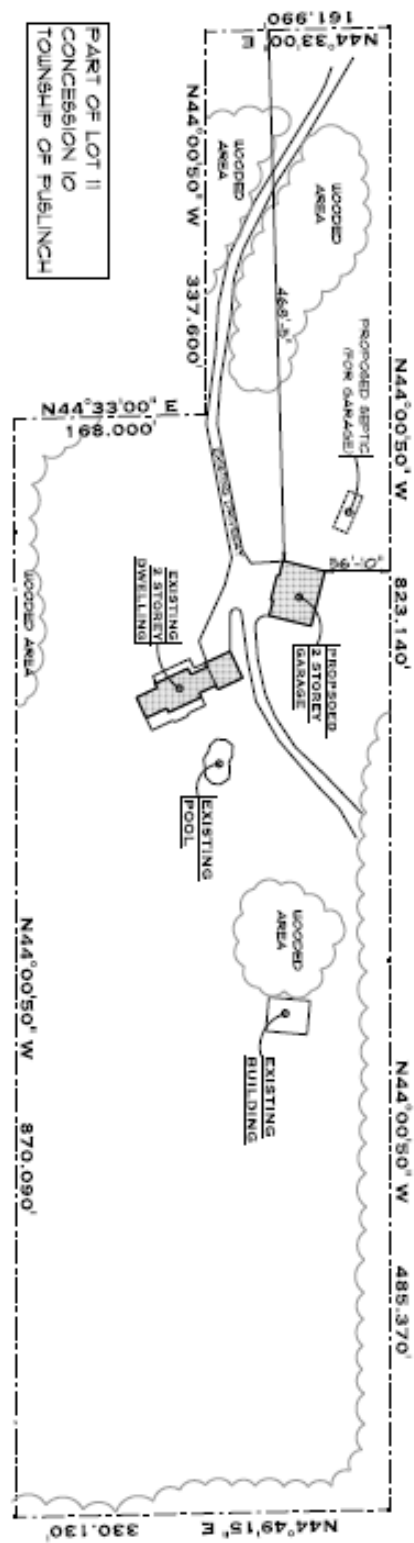
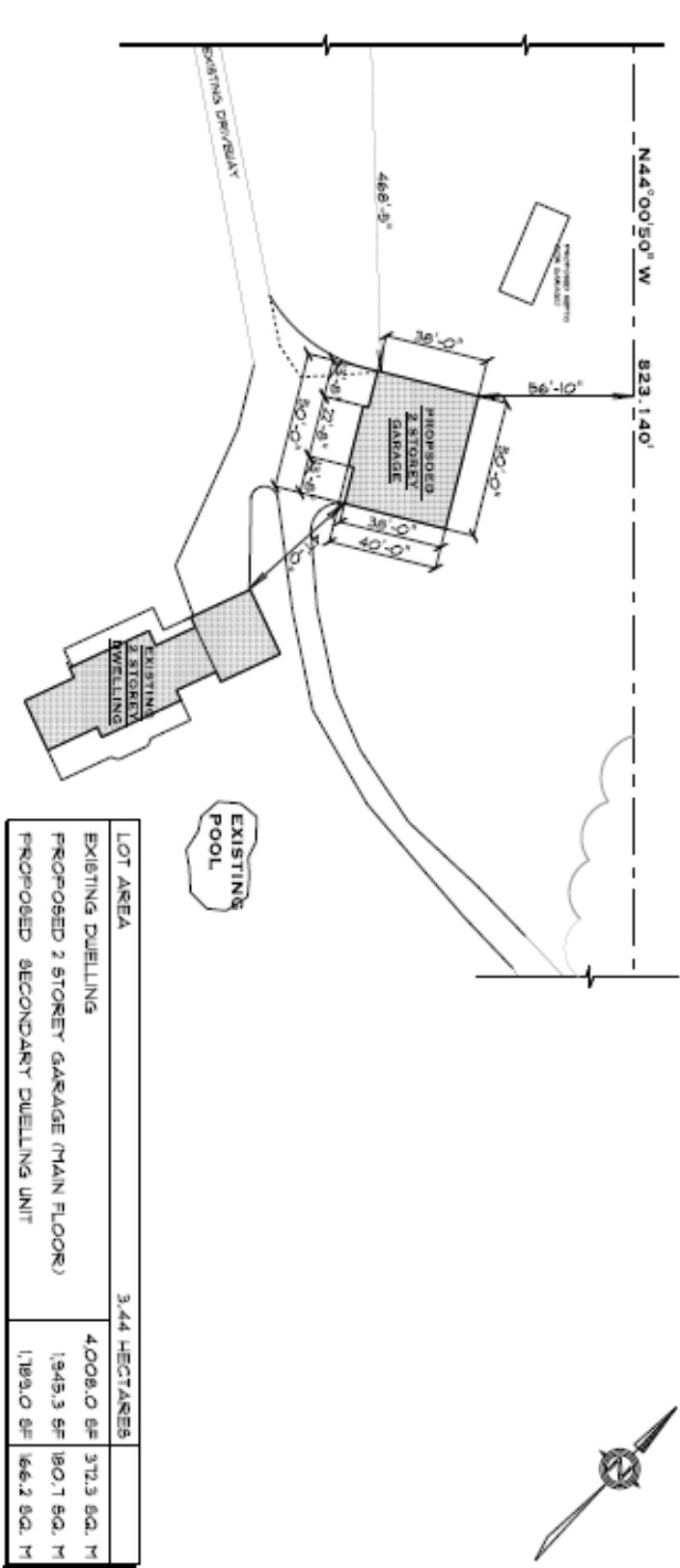


Asavari Jadhav
Junior Planner

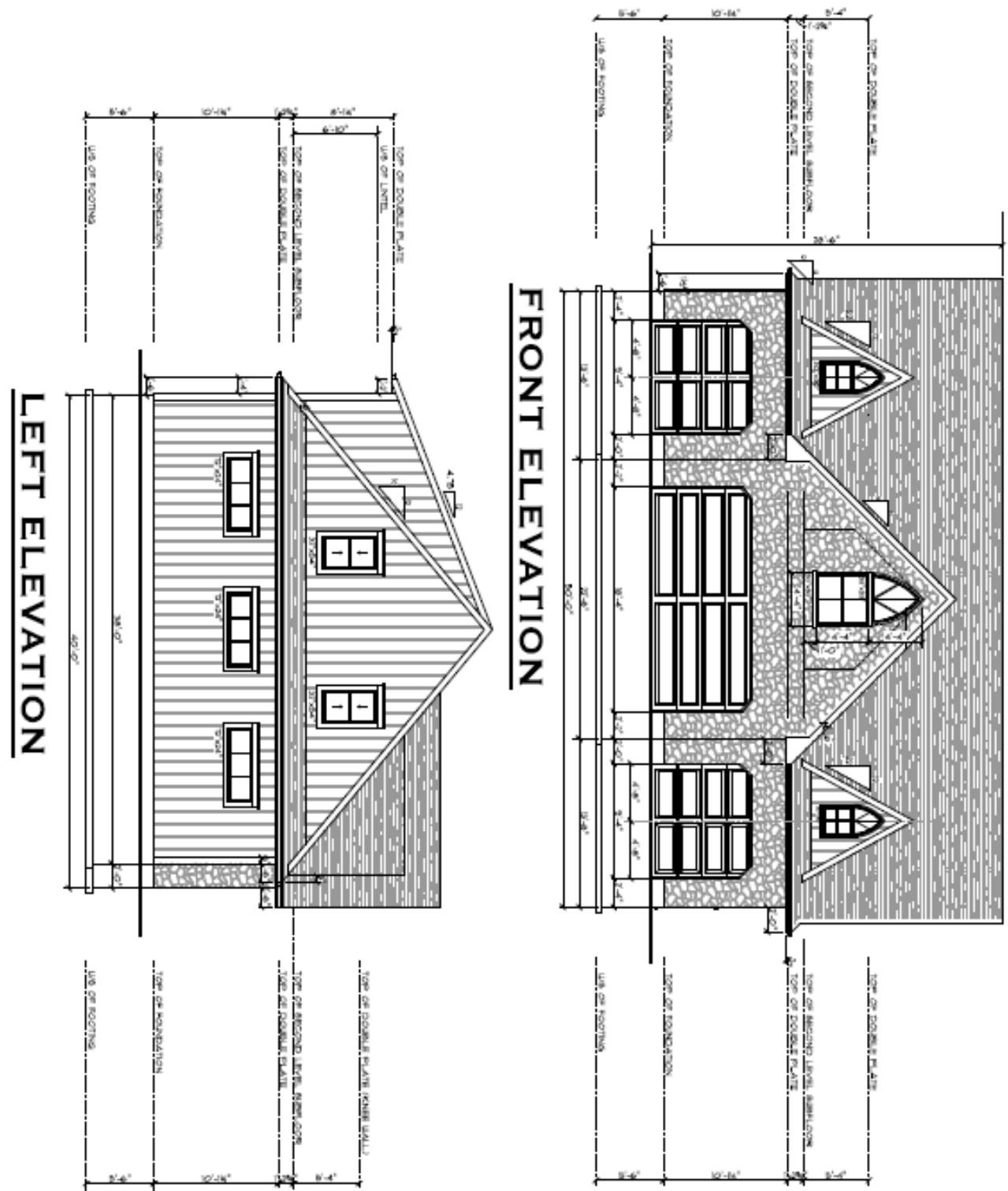


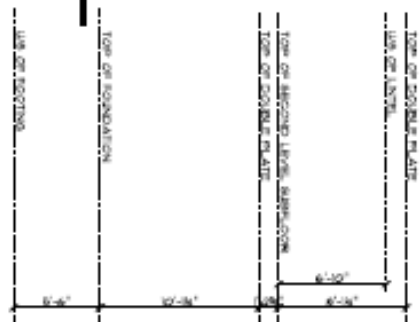
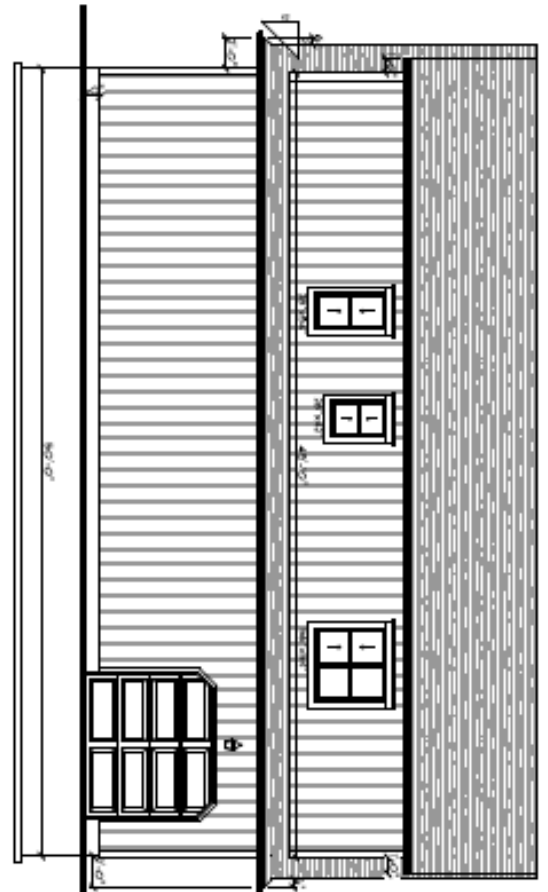
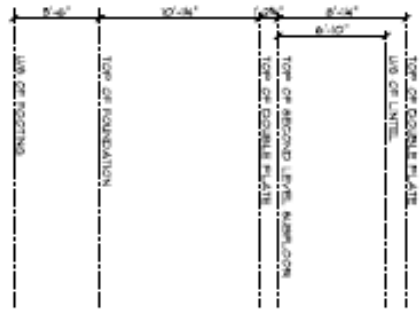
Joanna Salsberg
Planner

ATTACHMENT 1
 Site Plan

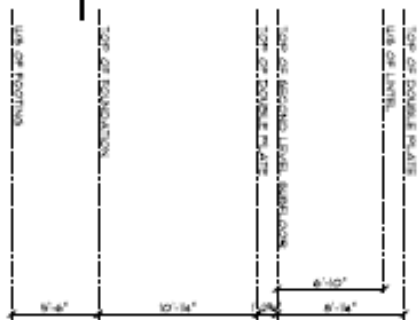
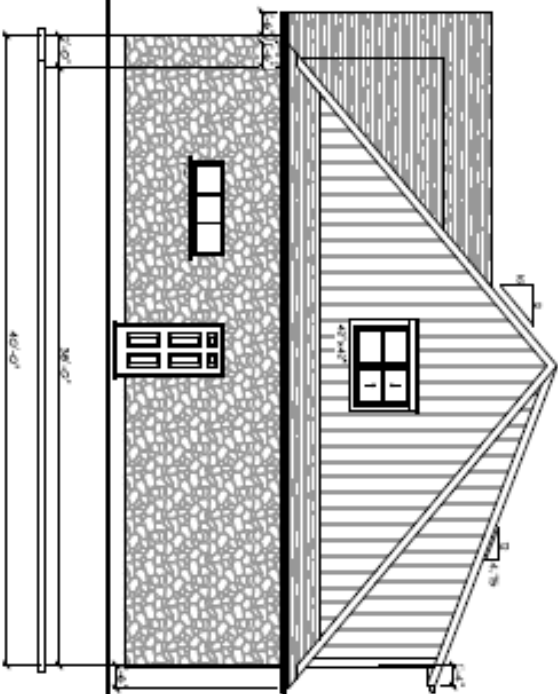
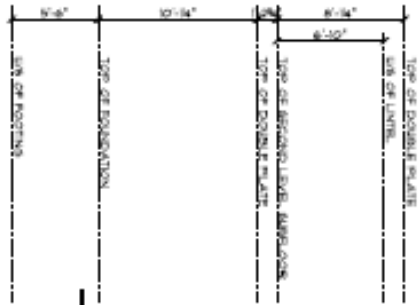


ATTACHMENT 2
Architectural Plans

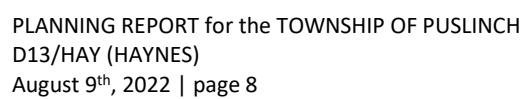


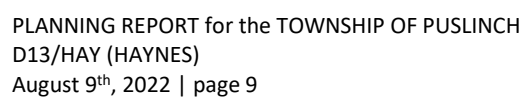


REAR ELEVATION

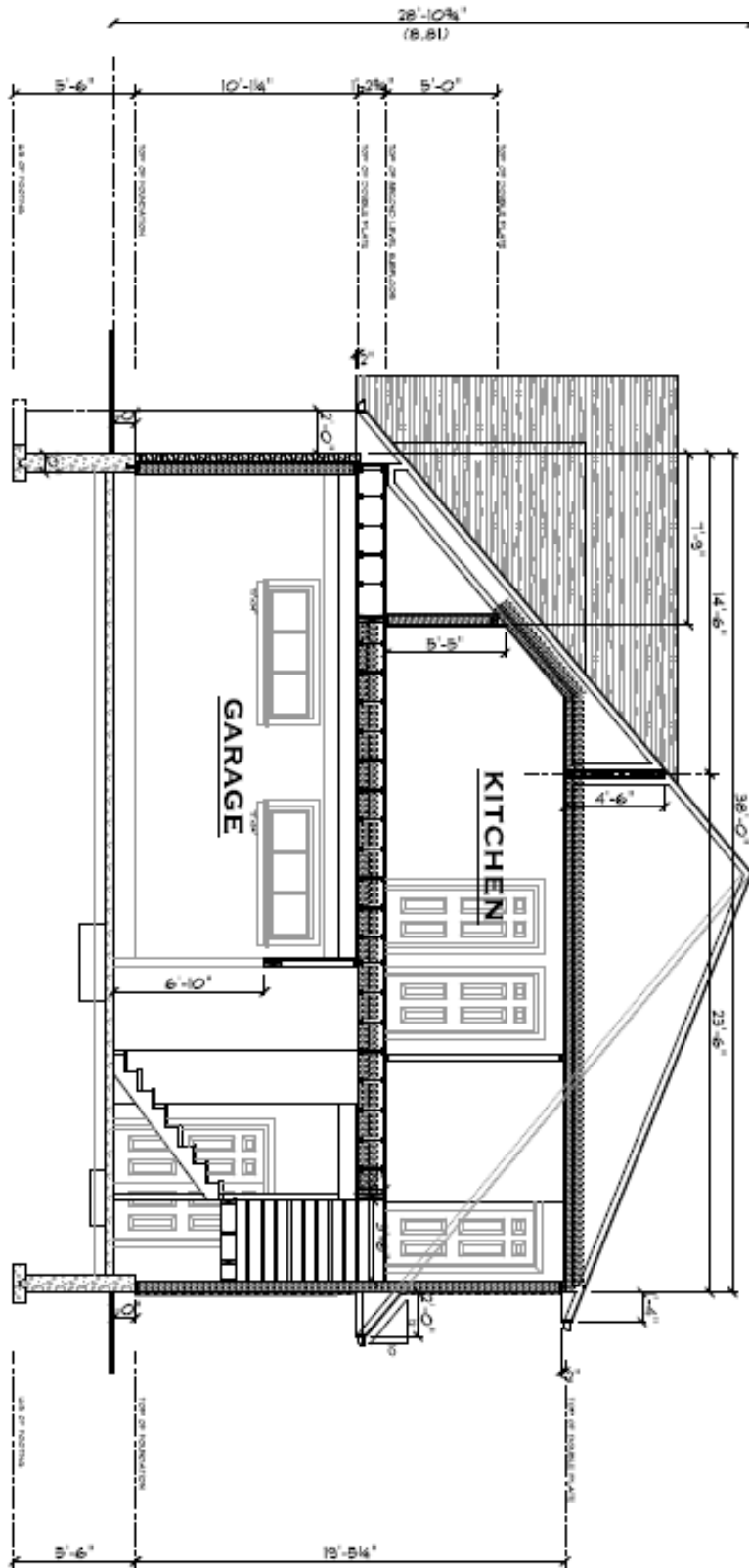


RIGHT ELEVATION





CROSS SECTION A-A





THE CORPORATION OF THE TOWNSHIP OF PUSLINCH
PLANNING & DEVELOPMENT ADVISORY COMMITTEE

JUNE 14, 2022

7:00 PM

VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

MINUTES

1. CALL THE MEETING TO ORDER

The June 14, 2022 Planning & Development Advisory Committee Meeting was held on the above date and called to order at 7:10 p.m. via electronic participation.

2. OPENING REMARKS

The Chair advised that the following portion of the Committee meeting will be for the Committee to review and provide comments on development planning applications. .

3. ROLL CALL

MEMBERS IN ATTENDANCE

Councilor John Sepulis, Chair
Deep Basi
Dan Kennedy
Dennis O'Connor

MEMBERS ABSENT

Paul Sadhra

STAFF IN ATTENDANCE

Lynne Banks, Development and Legislative Coordinator
Courtenay Hoytfox, Municipal Clerk
Joanna Salsberg, Planner, County of Wellington

4. DISCLOSURE OF PECUNIARY INTEREST

None

5. APPROVAL OF MINUTES

Moved by: Dan Kennedy

Seconded by: Dennis O'Connor

That the Minutes of the Planning & Development Advisory Committee Meeting held Tuesday, June 14, 2022, be adopted.

CARRIED

6. APPLICATION FOR SITE PLAN URBAN DESIGN REVIEW

None

7. ZONING BY-LAW AMENDMENT

None

8. LAND DIVISION

- 8(a) Severance application B56-22 (D10-LIG) – Elaine Ellis; Paul and Tammie Lighthouse – Part Lot 7, Concession Gore, municipally known as 6652 Gore Road, Township of Puslinch.**

Proposed severance is 0.4 hectares with 74.61m frontage, vacant land for proposed rural residential use.

Retained parcel is 1.9 hectares with 10.28m frontage, existing and proposed rural residential and agricultural use with existing dwelling, barn and drive shed.

- Tammie Lightheart, one of the owners of the property, provided an overview of the application.
- Dan Kennedy stated that he has concerns with respect to the elevations on the property and noted that the property might have to be built up.
- Tammie Lightheart advised that there have been no water issues to date.
- Dennis O'Connor asked if the lot line for the severed property can be adjusted so that it is straighter.
- Tammie Lightheart advised that they can try to straighten it more.
- Joanna Salsberg advised the Committee that County Planning staff will be reviewing the application and will be looking for logical lot lines.
- Deep Basi asked if safe access is possible for both lots.
- Lynne Banks advised that at this time the Township's Public Works department has no concerns.
- John Sepulis stated that he has concerns with the low area on the property and concerns with proper drainage. He further noted that the lot line should be cleaned up.
- Dan Kennedy asked if the land is built up then where does all of the water run off to.
- John Sepulis recommended that the Committee introduce conditions to address the drainage concerns.
- There were no further questions or comments from the Committee.

The Committee supports the application with the **following conditions** imposed:

1. That the Owner satisfy all the requirements of the Township of Puslinch, financial and otherwise (including taxes paid in full and Consent Review/Condition Clearance fee) which the Township may deem to be necessary at the time of issuance of the Certificate of Consent for the property and orderly development of the subject lands. Any fees incurred by the Township for the review of this application will be the responsibility of the applicant; and further that the Township of Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
2. That safe access to the retained lands can be accommodated to the satisfaction of the Township; and further that the Township file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
3. That the owner obtain zoning conformity for the reduced lot frontage for the proposed retained parcel to the satisfaction of the Township; and further that the Township file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
4. That the owner achieve zoning conformity for the barn located on the retained parcel to the satisfaction of the Township; and further, that the Township file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
5. That the owner provide an adequate drainage plan to the Township, and that the owner be responsible for any Township costs associated with the review of the drainage plan; and further that the Township file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.

8(b) Severance application B68-22 (D10-HAR) – Marina Harrison – Part Lot 17, Concession Gore, municipally known as 6926 Gore Road, Township of Puslinch.

Proposed lot line adjustment is 5m fr x 165m = 825 square metres (severed 2 on sketch), vacant land to be added to abutting rural residential lot – Gregory and Herta Harvey.

Retained parcel is 17.8 hectares with 342m frontage (severed 1 & retained on sketch), existing and proposed agricultural and rural residential use with existing dwelling, garden suite and accessory buildings.

- Jeff Buisman, agent for the applicant, provided an overview of the application.
- There were no questions or comments from the Committee.

The committee supports the application with the **following condition** imposed:

1. That the Owner satisfy all the requirements of the Township of Puslinch, financial and otherwise (including taxes paid in full and Consent Review/Condition Clearance fee) which the Township may deem to be necessary at the time of issuance of the Certificate of Consent for the property and orderly development of the subject lands. Any fees incurred by the Township for the review of this application will be the responsibility of the applicant; and further that the Township of Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.

CARRIED

8(c) Severance application B69-22 (D10-HAR) – Marina Harrison – Part Lot 17, Concession Gore, municipally known as 6926 Gore Road, Township of Puslinch.

Proposed severance is 49m fr x 165m = 0.8 hectares (severed 1 on sketch), vacant land for proposed rural residential use.

Retained parcel is 17.8 hectares with 293m frontage, existing and proposed agricultural and rural residential use with existing dwelling, garden suite and accessory buildings.

- Jeff Buisman, agent for the applicant, provided an overview of the application.
- Dan Kennedy remarked that it appears that the Township will be losing another 2 acres of farmland.
- Dennis O'Connor noted that he is satisfied with the MDS.
- There were no further questions or comments from the Committee.

8The committee supports the application with the **following conditions** imposed:

1. That the Owner satisfy all the requirements of the Township of Puslinch, financial and otherwise (including taxes paid in full and Consent Review/Condition Clearance fee) which the Township may deem to be necessary at the time of issuance of the Certificate of Consent for the property and orderly development of the subject lands. Any fees incurred by the Township for the review of this application will be the responsibility of the applicant; and further that the Township of Puslinch file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.
2. That safe access to the proposed severed lands can be accommodated to the satisfaction of the Township; and further that the Township file with the Secretary-Treasurer of the Planning and Land Division Committee a letter of clearance of this condition.

CARRIED

9. OTHER MATTERS

- None

10. CLOSED MEETING

- None



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH
PLANNING & DEVELOPMENT ADVISORY COMMITTEE

JUNE 14, 2022

7:00 PM

VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

11. NEXT MEETING

- Next Regular Meeting will be held on Tuesday, July 12, 2022 @ 7:00 p.m.

12. ADJOURNMENT

Moved by: Dennis O'Connor

Seconded by: Dan Kennedy

That the Planning & Development Advisory Committee is adjourned at 7:33 p.m.

CARRIED

County of Wellington Planning and Land Division Committee
Deborah Turchet, Secretary-Treasurer
Wellington County Administration Centre
74 Woolwich Street, Guelph ON N1H 3T9

July 8, 2022

NOTICE OF AN APPLICATION FOR CONSENT

Ontario Planning Act, Section 53(4)

The County of Wellington Planning and Land Division Committee requests your written comments on this application for consent.

APPLICATION SUBMITTED ON: June 02, 2022

FILE NO. B76-22

APPLICANT
Maria Charbonneau
6648 Gore Rd
Puslinch N0B 2J0

LOCATION OF SUBJECT LANDS
Township of Puslinch
Part Lot 7
Concession Gore

Proposed severance is 44.2m fr x 111.24m = 0.49 hectares, vacant land for proposed rural residential use.
Retained parcel is 2.88 hectares with 159.74m frontage, existing and proposed rural residential use with existing dwelling.

IF YOU WISH TO SUBMIT COMMENTS ON THIS APPLICATION,
WE MUST HAVE YOUR WRITTEN COMMENTS BEFORE

August 17, 2022

Comments can be provided by mail at address above or by email landdivisioninfo@wellington.ca

Please note that if the Comments are not received by the requested date, the Planning and Land Division Committee may proceed to consider the application, and may assume that you have no objection to this Application for Consent.

Please also be advised that if a person or public body that files an appeal of a decision of the County of Wellington Planning and Land Division Committee in respect of the proposed consent has not made written submission to the County of Wellington Planning and Land Division Committee before it gives or refuses to give a provisional consent, then the Ontario Land Tribunal may dismiss the appeal.

If you wish to be **NOTIFIED OF THE DATE AND TIME OF THE CONSIDERATION** of this application - **please make your request in writing and provide your email address** to the Planning and Land Division Committee before the "Comments Return Date" noted above.

If you wish to be **NOTIFIED OF THE DECISION** of the County of Wellington Planning and Land Division Committee in respect of this proposed consent, **you must make a request in writing** to the County of Wellington Planning and Land Division Committee. This will also entitle you to be advised of a possible Ontario Land Tribunal. Even if you are the successful party, you should request a copy of the decision since the County of Wellington Planning and Land Division Committee's decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the Public.

INFORMATION REGARDING THE APPLICATION is available to the public during regular business hours, Monday to Friday at the County of Wellington Planning and Land Division Office- 74 Woolwich St. Guelph, ON N1H 3T9.
Phone: (519) 837-2600 x2170 Fax: (519) 837-3875

MAILED TO:

Local Municipality – Puslinch County Planning Conservation Authority - GRCA
Neighbouring Municipality – North Dumfries Source Water Protection
Bell Canada (email) County Clerk Roads/Solid Waste Civic Addressing
Neighbour - as per list verified by local municipality and filed by applicant with this application

APPLICATION FOR CONSENT

Ontario Planning Act

1. Approval Authority:

County of Wellington Planning and Land Division Committee
County of Wellington Administration Centre
74 Woolwich Street, GUELPH, Ontario N1H 3T9

Phone: 519-837-2600, ext. 2170 or 2160 Fax: 519-837-3875

Required Fee: \$ 4720
Fee Received: June 2/22File No. B76-22
Accepted as Complete on: June 2/22

A COPY OF YOUR CURRENT DEED MUST BE SUBMITTED WITH THIS APPLICATION

2. (a) Name of Registered Owner(s) or Purchaser MARIA CHARBONNEAUAddress 6648 GORE RD., PUSLINCH, ON N0B 2J0

Phone No. [REDACTED]

Email: [REDACTED]

NOTE: if application submitted by purchaser, a copy of the signed "Purchase/Sale agreement" is required.(b) Name and Address of Applicant (as authorized by Owner/Purchaser) JEFF CHARBONNEAU6648 GORE RD., PUSLINCH, ON N0B 2J0

Phone No. [REDACTED]

Email: [REDACTED]

(c) Name and Address of Owner's Authorized Agent: _____

Phone No. _____

Email: _____

(d) All Communication to be directed to:

REGISTERED OWNER/PURCHASER []

APPLICANT ☒

AGENT []

(e) Notice Cards Posted by:

REGISTERED OWNER/PURCHASER []

APPLICANT ☒

AGENT []

(f) Number of Certificates Requested 1 (Please see information pages)

3. Type and Purpose of Proposed Transaction: (Check off appropriate box & provide short explanation)

RURAL RESIDENTIAL ☒ AGRICULTURAL [] URBAN RESIDENTIAL [] COMMERCIAL/INDUSTRIAL []OR


EASEMENT [] RIGHT OF WAY [] CORRECTION OF TITLE [] LEASE [] CANCELLATION []

(a) If known, the name of person to whom the land or an interest in the land is to be transferred, charged or leased.

JESSICA CHARBONNEAU / ROBERT COTTIGNIES

4. (a) Location of Land in the County of Wellington:

Local Municipality: PUSLINCH
Concession GORE Lot No. FRONT PT LOT 7
Registered Plan No. 61R 8909 Lot No. PART 1
Reference Plan No. _____ Part No. _____
Civic Address 6648 GORE RD., PUSLINCH, ON N0B 2J0

(b) When was property acquired: 2005-05-31 Registered Instrument No. 

5. Description of Land intended to be SEVERED: Metric ☒ Imperial ☐
Frontage/Width 44.20 m AREA 0.49 ha.
Depth 111.24 m Existing Use(s) VACANT LAND
Existing Buildings or structures: NONE (VACANT)
Proposed Uses (s): PRIMARY RESIDENCE

Type of access (Check appropriate space)	Existing <input type="checkbox"/>	Proposed <input checked="" type="checkbox"/>
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Right-of-way	
<input type="checkbox"/> County Road	<input type="checkbox"/> Private road	
<input checked="" type="checkbox"/> Municipal road, maintained year round	<input type="checkbox"/> Crown access road	
<input type="checkbox"/> Municipal road, seasonally maintained	<input type="checkbox"/> Water access	
<input type="checkbox"/> Easement	<input type="checkbox"/> Other	

Type of water supply - Existing ☐ Proposed ☒ (check appropriate space)
☐ Municipally owned and operated piped water system
☒ Well ☒ individual ☐ communal
☐ Lake
☐ Other DRILLED WELL

Type of sewage disposal - Existing ☐ Proposed ☒ (check appropriate space)
☐ Municipally owned and operated sanitary sewers
☒ Septic Tank (specify whether individual or communal): INDIVIDUAL
☐ Pit Privy
☐ Other (Specify): _____

6. Description of Land intended to be RETAINED:

Metric [☒]Imperial [☐]

Frontage/Width 159.74 mAREA 2.88 ha.

Depth 162.29 mExisting Use(s) PRIMARY RESIDENCE

Existing Buildings or structures: HOUSE

Proposed Uses (s):

Type of access (Check appropriate space)	Existing [<input checked="" type="checkbox"/>]	Proposed [<input type="checkbox"/>]
[<input type="checkbox"/>] Provincial Highway	[<input type="checkbox"/>] Right-of-way	
[<input type="checkbox"/>] County Road	[<input type="checkbox"/>] Private road	
[<input checked="" type="checkbox"/>] Municipal road, maintained year round	[<input type="checkbox"/>] Crown access road	
[<input type="checkbox"/>] Municipal road, seasonally maintained	[<input type="checkbox"/>] Water access	
[<input type="checkbox"/>] Easement	[<input type="checkbox"/>] Other	

Type of water supply - Existing [☒] Proposed [☐] (check appropriate space)

[☐] Municipally owned and operated piped water system

[☒] Well [☒] individual [☐] communal

[☐] Lake

[☐] Other DRIILLED WELL

Type of sewage disposal - Existing [☒] Proposed [☐] (check appropriate space)

[☐] Municipally owned and operated sanitary sewers

[☒] Septic Tank (specify whether individual or communal): INDIVIDUAL

[☐] Pit Privy

[☐] Other (Specify):

7. Is there an agricultural operation, (either a barn, manure storage, abattoir, livestock area or stockyard) within 500 metres of the Subject lands (severed and retained parcels)?

YES [☒] NO [☐]

*If yes, see sketch requirements and the application must be accompanied by a MINIMUM DISTANCE SEPARATION FORM.
8. Is there a landfill within 500 metres [1640 feet]?

YES [☐] NO [☒]
9. a) Is there a sewage treatment plant or waste stabilization plant within 500 metres [1640']? YES [☐] NO [☒]
10. Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the lands to be retained or to be severed or within 120 metres [394 feet]?

YES [☐] NO [☒]
11. Is there any portion of the land to be severed or to be retained located within a floodplain? YES [☐] NO [☒]
12. Is there a provincial park or are there Crown Lands within 500 metres [1640']? YES [☐] NO [☒]
13. Is any portion of the land to be severed or retained within a rehabilitated mine/pit site? YES [☐] NO [☒]
14. Is there an active or abandoned mine, quarry or gravel pit within 500 metres [1640']? YES [☐] NO [☒]
15. Is there a noxious industrial use within 500 meteres [1640']? YES [☐] NO [☒]
16. Is there an active or abandoned principal or secondary railway within 500 metres [1640']? YES [☒] NO [☐]

Name of Rail Line Company: CANADIAN PACIFIC RAILWAY

17. Is there an airport or aircraft landing strip nearby? YES [] NO [x]

18. Is there a propane retail outlet, propane filling tank, cardlock/keylock or private propane outlet/container refill centre within 750 metres of the proposed subject lands? YES [] NO [x]

19. PREVIOUS USE INFORMATION:

a) Has there been an industrial use(s) on the site? YES [] NO [x] UNKNOWN []

If YES, what was the nature and type of industrial use(s)?

b) Has there been a commercial use(s) on the site? YES [] NO [x] UNKNOWN []

If YES, what was the nature and type of the commercial use(s)?

c) Has fill been brought to and used on the site (other than fill to accommodate septic systems or residential landscaping?) Chipped stone for a driveway on the west side of the land to be retained. YES [x] NO [] UNKNOWN []

d) Has there been commercial petroleum or other fuel storage on the site, underground fuel storage, or has the site been used for a gas station at any time, or railway siding? YES [] NO [x] UNKNOWN []

If YES, specify the use and type of fuel(s) _____

20. Is this a **resubmission** of a previous application? YES [] NO [x]

If YES, is it identical [] or changed [] Provide previous File Number _____

21. a) Has any severance activity occurred on the land from the holding which existed as of March 1, 2005 and as registered in the Land Registry/Land Titles Office? YES [] NO [x]

b) If the answer in (a) is YES, please indicate the previous severance(s) on the required sketch and provide: **Transferee's Name, Date of the Transfer and Use of Parcel Transferred.**

22. Has the parcel intended to be severed ever been, or is it now, the subject of an application for a plan of subdivision or other Consent or approval under the Planning Act or its predecessors? YES [] NO [x] UNKNOWN []

23. Under a separate application, is the Owner, applicant, or agent applying for additional consents on this holding simultaneously with this application? YES [] NO [x]

24. Provide explanation of how the application is consistent with the Provincial Policy Statement.

An efficient / safe use of land that promotes moderate intensification close to a major city (Cambridge/Guelph). The proposed owners work remotely and have limited travel requirements, which is good for the environment.

25. In addition to Places to Grow (Provincial Growth Plan), is the subject land within an area of land designated under the Greenbelt Plan? Provide explanation of how the application conforms or does not conflict with the Provincial plan or plans.

The subject land is outside of the Greenbelt Plan Area and outside of The Protected Countryside. It is located in the Growth Plan Area, which supports the proposed land use.

26. a) Indicate the existing **County Official Plan** designation(s) of the subject land, and provide explanation of how the application conforms with the Official Plan (severed and retained).

It is designated Secondary Agriculture, and it is a Rural Settlement Area which is outside the Greenbelt Area, which further supports the proposed land use.

b) Indicate the existing **Local Official Plan** (if any) designation(s) of the subject land, and provide explanation of how the application conforms with the Official Plan (severed and retained).

N/A

c) If this consent relates directly to an Official Plan Amendment(s) currently under review by an approval authority, please indicate the Amendment Number and the applicable file number(s).

Amendment Number(s): File Number(s):

27. Is the subject land a proposed surplus farm dwelling?* YES [] NO [x]

*If yes, an application to sever a surplus farm dwelling must be accompanied by a FARM INFORMATION FORM.

28. What is the zoning of the subject lands? RURAL RESIDENTIAL / SECONDARY AGRICULTURAL

29. Does the proposal for the subject lands conform to the existing zoning? YES [x] NO []

If NO, a) has an application been made for re-zoning? YES [] NO [x] File Number
b) has an application been made for a minor variance? YES [x] NO [] File Number D13/CHA

30. Are the lands subject to any mortgages, easements, right-of-ways or other charges? YES [x] NO []

If the answer is YES, please provide a copy of the relevant instrument. TD CANADA TRUST
For mortgages just provide complete name and address of Mortgagee. 425 HESPELER RD.,
CAMBRIDGE, ON N1R 6J2

Questions 31 – 34 must be answered for Applications for severance in the Rural/Agricultural Area -- Otherwise, if this is not applicable to your application, please state "not Applicable" NOT APPLICABLE

31. Type of Farm Operation conducted on these subject lands: NOT APPLICABLE

Type: Dairy [] Beef Cattle [] Swine [] Poultry [] Other []

32. Dimensions of Barn(s)/Outbuildings/Sheds (that are to remain) Severed & Retained Lands NOT APPLICABLE

Severed Width Length Area Use
Width Length Area Use
Retained Width Length Area Use
Width Length Area Use

33. Manure Storage Facilities on these lands: NOT APPLICABLE

DRY		SEMI-SOLID		LIQUID	
Open Pile []		Open Pile []		Covered Tank []	
Covered Pile []		Storage with Buck Walls []		Aboveground Uncovered Tank []	
				Belowground Uncovered Tank []	
				Open Earth-sided Pit []	



The Corporation of The Township of Puslinch
7404 Wellington Rd. 34,
Guelph, ON N1H 6H9
(Tel) 519-763-1226
(Fax) 519-763-5846
kellyp@puslinch.on.ca

COMMITTEE OF ADJUSTMENT
NOTICE TO APPLICANT WHERE
NO APPEAL AGAINST DECISION
OF COMMITTEE OF ADJUSTMENT
FILED OR WHERE APPEALS
WITHDRAWN


Jeffrey & Maria Charbonneau
6648 Gore Road

MINOR VARIANCE APPLICATION #D13/CHA

TAKE NOTICE that the statutory time for filing an appeal against the decision of the committee made upon the application recorded under the file number indicated above has now elapsed and:

- ☒ No appeals have been received.
- ☐ All appeals to the Ontario Municipal Board have been withdrawn.

THE DECISION of the committee is now final and binding.

Dated this4th day of ...October..., 2016. 

Signature of Secretary-Treasurer

No appeal – within 20 days – decision final – If within twenty days of the making of the decision, no notice of appeal is given, the decision of the committee is final and binding, and the secretary-treasurer shall notify the applicant and shall file a certified copy of the decision with the clerk of the municipality.

Appeal – withdrawn – decision final – Where all appeals to the Municipal Board are withdrawn, the decision of the committee is final and binding, and the secretary of the Municipal Board shall notify the secretary-treasurer of the committee who in turn shall notify the applicant and file a certified copy of the decision with the clerk of the municipality.

*Planning Act, R.S.O. 1990, c. P13,
ss.45 (14) and (15), c. 23, ss.26(3), (4).*

TOWNSHIP OF PUSLINCH
COMMITTEE OF ADJUSTMENT

NOTICE OF DECISION

File Number : D13/CHA

Hearing Date: September 13, 2016

Owner: Jeffrey and Maria Charbonneau
Agent: Owner
Municipal Address: 6648 Gore Road
Legal Description: Part Lot 7, Concession Gore
Township of Puslinch, County of Wellington

In the matter of Section 45 (1) of the *Planning Act*, as amended, and Comprehensive Zoning By-law 19/85 as amended, and an application for a minor variance requesting permission to allow:

Relief of the Minimum Distance Separation I (MDSI) setback ^{not 160 m.} requirements from a livestock facility in the Agricultural (A) Zone to permit a reduced separation setback to a proposed residential-use parcel; whereas, Zoning By-law 19-85, Section 3.13(a), states no residential, institutional, commercial, industrial or recreational use, located on a separate lot and permitted within the Agricultural (A) Zone or any other zone in which agricultural uses are permitted, shall be erected or altered unless it complies with the Minimum Distance Separation I (MDS I) setback from a livestock facility, calculated using the Formulas published by the Province of Ontario, as may be amended from time to time.

**The request is hereby Approved / Denied / Deferred / Approved with the Following Conditions:
(see attached schedule):**

Reasons:

This decision reflects that the Committee, in its opinion, finds the variance, based on the application presented:

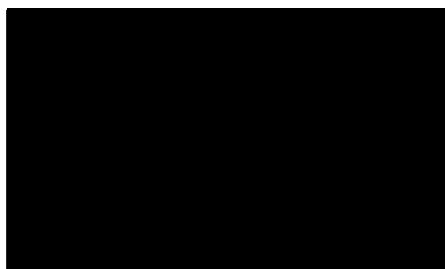
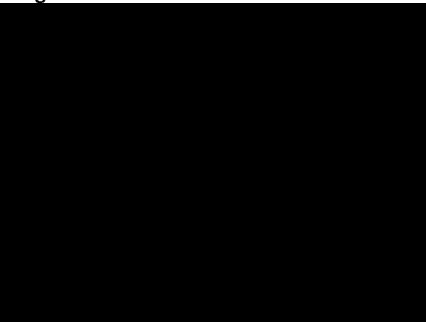
- (1) To be minor in nature;
- (2) To be desirable for the appropriate development or use of the property;
- (3) To be within the general intent and purpose of the Official Plan;
- (4) To be within the general intent and purpose of the Zoning By-law.

Moved by: _____

Seconded by: _____

Signed in favour of the Motion:

Opposed to the Motion:



J. Sepulis
D. Paron
K. Roth
D. O'Connor
D. Basi

Dated this 13th day of September, 2016.

You are notified that under Subsection 45(10) of the *Planning Act*, R.S.O. 1990, you may appeal to the Ontario Municipal Board against the decision of the Committee of Adjustment by sending notice of appeal by Registered Mail or by hand to the Secretary-Treasurer of the Committee of Adjustment, within Twenty (20) days of the making of the decision. The notice shall contain written reasons in support of the appeal and be accompanied by a payment of \$125.00 payable to the Minister of Finance. A notice of appeal must be received by the Secretary-Treasurer no later than 4:30 p.m. on **MONDAY OCTOBER 3, 2016.**

I, Kelly Patzer, Secretary-Treasurer of the Committee of Adjustment, certify that the foregoing is a correct copy of the decision of the Committee with respect to the above application.


Secretary-Treasurer, Committee of Adjustment, Township of Puslinch



PLANNING REPORT
for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department

DATE: September 7, 2016
TO: Kelly Patzer, Development Coordinator
Township of Puslinch
FROM: Sarah Wilhelm, Senior Planner
County of Wellington
SUBJECT: MINOR VARIANCE APPLICATION D13 CHA (Charbonneau)
6648 Gore Road
Part lot 7, Concession Gore, Puslinch

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

Planning Opinion
The variance requested would provide relief from Minimum Distance Separation 1 (MDS 1) requirements of 323 m from the Bartelse livestock operation to a proposed rural residential lot. A ± 160 m MDS 1 setback would be provided.

The minor variance application would maintain the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property. We consider the request minor and have no concerns with the application.

The details of the minor variance application are included in the table below.

Regulation	Basis of MDS 1 Calculation	Required	Proposed*
3.13 (a) General Provisions, Minimum Distance Separation – MDS 1 – New Non-farm uses	ORIGINAL per December 28, 2015 Farm Data Sheet: Based on 100 Veal and Imported Manure of 22,440 ft ³ and 25,600 ft ³	452 m	± 160 m
	REVISED per September 6, 2016 Telephone Conversation with farm owner Jerry Bartelse: Based on 700 Veal and removal of Imported Manure from calculation as it is actually exported from site	323 m	± 160 m

*NOTE For lots under 1 ha in size, the MDS 1 measurement is taken from the nearest livestock building and manure storage to the closest point of the proposed rural residential lot. A severance application has not been filed at this time. Revised MDS calculation and aerial photo illustrating minor variance request are attached.

Background

Minimum Distance Separation (MDS) Formulae and Implementation Guidelines are issued by the Province through the Ministry of Agriculture, Food and Rural Affairs (OMAFRA). The objective is to minimize nuisance complaints due to odour and thereby reduce potential land use conflicts. MDS applies in both Prime and Secondary Agricultural Areas of Wellington County. MDS-type rules date back to 1970. The most recent version of the Formulae and Implementation Guidelines was published in 2006 and County staff received training from the Province on the new material. We would note that the separation distances increased (in some cases significantly) from the previous version.

MDS 1 Calculation

The separation distances calculated by MDS will vary according to a number of variables including:

- Type of livestock
- Type of manure system
- Size of the farm operation
- Form of development proposed

MDS calculations are based upon current information from the farm owner/operator which was provided on a Farm Data Sheet by Bartelse Investments Limited dated December 28, 2015. In our review of this minor variance, we confirmed the Farm Data with Jerry Bartelse on September 6, 2016 and a new calculation has been completed (attached). We are aware that the livestock facility has not been used in some years, but Guideline 20 of the MDS Implementation Guidelines requires that MDS 1 be applied to empty livestock facilities if they are structurally sound and reasonably capable of housing livestock, or housing manure.

The subject property was originally severed under file B93/02 (previous application B34/01 lapsed). Mr. Charbonneau has made note of a previous 180 m MDS requirement he was aware of when purchasing the property in 2005 that would have accommodated a new lot. As the MDS Formulae were updated by the Province in 2006, previous calculations are not relevant to our consideration of this request. The MDS calculation is a snapshot in time and is based upon the formulae in effect and the variables listed above.

Discussion

Our discussion of this application relative to the four tests under the Planning Act is as follows:

Four Tests	Discussion
That the requested variance is minor in nature	<ul style="list-style-type: none">• The request would reduce MDS 1 from 323 m to approximately 160 m• Our determination of minor relates to the impact on the Bartelse operation and we can advise that it is already constrained by the dwelling at 6842 Gore Road which is approximately 150 m away• As a result, we would consider the variance minor in terms of impact
That the intent and purpose of the Zoning By-law is maintained	<ul style="list-style-type: none">• The subject property is zoned Agricultural (A)• A single detached dwelling is a permitted use in the Agricultural Zone
That the general intent and purpose of the Official Plan is maintained	<ul style="list-style-type: none">• The property is designated Secondary Agricultural and MDS 1 is applied to all new lot creation in this designation• We do not anticipate that a new residential use in this location would hinder or preclude the present use or future potential for the agricultural operation in question given the location of nearest neighbour's dwelling at 6842 Gore Road, which is one of the MDS 2 measurements for new or expanded livestock facilities
That the variance is desirable for the appropriate development and use of the land, building or structure	<ul style="list-style-type: none">• This minor variance would facilitate a future rural residential severance• At 3.4 ha (8.3 ac), the parcel in question does not have much capacity for agricultural use and the proposed new lot would be between two existing dwellings• This type of new lot creation may be permitted, subject to policy conformity, favourable agency comments and other requirements

In conclusion, planning staff is of the opinion that the requested variance application meets the four tests of the *Planning Act*. I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application.

Respectfully submitted
County of Wellington Planning and Development Department



Sarah Wilhelm, BES, MCIP, RPP
Senior Planner

- c. Jerry Bartelse via email
- Jeff Charbonneau via email

Attachments:

MDS I Report (Revised)
MDS I Arcs, Proposed New Lot and Nearest Neighbour's Dwelling

Minimum Distance Separation I (MDS I) Report

MDS 1.0.2
07-Sep-2016 12:40
Page 1

File: PCH L7 Gore Charbonneau2 .mds

Application Date:	07-Sep-2016	Applicant Information	County of Wellington Township of Puslinch Geotownship: PUSLINCH Concession: Gore Lot: 7
File Number:	D13/CHA		
Preparer Information			
Sarah Wilhelm		Jeff Charbonneau 6648 Gore Road Puslinch, ON, Canada	

Calculation #1 **REVISED**
Bartelse Investments Limited

Adjacent Farm Contact Information	Farm Location
Bartelse & Investments Limited	City of Hamilton
6647 Gore Road	Geotownship: BEVERLY
North Dumfries, ON, Canada	Concession: 10
	Lot: 5

Manure Form	Type of Livestock/Material	Existing Capacity	Existing NU	Estimated Barn Area
Liquid	Veal; Milk-fed	700	116.7	1951 m²

Encroaching Land Use Factor: Type A Land Use

Tillable area of land on this lot: 14.2 ha

Manure/Material Storage Type: V5. Liquid, inside, underneath slatted floor

Factor A (Odour Potential): 1.1
Factor B (Nutrient Units): 333
Factor D (Manure/Material Type): 0.8
Factor E (Encroaching Land Use): 1.1
Total Nutrient Units: 117

	Required Setback	Actual Setback
Distance from nearest livestock building 'F' (A x B x D x E):	323 m (1058 ft)	
Distance from nearest permanent manure/material storage 'S':	323 m (1058 ft)	

Signature of Preparer:

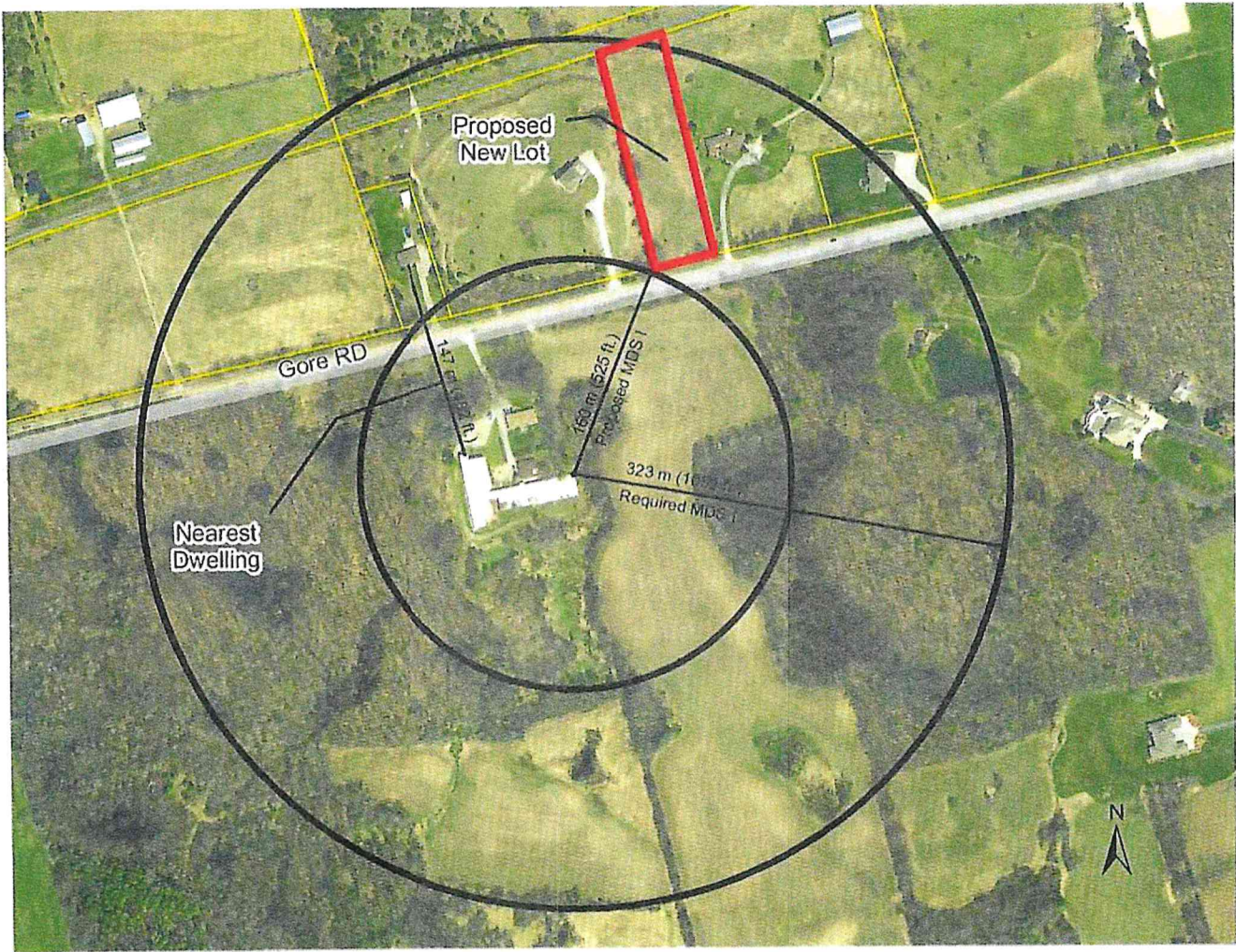
Sarah Wilhelm

Date: SEPT. 7, 2016

NOTE TO THE USER:
The Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA) has developed this software program for distribution and use with the Minimum Distance Separation (MDS) Formula as a public service to its staff, farmers, consultants, and the general public. This version of the software distributed by OMAFRA will be considered to be the official version for purposes of calculating MDS. OMAFRA is not responsible for errors due to inaccurate or incorrect data or information mistakes in calculation; errors arising out of modification of the software, or errors arising out of incorrect inputting of data. All data and calculations should be verified before using on them.



MDS I Arcs, Proposed New Lot and Nearest Neighbour's Dwelling



34. Are there any drainage systems on the retained and severed lands? ^{NOT} ~~APPLICABLE~~ YES [] NO [☒]

Type	Drain Name & Area	Outlet Location
Municipal Drain []		Owner's Lands []
Field Drain []		Neighbours Lands []
		River/Stream []

35. Source Water Protection Plan

Is the subject land within a Wellhead Protection Area, Issue Contributing Area, or Intake Protection Zone of a Source Protection Plan in effect? (www.wellingtonwater.ca) YES [☒] NO []

If YES, please complete the [Source Water Protection Form](#) and submit with your application.

36. Have you had a pre-consultation meeting with County Planning Staff before filling out this application form? Please refer to instruction page.

YES [☒] NO []

If yes, please indicate the person you have met/spoken to: JOANNA SALSBERG (2022-05-20)

37. If you wish to provide some further information that may assist the Planning and Land Division Committee in evaluating your application, please provide by a letter and attach it to this application.

PLEASE FIND ATTACHED THE MINOR VARIANCE FOR RELIEF FROM MINIMUM DISTANCE SEPARATION 1 (MDS1), APPROVED BY THE TOWNSHIP OF PUSLINCH.

NOTES:

1. One original completed application and two original sketches must be filed with the County of Wellington Planning and Land Division office. Please provide sketch no larger than 11" x 17".
2. The location of the lands (severed & retained) which are the subject of the application must also be shown on the Surveyor's sketch or on an attached "Key Map" and included with the application.
3. Since the filing fee for applications for consent change from time to time, please contact the Planning and Land Division office for current fee information. This fee may be paid in cash or by cheque payable to the County of Wellington.
4. Additional information about the process, about any particular application or obtaining application forms may be obtained by attending at the County of Wellington Administration Centre, 74 Woolwich Street, Guelph Ontario N1H 3T9, by telephone at 519-837-2600, ext. 2170; or by facsimile (fax) at 519-837-3875.
5. Generally, regular severance application forms are also available at the local municipal office.
6. Some municipalities may require the applicant to complete a pre-consultation prior to the Municipality's submitting comments to the County of Wellington Planning and Land Division Committee. Please check with your local municipality on this matter.
7. If the applicant is a Corporation, then the applicant's Declaration or if applicable, the Owner's authorization too, must be signed by an officer of the corporation who has authority to bind the corporation; or the corporation's seal must be affixed.

OWNER'S/PURCHASER'S AUTHORIZATION:

The Owner/Purchaser must complete the following to authorize applicant, agent or solicitor to act on their behalf.

NOTE: If more than one owner/purchaser is listed in item #2 of this application, then all owners/purchasers must sign this authorization section of the application form or by a letter of authorization duly signed.

If the Owner/Purchaser is a corporation, the authorization must be by an officer of the corporation who has authority to bind the corporation.

I, (we), MARIA CHARBONNEAU the Registered Owners/Purchasers of
6648 GORE RD Of the TOWNSHIP OF PUSLINCH in the
County/Region of WELLINGTON severally and jointly, solemnly declare that
JEFF CHARBONNEAU (SPOUSE)

Is authorized to submit an application for consent on my (our) behalf.


Signature(s) of Registered Owner(s)/Purchasers or Corporation's Officer

APPLICANT'S DECLARATION

This must be completed by the Applicant for the proposed consent

I, (we) JEFF CHARBONNEAU of the
TOWNSHIP OF PUSLINCH In the County/Region of
WELLINGTON Solemnly declare that all

the statements contained in this application for consent for (property description) 6648 GORE RD,
PUSLINCH, ON N0B2J0

And all the supporting documents are true, and I, (we), make this solemn declaration conscientiously believing it to be true and complete, and knowing that it is of the same force and effect as if made under oath, and virtue of the CANADA EVIDENCE ACT.

DECLARED before me at the

City Of

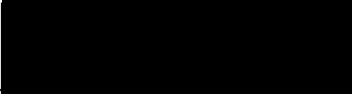
Guelph In the

County/Region of Wellington

This 2 day of June 2022


(Owner/Purchaser or Applicant)

(Owner/Purchaser or Applicant)


Commissioner of Oaths
County of Wellington

KIM COURTS
DEPUTY CLERK
COUNTY OF WELLINGTON
A COMMISSIONER OF OATHS
IN THE PROVINCE OF ONTARIO

K. Courts
Printed Commissioner's, etc. Name

Revised April 2022

APPLICANT'S CONSENT (FREEDOM OF INFORMATION):

In accordance with the provisions of the Planning Act, it is the policy of the County Planning and Development Department to provide public access to all development applications and supporting documentation. In submitting this development application and supporting documentation, I, JEFF CHARBONNEAU, the applicant, hereby acknowledge the above-noted and provide my consent in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act that the information on this application and any supporting documentation provided by myself, my agents, solicitors, and consultants will be part of the public record and will also be available to the general public.



Signature of Owner/Purchaser/Applicant/Agent(s)

May 31, 2022

Date

THIS APPLICATION PACKAGE IS TO BE SUBMITTED TO:

**Secretary-Treasurer
Planning and Development Department
County of Wellington
74 Woolwich Street
Guelph, Ontario
N1H 3T9**

Phone (519) 837-2600 Ext. 2170



County of Wellington

FARM DATA SHEET
Minimum Distance Separation I (MDSI)

NOTE TO THE FACILITY OWNER:

Your cooperation in filling out this sheet will help to ensure that new land uses will be located a suitable distance from your operation.

Owner of Livestock Facility BARTLETS INVESTMENTS LIMITED

Telephone [REDACTED] Civic Address 6647 GORE ROAD

Municipality NORTH DUMFRIES TWP Lot 5 Concession BEVERLY 10 DIV

Tillable Hectares/Acres* on the lot where the livestock facility is located hectares 35 acres

Signature of Livestock Facility Owner [REDACTED] Date 12-28-2015

Animal Type or Material	Description	Housing Capacity* (maximum)	Manure Storage Type* (select from list above)
Beef Cattle	Cows, including calves to weaning (all breeds)		
	Feeders (7 – 16 months)		
	Backgrounders (7 – 12.5 months)		
	Shortkeepers (12.5 – 17.5 months)		
Dairy Cattle	Milking-age cows (dry or milking)		
	Large-framed; 545 kg – 636 kg (for example - Holsteins)		
	Medium-framed; 455 kg – 545 kg (for example - Guernseys)		
	Small-framed; 364 kg – 455 kg (for example - Jerseys)		
	Heifers (5 months to freshening)		
	Large-framed; 182 kg – 545 kg (for example - Holsteins)		
	Medium-framed; 148 kg – 455 kg (for example - Guernseys)		
	Small-framed; 125 kg – 364 kg (for example - Jerseys)		
	Calves (0 – 5 months)		
	Large-framed; 45 kg – 182 kg (for example - Holsteins)		
	Medium-framed; 39 kg – 148 kg (for example - Guernseys)		
	Small-framed; 30 kg – 125 kg (for example - Jerseys)		
Swine	Sows with litter, dry sows/boars; Segregated Early Weaning (SEW)		
	Sows with litter, dry sows or boars (non-SEW)		
	Breeder gilts (entire barn designed specifically for this purpose)		
	Weaners (7 kg – 27 kg)		
	Feeders (27 kg – 105 kg)		
Horses	Large-framed, mature; >681 kg (including unweaned offspring)		
	Medium-framed, mature; 227 kg – 680 kg (including unweaned offspring)		
	Small-framed, mature; <227 kg (including unweaned offspring)		
Sheep	Ewes & rams (for meat lambs; includes unweaned offspring & replacements)		
	Ewes & rams (dairy operation; includes unweaned offspring & replacements)		
	Lambs (dairy or feeder lambs)		

Permanent Manure or Material Storage Types

Solid Manure: 18% dry matter, or more
Liquid Manure: Less than 18% dry matter
Digestate: Less than 18% dry matter

- 0
- No storage required (manure/material stored for less than 14 days)
- V1
- Solid, inside, bedded pack
- V2
- Solid, outside, covered
- V3
- Solid, outside, no cover, greater than or equal 30% dry matter
- V4
- Solid, outside, no cover, 18% to less than 30% dry matter, with covered liquid runoff storage
- L1
- Solid, outside, no cover, 18% to less than 30% dry matter, with uncovered liquid runoff storage
- V5
- Liquid, inside, underneath slatted floor
- V6
- Liquid, outside, with a permanent, tight fitting cover
- V7
- Liquid, (digestate), outside, no cover

BARN(S) SIZE:

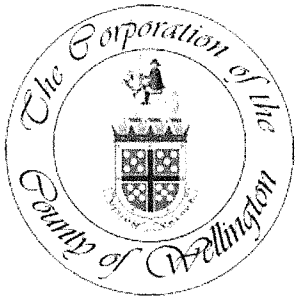
A ~~776~~ 10413 (LW) (ft² ~~1118~~)

B 9323 (VS) (ft² ~~1118~~)

(ft² /m²)

Please provide the size of the barns located on the property. This information is required to determine maximum livestock capacity.

Animal Type or Material	Description	Housing Capacity*	Manure Storage Type* (select from list above)
Goats	Does & bucks (for meat kids; includes unweaned offspring & replacements)		
	Does & bucks (for dairy; includes unweaned offspring & replacements)		
	Kids (dairy or feeder kids)		
Chickens	Layer hens (for eating eggs; after transfer from pullet barn)		
	Layer pullets (day olds until transferred into layer barn)		
	Broiler breeder growers (males/ females transferred out to layer barn)		
	Broiler breeder layers (males/ females transferred in from grower barn)		
	Broilers on an 8 week cycle		
	Broilers on a 9 week cycle		
	Broilers on a 10 week cycle		
	Broilers on a 12 week cycle		
	Broilers on any other cycle, or unknown		
Turkeys	Turkey pullets (day old until transferred to layer turkey barn)		
	Turkey breeder layers (males/ females transferred in from grower barn)		
	Breeder toms		
	Broilers (day olds to 6.2 kg)		
	Hens (day olds up to 6.2 kg to 10.8 kg; 7.5 kg is typical)		
	Toms (day olds to over 10.8 kg to 20 kg; 14.5 kg is typical)		
	Turkeys at any other weights, or unknown		
Veal	Milk-fed	700	V5
	Grain-fed		
Other			
Manure imported to a lot not generating manure	Maximum capacity of permanent storages at any time: solid or liquid capacity	A 22440585	V5
		B 25600 63	V5
Anaerobic Digester	Maximum capacity of permanent storages at any time: solid or liquid capacity		



FARM DATA SHEET
Minimum Distance Separation I (MDSI)
County of Wellington

NOTE TO FARM OWNER(S)
By filling out this form you will help to ensure that new land uses will be located a suitable distance from your livestock operation. Feel free to contact the County Planning office with any questions.

Owner(s) of Livestock Facility JEFF CAMERON

Contact Information
Email [redacted] Telephone [redacted]
Civic Address 6632 GORE ROAD Municipality PUSLICH
Lot 6 Concession GORE Division _____
Lot Size (where livestock facility is located) _____ hectares 98 acres

Signature of Livestock Facility Owner [redacted] Date APRIL 02, 2022

BARN(S) SIZE Please provide the size of the barns located on the property. This information is used to verify maximum livestock capacity. ① 4,500 ft²/m² ② 2,300 ft²/m² ③ 900 ft²/m²

- Manure Storage Types** Solid manure: 18% dry matter, or more Liquid manure: <18% dry matter
- | | | | |
|----|---|----|--|
| V1 | Solid, inside, bedded pack | L1 | Solid, outside, no cover, 18%- <30% dry matter, with uncovered liquid runoff storage |
| V2 | Solid, outside, covered | L2 | Liquid, outside, with a permanent floating cover |
| V3 | Solid, outside, no cover, ≥30% dry matter | M1 | Liquid, outside, no cover, straight-walled storage |
| V4 | Solid, outside, no cover, 18% - <30% dry matter, with covered liquid runoff storage | M2 | Liquid, outside, roof, but with open sides |
| V5 | Liquid, inside, underneath slatted floor | H1 | Liquid, outside, no cover, sloped-sided storage |
| V6 | Liquid, outside, with a permanent, tight-fitting cover | | |

Animal Type of Material	Description	Housing Capacity (maximum)	Manure Storage Type (select from list)
Beef Cattle	Cows, including calves to weaning (all breeds)		
	Feeders (7 – 16 months)		
	Backgrounders (7 – 12.5 months)		
	Shortkeepers (12.5 – 17.5 months)		
Dairy Cattle	Milking-age cows (dry or milking)		
	Large-framed; 545 – 658 kg (e.g. Holsteins)		
	Medium-framed; 455 – 545 kg (e.g. Guernseys)		
	Small-framed; 364 – 455 kg (e.g. Jerseys)		
	Hieifers (5 months to freshening)		
	Large-framed; 182 – 545 kg (e.g. Holsteins)		
	Medium-framed; 148 – 455 kg (e.g. Guernseys)		
	Small-framed; 125 – 364 kg (e.g. Jerseys)		
	Calves (0 – 5 months)		
	Large-framed; 45 – 182 kg (e.g. Holsteins)		
	Medium-framed; 39 – 148 kg (e.g. Guernseys)		
	Small-framed; 30 – 125 kg (e.g. Jerseys)		
Horses	Large-framed, mature; >681 kg (e.g. draft or draft cross breeds including unweaned offspring) ①	3	V3
	Medium-framed, mature; 227 – 680 kg (e.g. saddle, riding and racing breeds including unweaned offspring)		
	Small-framed, mature; <227 kg (e.g. ponies and miniatures including unweaned offspring)		

Animal Type of Material	Description	Housing Capacity (maximum)	Manure Storage Type (select from list)
Swine	Sows with litter, dry sows or boars		
	Breeder gilts (entire barn designed specifically for this purpose)		
	Weaners (7 – 27 kg)		
	Feeders (27 – 136 kg)		
Sheep	Ewes & rams (for meat lambs; includes unweaned offspring & replacements)		
	Ewes & rams (dairy operation; includes unweaned offspring & replacements)		
	Lambs (dairy or feeder lambs)		
Goats	Does & bucks (for meat kids; includes unweaned offspring and replacements)		
	Does & bucks (for dairy; includes unweaned offspring & replacements)		
	Kids (dairy or feeder kids)		
Chickens	Layer hens (for eating eggs; after transfer from pulletbarn)		
	Layer pullets (day-olds until transferred into layer barn)		
	Broiler breeder growers (males/females transferred out to layerbarn)		
	Broiler breeder layers (males/females transferred in from growerbarn)		
	Broilers on any length of cycle		
Turkeys	Turkey poults (day-old until transferred to grow out turkeybarn)		
	Turkey breeder layers (males/females transferred in from growerbarn)		
	Breeder toms		
	Broilers (day-olds to 6.2 kg)		
	Hens (day-olds up to 6.2 to 10.8 kg; 7.5 kg is typical)		
	Toms (day-olds to over 10.8 to 20 kg; 14.5 kg is typical)		
	Turkeys at any other weights, or if unknown (by floorarea)		
Veal	Milk-fed		
	Grain-fed		
Other	Please refer to Factor Table 1 of The Minimum Distance Separation (MDS) Document for complete list of animal types		
Imported manure	Use the volume of the manure storages		
Unoccupied livestock barns	A livestock barn that does not currently house any livestock, but that housed livestock in the past and continues to be structurally sound and reasonably capable of housing livestock.* <div>② + ③</div>		√ ③

*NOTE: This should only be used where obtaining information from the farm operator(s) and/or owner(s) was not possible (see Implementation Guideline 20 for more information).

QUESTIONS?

PLEASE CONTACT

County of Wellington
Planning and Development Department
74 Woolwich Street, Guelph
ON N1H 3T9
F 519.923.1694

Linda Redmond, Senior Planner

E lindar@wellington.ca
T 519.837.2600 x2380
1.800.663.0750 x2380

Sarah Wilhelm, Senior Planner

E sarahw@wellington.ca
T 519.837.2600 x2130
1.800.663.0750 x2130



FARM DATA SHEET
Minimum Distance Separation I (MDSI)
County of Wellington

NOTE TO FARM OWNER(S)
By filling out this form you will help to ensure that new land uses will be located a suitable distance from your livestock operation. Feel free to contact the County Planning office with any questions.

Owner(s) of Livestock Facility PAUL LIGHTHEART TAMME LIGHTHEART ELAINE ELLIS

Contact Information
Email [REDACTED] Telephone [REDACTED]
Civic Address 6652 GORE ROAD Municipality PUSLICH
Lot 7 Concession GORE Division
Lot Size (where livestock facility is located) hectares 5.60 acres
Signature of Livestock Facility Owner [REDACTED] Date APRIL 4/2022

BARN(S) SIZE Please provide the size of the barns located on the property. This information is used to verify maximum livestock capacity. 3765 (ft²/m²) ft²/m²

- Manure Storage Types** Solid manure: 18% dry matter, or more Liquid manure: <18% dry matter
- | | | | |
|----|---|----|--|
| V1 | Solid, inside, bedded pack | L1 | Solid, outside, no cover, 18%- <30% dry matter, with uncovered liquid runoff storage |
| V2 | Solid, outside, covered | L2 | Liquid, outside, with a permanent floating cover |
| V3 | Solid, outside, no cover, ≥30% dry matter | M1 | Liquid, outside, no cover, straight-walled storage |
| V4 | Solid, outside, no cover, 18% - <30% dry matter, with covered liquid runoff storage | M2 | Liquid, outside, roof, but with open sides |
| V5 | Liquid, inside, underneath slatted floor | H1 | Liquid, outside, no cover, sloped-sided storage |
| V6 | Liquid, outside, with a permanent, tight-fitting cover | | |

Animal Type of Material	Description	Housing Capacity (maximum)	Manure Storage Type (select from list)
Beef Cattle	Cows, including calves to weaning (all breeds)		
	Feeders (7 – 16 months)		
	Backgrounders (7 – 12.5 months)		
	Shortkeepers (12.5 – 17.5 months)		
Dairy Cattle	Milking-age cows (dry or milking)		
	Large-framed; 545 – 658 kg (e.g. Holsteins)		
	Medium-framed; 455 – 545 kg (e.g. Guernseys)		
	Small-framed; 364 – 455 kg (e.g. Jerseys)		
	Hieifers (5 months to freshening)		
	Large-framed; 182 – 545 kg (e.g. Holsteins)		
	Medium-framed; 148 – 455 kg (e.g. Guernseys)		
	Small-framed; 125 – 364 kg (e.g. Jerseys)		
	Calves (0 – 5 months)		
	Large-framed; 45 – 182 kg (e.g. Holsteins)		
Horses	Medium-framed; 39 – 148 kg (e.g. Guernseys)		
	Small-framed; 30 – 125 kg (e.g. Jerseys)		
	Large-framed, mature; >681 kg (e.g. draft or draft cross breeds including unweaned offspring)		
	Medium-framed, mature; 227 – 680 kg (e.g. saddle, riding and racing breeds including unweaned offspring)		
	Small-framed, mature; <227 kg (e.g. ponies and miniatures including unweaned offspring)		

Animal Type of Material	Description	Housing Capacity (maximum)	Manure Storage Type (select from list)
Swine	Sows with litter, dry sows or boars		
	Breeder gilts (entire barn designed specifically for this purpose)		
	Weaners (7 – 27 kg)		
	Feeders (27 – 136 kg)		
Sheep	Ewes & rams (for meat lambs; includes unweaned offspring & replacements)		
	Ewes & rams (dairy operation; includes unweaned offspring & replacements)		
	Lambs (dairy or feeder lambs)		
Goats	Does & bucks (for meat kids; includes unweaned offspring and replacements)		
	Does & bucks (for dairy; includes unweaned offspring & replacements)		
	Kids (dairy or feeder kids)		
Chickens	Layer hens (for eating eggs; after transfer from pulletbarn)		
	Layer pullets (day-olds until transferred into layer barn)		
	Broiler breeder growers (males/females transferred out to layerbarn)		
	Broiler breeder layers (males/females transferred in from growerbarn)		
	Broilers on any length of cycle		
Turkeys	Turkey poults (day-old until transferred to grow out turkeybarn)		
	Turkey breeder layers (males/females transferred in from growerbarn)		
	Breeder toms		
	Broilers (day-olds to 6.2 kg)		
	Hens (day-olds up to 6.2 to 10.8 kg; 7.5 kg is typical)		
	Toms (day-olds to over 10.8 to 20 kg; 14.5 kg is typical)		
	Turkeys at any other weights, or if unknown (by floorarea)		
Veal	Milk-fed		
	Grain-fed		
Other	Please refer to Factor Table 1 of The Minimum Distance Separation (MDS) Document for complete list of animal types		
Imported manure	Use the volume of the manure storages		
Unoccupied livestock barns	A livestock barn that does not currently house any livestock, but that housed livestock in the past and continues to be structurally sound and reasonably capable of housing livestock.*		V3

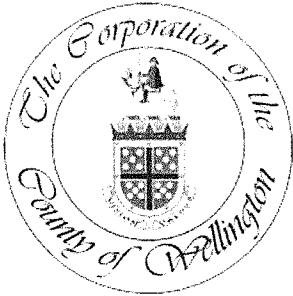
*NOTE: This should only be used where obtaining information from the farm operator(s) and/or owner(s) was not possible (see Implementation Guideline 20 for more information).

QUESTIONS?
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FARM DATA SHEET
Minimum Distance Separation I (MDSI)
County of Wellington

NOTE TO FARM OWNER(S)
By filling out this form you will help to ensure that new land uses will be located a suitable distance from your livestock operation. Feel free to contact the County Planning office with any questions.

Owner(s) of Livestock Facility JOE KOZOVSKI / VANESSA QUINTAL

Contact Information
Email [redacted] Telephone [redacted]
Civic Address 6686 GORE ROAD Municipality POSLINCH
Lot 8 Concession GORE Division
Lot Size (where livestock facility is located) hectares 12 acres
Signature of Livestock Facility Owner [redacted] Date Apr 12th / 2022

BARN(S) SIZE Please provide the size of the barns located on the property. This information is used to verify maximum livestock capacity. 1800 ft²/m² 1200 ft² 400 (ft²) @/m² Outdoor shelter Arena 9600 (no horses)

- Manure Storage Types Solid manure: 18% dry matter, or more Liquid manure: <18% dry matter
- | | | | |
|----|---|----|--|
| V1 | Solid, inside, bedded pack | L1 | Solid, outside, no cover, 18%- <30% dry matter, with uncovered liquid runoff storage |
| V2 | Solid, outside, covered | L2 | Liquid, outside, with a permanent floating cover |
| V3 | Solid, outside, no cover, ≥30% dry matter | M1 | Liquid, outside, no cover, straight-walled storage |
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| V5 | Liquid, inside, underneath slatted floor | H1 | Liquid, outside, no cover, sloped-sided storage |
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Animal Type of Material	Description	Housing Capacity (maximum)	Manure Storage Type (select from list)
Beef Cattle	Cows, including calves to weaning (all breeds)		
	Feeders (7 – 16 months)		
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Dairy Cattle	Milking-age cows (dry or milking)		
	Large-framed; 545 – 658 kg (e.g. Holsteins)		
	Medium-framed; 455 – 545 kg (e.g. Guernseys)		
	Small-framed; 364 – 455 kg (e.g. Jerseys)		
	Hieifers (5 months to freshening)		
	Large-framed; 182 – 545 kg (e.g. Holsteins)		
	Medium-framed; 148 – 455 kg (e.g. Guernseys)		
	Small-framed; 125 – 364 kg (e.g. Jerseys)		
	Calves (0 – 5 months)		
	Large-framed; 45 – 182 kg (e.g. Holsteins)		
Horses	Large-framed, mature; >681 kg (e.g. draft or draft cross breeds including unweaned offspring)		
	Medium-framed, mature; 227 – 680 kg (e.g. saddle, riding and racing breeds including unweaned offspring)	18	V3
	Small-framed, mature; <227 kg (e.g. ponies and miniatures including unweaned offspring)		

Animal Type of Material	Description	Housing Capacity (maximum)	Manure Storage Type (select from list)
Swine	Sows with litter, dry sows or boars		
	Breeder gilts (entire barn designed specifically for this purpose)		
	Weaners (7 – 27 kg)		
	Feeders (27 – 136 kg)		
Sheep	Ewes & rams (for meat lambs; includes unweaned offspring & replacements)		
	Ewes & rams (dairy operation; includes unweaned offspring & replacements)		
	Lambs (dairy or feeder lambs)		
Goats	Does & bucks (for meat kids; includes unweaned offspring and replacements)		
	Does & bucks (for dairy; includes unweaned offspring & replacements)		
	Kids (dairy or feeder kids)		
Chickens	Layer hens (for eating eggs; after transfer from pulletbarn)		
	Layer pullets (day-olds until transferred into layer barn)		
	Broiler breeder growers (males/females transferred out to layerbarn)		
	Broiler breeder layers (males/females transferred in from growerbarn)		
	Broilers on any length of cycle		
Turkeys	Turkey poults (day-old until transferred to grow out turkeybarn)		
	Turkey breeder layers (males/females transferred in from growerbarn)		
	Breeder toms		
	Broilers (day-olds to 6.2 kg)		
	Hens (day-olds up to 6.2 to 10.8 kg; 7.5 kg is typical)		
	Toms (day-olds to over 10.8 to 20 kg; 14.5 kg is typical)		
	Turkeys at any other weights, or if unknown (by floorarea)		
Veal	Milk-fed		
	Grain-fed		
Other	Please refer to Factor Table 1 of The Minimum Distance Separation (MDS) Document for complete list of animal types		
Imported manure	Use the volume of the manure storages		
Unoccupied livestock barns	A livestock barn that does not currently house any livestock, but that housed livestock in the past and continues to be structurally sound and reasonably capable of housing livestock.*		

*NOTE: This should only be used where obtaining information from the farm operator(s) and/or owner(s) was not possible (see Implementation Guideline 20 for more information).

QUESTIONS?

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1.800.663.0750 x2380

Sarah Wilhelm, Senior Planner

E sarahw@wellington.ca
T 519.837.2600 x2130
1.800.663.0750 x2130

RE: 6647 GORE RD (N. DUMFRIES)

JERRY BARTESE OF BARTESE INVESTMENTS
LIVED

APRIL 04, 2022 9010 AM

→ HAND DELIVERED FROM DATA SHEET

TO HIS ASSISTANT (SUSIE) AT

425 BOBBIE DR., CAMBRIDGE

→ WEEK OF APRIL 11 - RETURNED TO

425 BOBBIE DR. + SUSIE ASSIGNED

MS THAT JERRY HAD THE FIRM

→ MAY 02, 2022 → SENT JERRY AN

EMAIL TO SUSPECTED ADDRESS

[REDACTED]

→ MAY 06, 2022 → HAND DELIVERED

(FARM DATA SHEETS AGAIN), TO
6647 GORE RD.

MR. BARTESE IN 2015

NOTE: PLEASE SEE ATTACHED

THE FIRMS COMPLETED BY

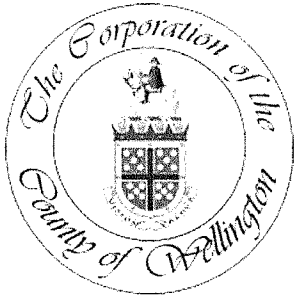
ALSO ATTACHED IS EVIDENCE

OF AN APPROVED MINOR

VARIANCE FOR RELIEF OF

THE MDSI SET BACK REQUIREMENTS.

THANKS



FARM DATA SHEET
Minimum Distance Separation I (MDSI)
County of Wellington

NOTE TO FARM OWNER(S)
By filling out this form you will help to ensure that new land uses will be located a suitable distance from your livestock operation. Feel free to contact the County Planning office with any questions.

Owner(s) of Livestock Facility BARTELSE INVESTMENTS LIMITED

Contact Information

Email _____ Telephone _____
Civic Address 6647 GORE RD. Municipality NORTH SUMFRES TWP
Lot S Concession BEVERLY 10 Division _____
Lot Size (where livestock facility is located) _____ hectares _____ acres

Signature of Livestock Facility Owner _____ Date _____

BARN(S) SIZE Please provide the size of the barns located on the property. This information is used to verify maximum livestock capacity. _____ ft²/m² _____ ft²/m²

- Manure Storage Types
- Solid manure: 18% dry matter, or more

Liquid manure: <18% dry matter
- V1 Solid, inside, bedded pack

V2 Solid, outside, covered

V3 Solid, outside, no cover, ≥30% dry matter

V4 Solid, outside, no cover, 18% - <30% dry matter, with covered liquid runoff storage

V5 Liquid, inside, underneath slatted floor

V6 Liquid, outside, with a permanent, tight-fitting cover
- L1 Solid, outside, no cover, 18%- <30% dry matter, with uncovered liquid runoff storage

L2 Liquid, outside, with a permanent floating cover

M1 Liquid, outside, no cover, straight-walled storage

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Animal Type of Material	Description	Housing Capacity (maximum)	Manure Storage Type (select from list)
Beef Cattle	Cows, including calves to weaning (all breeds)		
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QUESTIONS?

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1.800.663.0750 x2130

Jana Poechman

From: Source Water <sourcewater@centrewellington.ca>
Sent: Wednesday, June 8, 2022 11:20 AM
To: Jana Poechman
Cc: Source Water
Subject: RE: B76-22 - Screening Form
Attachments: WHPA_Map_Gore_6648.pdf

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you know the contents to be safe.

Hello Jana,

Thank you for providing the above referenced application for review. I have reviewed the application and can confirm that the property is located in a WHPA-D (25 year time-of-travel) and therefore, the application can be screened out and no notice is required pursuant to the *Clean Water Act*.

I have attached a map showing the property and Wellhead Protection Areas for your reference.

If you have any further questions regarding this application, or in the event of any technical problem with the email or attachments, please contact me.

Kind regards,
Danielle

Danielle Walker (she/ her) | Source Protection Coordinator

Wellington Source Water Protection | 7444 Wellington Road 21, Elora, ON, N0B 1S0
519.846.9691 x236 | DWalker@centrewellington.ca | www.wellingtonwater.ca
Toll free: 1-844-383-9800

Wellington Source Water Protection is a municipal partnership between the Townships of Centre Wellington, Guelph / Eramosa, Mapleton, Puslinch, Wellington North, the Towns of Erin and Minto and the County of Wellington created to protect existing and future sources of drinking water.

From: Jana Poechman <janap@wellington.ca>
Sent: June 6, 2022 11:39 AM
To: Source Water <sourcewater@centrewellington.ca>
Subject: B76-22 - Screening Form

Good Morning.

Please see the attached for your review. We plan to circulate July 7th.

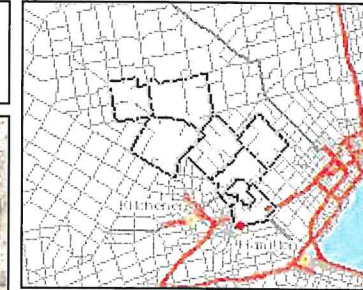
Thanks.
Jana

Jana Poechman
Planning Administrative Clerk
Planning and Development Department
County of Wellington
74 Woolwich Street
Guelph ON N1H 3T9
T 519.837.2600 x 2170
E janap@wellington.ca



Explore
Wellington

6646 Gore Road, Purdinch



Legend

Parcels

Roads

- Local Road
- County Road
- Highway

Watercourses

Well Locations

Wellhead Protection Area Boundaries

- A
- B
- C
- D

Issue Contributing Area

- Chloride
- Nitrate
- Sodium
- TCE

Vulnerability Score

- 10
- 8, D; 8; 8, C
- 2, 4, 6 (A, B or C)
- 2,4,6, D; 2,4, D; 2, 4, 6 (D); 4, D; 6,

HVA

RoadsLookup

0.1 0 0.05 0.1 Kilometers

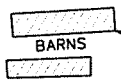
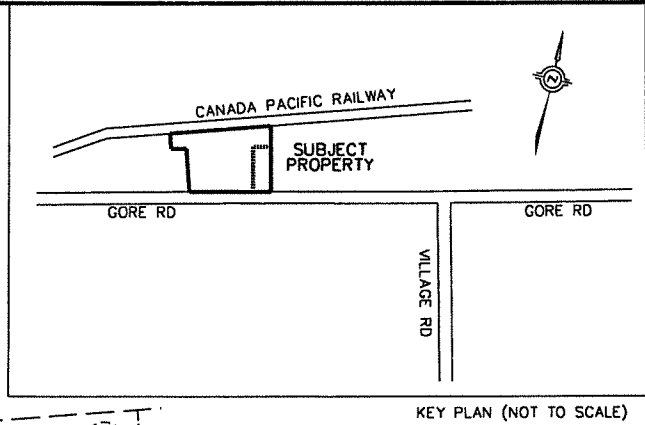
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

Produced using information under License with the Grand River Conservation Authority. Copyright © Grand River Conservation Authority, 2022.

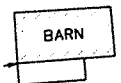
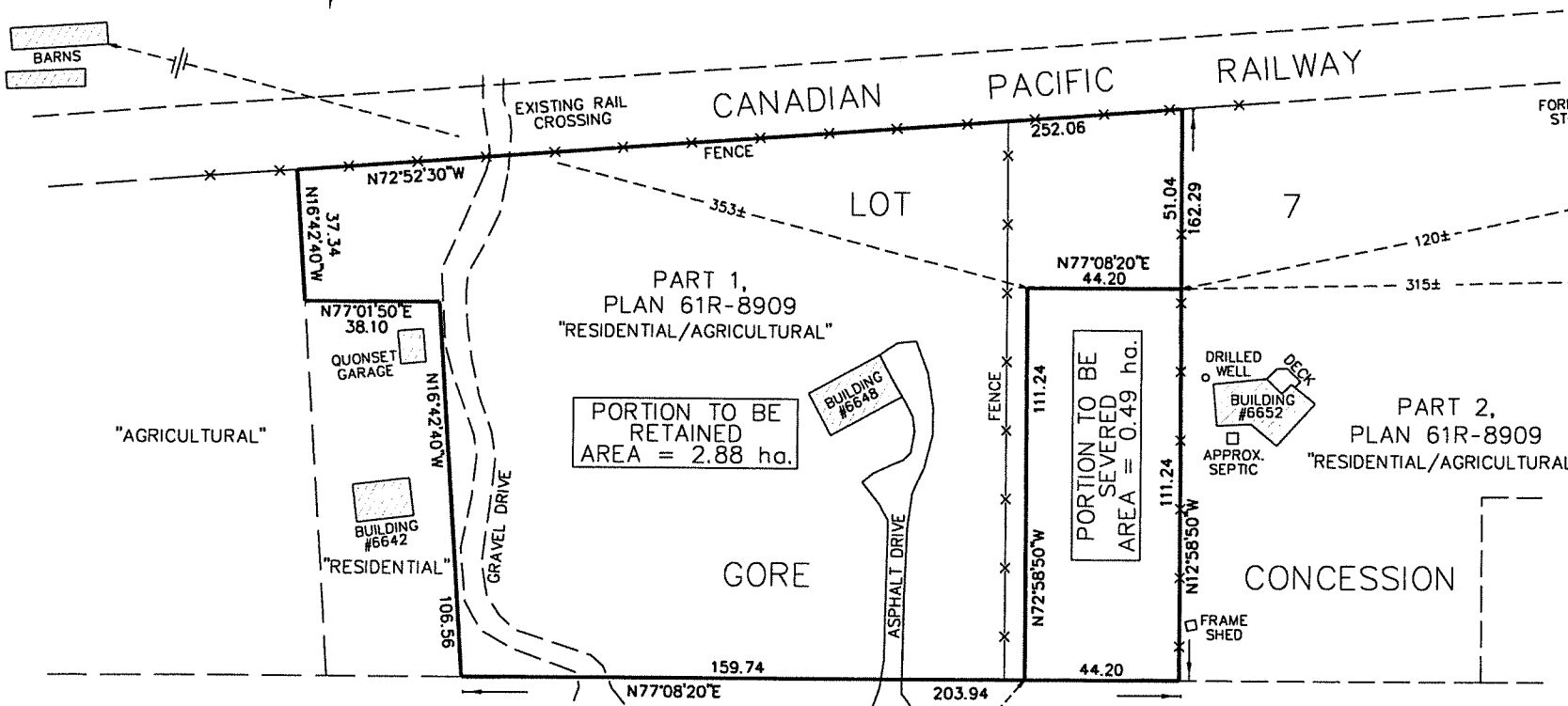
THIS IS NOT SURVEY DATA. Parcels - Teranet 2002, Wellington County 2022

WGS_1984_Web_Mercator_Auxiliary_Sphere
Includes material © 2022 of the Queen's Printer for Ontario. All rights reserved.

Notes



"GREEN LANDS"



PART 1,
PLAN 61R-8909
"RESIDENTIAL/AGRICULTURAL"

PORTION TO BE
RETAINED
AREA = 2.88 ha.

PART 2,
PLAN 61R-8909
"RESIDENTIAL/AGRICULTURAL"

PORTION TO BE
SEVERED
AREA = 0.49 ha.

SEVERANCE SKETCH OF 6648 GORE ROAD TOWNSHIP OF PUSLINCH COUNTY OF WELLINGTON

SCALE 1 : 1500



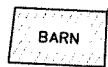
J.D. BARNES LIMITED

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED TO FEET BY
DIVIDING BY 0.3048.

NOTES

THIS IS NOT A PLAN OF SURVEY AND MUST ONLY BE USED FOR THE PURPOSE
INDICATED IN THE TITLE BLOCK.
BOUNDARY INFORMATION SHOWN DERIVED FROM PLAN 61R-8909.
PHYSICAL FEATURES SHOWN WERE TRACED FROM GOOGLE EARTH OVERLAY,
OR DERIVED FROM PREVIOUS SEVERANCE SKETCHES BY JAMES S. CAMPBELL,
O.L.S. AND A.C.I. SURVEY CONSULTANTS. LOCATIONS OF ALL FEATURES SHOWN
ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED IN THE FIELD.

GORE ROAD
(ROAD ALLOWANCE IN FRONT OF THE GORE CONCESSION)
(20.12 WIDE)





J.D. BARNES
LIMITED
LAND INFORMATION SPECIALISTS
4273 KING ST. E. #100, KITCHENER, ON, N2P 2E9
T: (519) 578-2220 F: (519) 650-5625 www.jdbarnes.com

DH	DRAWN
BR	CHECKED
DATED: 5/30/2022	
Ref. No. 22-40-671-00	

PLOTTED 5/30/2022

G:\22-40-671\00\Drawing\22-40-671-00-SEV.dgn

July 8, 2022

NOTICE OF AN APPLICATION FOR CONSENT
Ontario Planning Act, Section 53(4)

The County of Wellington Planning and Land Division Committee requests your written comments on this application for consent.

APPLICATION SUBMITTED ON: June 02, 2022

FILE NO. B77-22

<u>APPLICANT</u>	<u>LOCATION OF SUBJECT LANDS</u>
Cheryl Ritter 7726 Maltby Road E Puslinch N0B 2J0	Township of Puslinch Part Lot 15 Concession 10

Proposed severance is 37.5m fr x 106.45m = 0.4077 hectares, vacant land for proposed rural residential use.
Retained parcel is 1.4793 hectares with 77.65m frontage, existing and proposed rural residential use with existing dwelling.

**IF YOU WISH TO SUBMIT COMMENTS ON THIS APPLICATION,
WE MUST HAVE YOUR WRITTEN COMMENTS BEFORE**

August 17, 2022

Comments can be provided by mail at address above or by email landdivisioninfo@wellington.ca

Please note that if the Comments are not received by the requested date, the Planning and Land Division Committee may proceed to consider the application, and may assume that you have no objection to this Application for Consent.

Please also be advised that if a person or public body that files an appeal of a decision of the County of Wellington Planning and Land Division Committee in respect of the proposed consent has not made written submission to the County of Wellington Planning and Land Division Committee before it gives or refuses to give a provisional consent, then the Ontario Land Tribunal may dismiss the appeal.

If you wish to be **NOTIFIED OF THE DATE AND TIME OF THE CONSIDERATION** of this application - **please make your request in writing and provide your email address** to the Planning and Land Division Committee before the "Comments Return Date" noted above.

If you wish to be **NOTIFIED OF THE DECISION** of the County of Wellington Planning and Land Division Committee in respect of this proposed consent, **you must make a request in writing** to the County of Wellington Planning and Land Division Committee. This will also entitle you to be advised of a possible Ontario Land Tribunal. Even if you are the successful party, you should request a copy of the decision since the County of Wellington Planning and Land Division Committee's decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the Public.

INFORMATION REGARDING THE APPLICATION is available to the public during regular business hours, Monday to Friday at the County of Wellington Planning and Land Division Office- 74 Woolwich St. Guelph, ON N1H 3T9.
Phone: (519) 837-2600 x2170 Fax: (519) 837-3875

MAILED TO:

- Local Municipality – Puslinch
- County Planning
- Conservation Authority - GRCA
- Source Water Protection
- Bell Canada (email)
- County Clerk
- Roads/Solid Waste
- Civic Addressing
- Neighbour - as per list verified by local municipality and filed by applicant with this application

APPLICATION FOR CONSENT

Ontario Planning Act

1. Approval Authority:

County of Wellington Planning and Land Division Committee
 County of Wellington Administration Centre
 74 Woolwich Street, GUELPH, Ontario N1H 3T9

Phone: 519-837-2600, ext. 2170 or 2160 Fax: 519-837-3875

Required Fee: \$ 4720
 Fee Received: Jun 2/22
 File No. B77-22
 Accepted as Complete on: Jun 2/22

A COPY OF YOUR CURRENT DEED MUST BE SUBMITTED WITH THIS APPLICATION

2. (a) Name of Registered Owner(s) Cheryl Louise Ritter

Address 7726 Maltby Road East

Puslinch, Ontario N0B 2J0

Phone No. [REDACTED]

Email: [REDACTED]

(b) Name and Address of Applicant (as authorized by Owner)

Phone No. _____

Email: _____

(c) Name and Address of Owner's Authorized Agent: Black, Shoemaker, Robinson & Donaldson Limited

257 Woodlawn Road West, Unit 101

Guelph, Ontario N1H 8J1

Phone No. [REDACTED]

Email: [REDACTED]

(d) All Communication to be directed to:

REGISTERED OWNER ☒]

APPLICANT ☐]

AGENT ☒]

(e) Notice Cards Posted by:

REGISTERED OWNER ☐]

APPLICANT ☐]

AGENT ☒]

3. Type and Purpose of Proposed Transaction: (Check off appropriate box & provide short explanation)

RURAL RESIDENTIAL ☒] AGRICULTURAL ☐] URBAN RESIDENTIAL ☐] COMMERCIAL/INDUSTRIAL ☐]

OR

EASEMENT ☐] RIGHT OF WAY ☐] CORRECTION OF TITLE ☐] LEASE ☐]

(a) If known, the name of person to whom the land or an interest in the land is to be transferred, charged or leased.

unknown

4. (a) Location of Land in the County of Wellington:

Local Municipality: Township of Puslinch

Concession 10Lot No. Part of Lot 15

Registered Plan No. _____Lot No. _____

Reference Plan No. 61R-8382Part No. Part 1

Civic Address 7726 Maltby Road East

(b) When was property acquired: September 7, 2000 Registered Instrument No. LT38142

5. Description of Land intended to be SEVERED:Metric [X]Imperial []

Frontage/Width 37.5 mAREA 0.4077 ha

Depth 106.45 mExisting Use(s) Part of rural residential lot

Existing Buildings or structures: None

Proposed Uses (s): Single Detached Residential dwelling

Type of access (Check appropriate space)	Existing []	Proposed [X]
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Right-of-way	
<input checked="" type="checkbox"/> County Road	<input type="checkbox"/> Private road	
<input type="checkbox"/> Municipal road, maintained year round	<input type="checkbox"/> Crown access road	
<input type="checkbox"/> Municipal road, seasonally maintained	<input type="checkbox"/> Water access	
<input type="checkbox"/> Easement	<input type="checkbox"/> Other	

Type of water supply - Existing [] Proposed [X] (check appropriate space)

☐ Municipally owned and operated piped water system

☒ Well☒ individual☐ communal

☐ Lake

☐ Other _____

Type of sewage disposal - Existing [] Proposed [X] (check appropriate space)

☐ Municipally owned and operated sanitary sewers

☒ Septic Tank (specify whether individual or communal): Individual

☐ Pit Privy

☐ Other (Specify): _____

6. Description of Land intended to be **RETAINED**: Metric [X] Imperial []

Frontage/Width 77.65 m AREA 1.4793 Ha

Depth 142.27 m Existing Use(s) Rural Residential

Existing Buildings or structures: Single Detached Residential Dwelling

Proposed Uses (s): No change proposed

Type of access (Check appropriate space)	Existing [X]	Proposed []
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Right-of-way	
<input checked="" type="checkbox"/> County Road	<input type="checkbox"/> Private road	
<input type="checkbox"/> Municipal road, maintained year round	<input type="checkbox"/> Crown access road	
<input type="checkbox"/> Municipal road, seasonally maintained	<input type="checkbox"/> Water access	
<input type="checkbox"/> Easement	<input type="checkbox"/> Other	

Type of water supply - Existing [X] Proposed [] (check appropriate space)

☐ Municipally owned and operated piped water system

☒ Well ☒ individual ☐ communal

☐ Lake

☐ Other _____

Type of sewage disposal - Existing [X] Proposed [] (check appropriate space)

☐ Municipally owned and operated sanitary sewers

☒ Septic Tank (specify whether individual or communal): Individual

☐ Pit Privy

☐ Other (Specify): _____

7. Is there an agricultural operation, (either a barn, manure storage, abattoir, livestock area or stockyard) within 500 metres of the Subject lands (severed and retained parcels)? YES [] NO [X]
 *If yes, see sketch requirements and the application must be accompanied by a MINIMUM DISTANCE SEPARATION FORM.
8. Is there a landfill within 500 metres [1640 feet]? YES [] NO [X]
9. a) Is there a sewage treatment plant or waste stabilization plant within 500 metres [1640']? YES [] NO [X]
10. Is there a Provincially Significant Wetland (e.g. swamp, bog) located on the lands to be retained or to be severed or within 120 metres [394 feet]? YES [X] NO []
11. Is there any portion of the land to be severed or to be retained located within a floodplain? YES [] NO [X]
12. Is there a provincial park or are there Crown Lands within 500 metres [1640']? YES [] NO [X]
13. Is any portion of the land to be severed or retained within a rehabilitated mine/pit site? YES [] NO [X]
14. Is there an active or abandoned mine, quarry or gravel pit within 500 metres [1640']? YES [] NO [X]
15. Is there a noxious industrial use within 500 meters [1640']? YES [] NO [X]
16. Is there an active or abandoned principal or secondary railway within 500 metres [1640']? YES [] NO [X]

Name of Rail Line Company: _____

17. Is there an airport or aircraft landing strip nearby? YES [] NO [X]
18. Is there a propane retail outlet, propane filling tank, cardlock/keylock or private propane outlet/container refill centre within 750 metres of the proposed subject lands? YES [] NO [X]

19. PREVIOUS USE INFORMATION:

- a) Has there been an industrial use(s) on the site? YES [] NO [X] UNKNOWN []

If YES, what was the nature and type of industrial use(s)?

- b) Has there been a commercial use(s) on the site? YES [] NO [X] UNKNOWN []

If YES, what was the nature and type of the commercial use(s)

- c) Has fill been brought to and used on the site (other than fill to accommodate septic systems or residential landscaping?) YES [] NO [X] UNKNOWN []

- d) Has there been commercial petroleum or other fuel storage on the site, underground fuel storage, or has the site been used for a gas station at any time, or railway siding? YES [] NO [X] UNKNOWN []

If YES, specify the use and type of fuel(s) _____

20. Is this a **resubmission** of a previous application? YES [] NO [X]

If YES, is it identical [] or changed [] Provide previous File Number _____

21. a) Has any severance activity occurred on the land from the holding which existed as of March 1, 2005 and as registered in the Land Registry/Land Titles Office? YES [] NO [X]

- b) If the answer in (a) is YES, please indicate the previous severance(s) on the required sketch and provide:
Transferee's Name, Date of the Transfer and Use of Parcel Transferred.

22. Has the parcel intended to be severed ever been, or is it now, the subject of an application for a plan of subdivision or other Consent or approval under the Planning Act or its predecessors?

YES [] NO [X] UNKNOWN []

23. Under a separate application, is the Owner, applicant, or agent applying for additional consents on this holding simultaneously with this application? YES [] NO [X]

24. Provide explanation of how the application is consistent with the Provincial Policy Statement.

Consents for residential use is permitted within the Rural system

25. In addition to Places to Grow (Provincial Growth Plan), is the subject land within an area of land designated under the Greenbelt Plan? Provide explanation of how the application conforms or does not conflict with the Provincial plan or plans.

Consents for residential use is permitted within the Rural system

26. a) Indicate the existing **County Official Plan** designation(s) of the subject land, and provide explanation of how the application conforms with the Official Plan (severed and retained).

Secondary Agricultural - consent applications are allowed within Secondary Agricultural designation.

b) Indicate the existing **Local Official Plan** (if any) designation(s) of the subject land, and provide explanation of how the application conforms with the Official Plan (severed and retained).

Township of Puslinch relies on County Official Plan - see above.

c) If this consent relates directly to an Official Plan Amendment(s) currently under review by an approval authority, please indicate the Amendment Number and the applicable file number(s).

Amendment Number(s): File Number(s):

27. Is the subject land a proposed surplus farm dwelling?* YES [] NO [X]

*If yes, an application to sever a surplus farm dwelling must be accompanied by a FARM INFORMATION FORM.

28. What is the zoning of the subject lands? Agricultural

29. Does the proposal for the subject lands conform to the existing zoning? YES [X] NO []

If NO, a) has an application been made for re-zoning? YES [] NO [] File Number

b) has an application been made for a minor variance? YES [] NO [] File Number

30. Are the lands subject to any mortgages, easements, right-of-ways or other charges? YES [X] NO []

If the answer is YES, please provide a copy of the relevant instrument.
For mortgages just provide complete name and address of Mortgagee.

The Bank of Nova Scotia, 10 Wright Boulevard, Stratford, Ontario N5A 7X9

Questions 31 – 34 must be answered for Applications for severance in the Rural/Agricultural Area -- Otherwise, if this is not applicable to your application, please state “not Applicable”

31. **Type of Farm Operation** conducted on these subject lands: Not Applicable

Type: Dairy [] Beef Cattle [] Swine [] Poultry [] Other []

32. **Dimensions of Barn(s)/Outbuildings/Sheds (that are to remain) Severed & Retained Lands**

Severed Width Length Area Use
Width Length Area Use
Retained Width Length Area Use
Width Length Area Use

33. **Manure Storage Facilities** on these lands:

DRY	SEMI-SOLID	LIQUID
Open Pile []	Open Pile []	Covered Tank []
Covered Pile []	Storage with Buck Walls []	Aboveground Uncovered Tank []
		Belowground Uncovered Tank []
		Open Earth-sided Pit []

May 31, 2022

Project: 19-14-059

Land Division Committee
Wellington County Administration Centre
74 Woolwich Street
GUELPH, Ontario N1H 3T9

Attention: Ms. Turchet

Re: Proposed Consent– 7726 Maltby Road East
Part of Southwest Half of Lot 15, Concession 10, Township of Puslinch

Please find enclosed a completed "Application for Consent" for the above-noted property. Also enclosed is a cheque in the amount of \$4,720.00 payable to the County of Wellington and a cheque to the Grand River Conservation Authority in the amount of \$445.00 to cover review fees. Cheryl Louise Ritter purchased the property in 2000. A copy of her deed is attached (LT38142). Also included is a sketch illustrating the proposed severance and a completed Drinking Water Source Protection Screening Form.

The parcel to be severed from this property will have a frontage of 37.5 metres and an overall lot area of 0.4077 hectares. This parcel is currently vacant. The retained parcel contains a single detached dwelling and a separate garage, a septic system and well. It will have a frontage of 77.65 metres and an overall lot area of 1.4793 hectares.

This property is designated Secondary Agricultural in the County of Wellington Official Plan and is zoned Agricultural. Both the severed and retained parcels will meet the requirements set out in the Township Zoning By-law.

Also enclosed are MDS I calculations for three barns within 500 metres. The calculations include information provided by the owners of these barns and the MDS I calculation. The severance is located outside of the MDS restricted area.

The proposed severance meets the policies of the County Official Plan. One new lot for residential purposes may be allowed from a parcel of land existing on March 1, 2005, and this application satisfies the following criteria:

- the lot meets a 0.4 ha minimum lot size
- the lot has access to an open public road;
- the residential use is compatible with surrounding development;
- the use is well removed from any settlement area boundary; and
- the lands have been owned by the applicant for at least 5 years.

I understand the Township has prepared the list of property owners within 60 metres of the application.

Should you have any questions, please do not hesitate to call me.

Yours very truly

BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED

Nancy Shoemaker, B.A.A., R.P.P.

Attachments

Copy: Cheryl Ritter

RECEIVED

JUN 02 2022

**SECRETARY TREASURER
WELLINGTON COUNTY
LAND DIVISION COMMITTEE**

Surveying | Mapping | GIS
Unit 101- 257 Woodlawn Road West | Guelph | Ontario | N1H 8J1
T: [519] 822-4031 | F: [519] 822-1220
www.jdbarnes.com

34. Are there any drainage systems on the retained and severed lands? YES [] NO []

Type	Drain Name & Area	Outlet Location
Municipal Drain []		Owner's Lands []
Field Drain []		Neighbours Lands []
		River/Stream []

35. Source Water Protection Plan

Is the subject land within a Wellhead Protection Area, Issue Contributing Area, or Intake Protection Zone of a Source Protection Plan in effect? (www.wellingtonwater.ca) YES [X] NO []

If YES, please complete the Source Water Protection Form and submit with your application.

36. Have you had a pre-consultation meeting with County Planning Staff before filling out this application form?
Please refer to instruction page.

YES [X] NO []

If yes, please indicate the person you have met/spoken to: Zachary Prince

37. If you wish to provide some further information that may assist the Planning and Land Division Committee in evaluating your application, please provide by a letter and attach it to this application.

NOTES:

1. One original completed application and two original sketches must be filed with the County of Wellington Planning and Land Division office. Please provide sketch no larger than 11" x 17".
2. The location of the lands (severed & retained) which are the subject of the application must also be shown on the Surveyor's sketch or on an attached "Key Map" and included with the application.
3. Since the filing fee for applications for consent change from time to time, please contact the Planning and Land Division office for current fee information. This fee may be paid in cash or by cheque payable to the County of Wellington.
4. Additional information about the process, about any particular application or obtaining application forms may be obtained by attending at the County of Wellington Administration Centre, 74 Woolwich Street, Guelph Ontario N1H 3T9, by telephone at 519-837-2600, ext. 2170; or by facsimile (fax) at 519-837-3875.
5. Generally, regular severance application forms are also available at the local municipal office.
6. Some municipalities may require the applicant to complete a pre-consultation prior to the Municipality's submitting comments to the County of Wellington Planning and Land Division Committee. Please check with your local municipality on this matter.
7. If the applicant is a Corporation, then the applicant's Declaration or if applicable, the Owner's authorization too, must be signed by an officer of the corporation who has authority to bind the corporation; or the corporation's seal must be affixed.

OWNER'S AUTHORIZATION:

The Owner must complete the following to authorize applicant, agent or solicitor to act on their behalf.

NOTE: If more than one owner is listed in item #2 of this application, then all owners must sign this authorization section of the application form or by a letter of authorization duly signed.

If the Owner is a corporation, the authorization must be by an officer of the corporation who has authority to bind the corporation.

I, (we), Cheryl Louise Ritter the Registered Owners of
7726 Maltby Road East Of the Township of Puslinch in the
County/~~Region~~ of Wellington severally and jointly, solemnly declare that
Black, Shoemaker, Robinson & Donaldson Limited

Is authorized to submit an application for consent on my (our) behalf.


Signature(s) of Registered Owner(s) or Corporation's Officer

APPLICANT'S DECLARATION

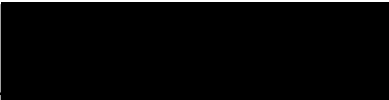
This must be completed by the Applicant for the proposed consent

I, (we) Nancy Shoemaker of the
City of Guelph In the County/~~Region~~ of
Wellington Solemnly declare that all
the statements contained in this application for consent for (property description) 7726 Maltby Road East

And all the supporting documents are true, and I, (we), make this solemn declaration conscientiously believing it to be true and complete, and knowing that it is of the same force and effect as if made under oath, and virtue of the CANADA EVIDENCE ACT.

DECLARED before me at the

City Of


(Owner or Applicant)

Guelph In the

County/~~Region~~ of Wellington

This 31st day of May 2022


(Owner or Applicant)


Commissioner of Oaths

Kerry Francis Hillis, a Commissioner, etc.,
Province of Ontario, for J.D. Barnes Limited.
Expires April 11, 2025
Printed Commissioner's, etc. Name

APPLICANT'S CONSENT (FREEDOM OF INFORMATION):

In accordance with the provisions of the Planning Act, it is the policy of the County Planning and Development Department to provide public access to all development applications and supporting documentation. In submitting this development application and supporting documentation, I, Nancy Shoemaker, the applicant, hereby acknowledge the above-noted and provide my consent in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act that the information on this application and any supporting documentation provided by myself, my agents, solicitors, and consultants will be part of the public record and will also be available to the general public.



Signature of Owner/Applicant/Agent(s)

May 21, 2022

Date

THIS APPLICATION PACKAGE IS TO BE SUBMITTED TO:

**Secretary-Treasurer
Planning and Development Department
County of Wellington
74 Woolwich Street
Guelph, Ontario
N1H 3T9**

Phone (519) 837-2600 Ext. 2170

Minimum Distance Separation I

Worksheet 1

Prepared By: Nancy Shoemaker, Planner, Black, Shoemaker, Robinson & Donaldson

Description: 7704 Maltby Road East

Application Date: Thursday, February 10, 2022

Municipal File Number:

Proposed Application: Lot creation for a maximum of three non-agricultural use lots
Type A Land Use

Applicant Contact Information

Nancy Shoemaker
Black, Shoemaker, Robinson & Donaldson
Limited
257 Woodlawn Road West, Unit 101
Guelph, ON, Canada N1H 8J1
Phone #1: 519-822-4031
Email: nancy@bsrd.com

Location of Subject Lands

County of Wellington, Township of Puslinch
PUSLINCH, Concession: 9, Lot: 15
Roll Number: 2301000008071500000

Calculation Name: **Farm 1**

Description: 7704 Maltby Road East

Farm Contact Information

Linda Fitzgibbon
7704 Maltby Road East
Puslinch, ON, Canada
Phone # [REDACTED]

Location of existing livestock facility or anaerobic digester

County of Wellington, Township of Puslinch
PUSLINCH, Concession: 9, Lot: 15
Roll Number: 2301000008071500000
Total Lot Size: 8.9 ha

The barn area is an estimate only and is intended to provide users with an indication of whether the number of livestock entered is reasonable.

Manure Type	Type of Livestock/Manure	Existing Maximum Number	Existing Maximum Number (NU)	Estimated Livestock Barn Area
Solid	Unoccupied Livestock Barn, -	557 m ²	27.9	557 m ²

Existing Manure Storage: No storage required (manure is stored for less than 14 days)

Design Capacity (NU): 27.9

Potential Design Capacity (NU): 55.7

Factor A (Odour Potential)	Factor B (Size)	Factor D (Manure Type)	Factor E (Encroaching Land Use)	Building Base Distance F' (minimum distance from livestock barn)	(actual distance from livestock barn)				
1.0	X	271.4	X	0.7	X	1.1	=	209 m (686 ft)	265 m (869 ft)

Storage Base Distance 'S'
(minimum distance from manure storage)

No storage present

! The calculated setback is based on assumptions for an unoccupied barn or unused storage that may not reflect the actual design capacity.

Preparer Information

Nancy Shoemaker
Planner
Black, Shoemaker, Robinson & Donaldson
257 Speedvale Avenue West, Unit 101
Guelph, ON, Canada N1H 8J1
Phone: [REDACTED]
Email: [REDACTED]

Signature of Preparer: [REDACTED]
Nancy Shoemaker, Planner

Date: February 10, 2022

NOTE TO THE USER:

The Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA) has developed this software program for distribution and use with the Minimum Distance Separation (MDS) Formulae as a public service to assist farmers, consultants, and the general public. This version of the software distributed by OMAFRA will be considered to be the official version for purposes of calculating MDS. OMAFRA is not responsible for errors due to inaccurate or incorrect data or information; mistakes in calculation; errors arising out of modification of the software, or errors arising out of incorrect inputting of data. All data and calculations should be verified before acting on them.



FARM DATA SHEET
Minimum Distance Separation I (MDSI)
County of Wellington

NOTE TO FARM OWNER(S)

By filling out this form you will help to ensure that new land uses will be located a suitable distance from your livestock operation. Feel free to contact the County Planning office with any questions.

Owner(s) of Livestock Facility LINDA FITZGIBBON

Contact Information

Email [REDACTED] Phone [REDACTED]
Civic Address 7784 MATTHEW RAE Municipality PUSLINCH TWP
Lot 15 Concession 9 Division
Lot Size (where livestock facility is located) hectares 22 acres

Signature of Livestock Facility Owner [REDACTED] Date Jan 21/22

BARN(S) SIZE Please provide the size of the barns located on the property. This information is used to verify maximum livestock capacity. 100x60' ft²/m² ft²/m²

Manure Storage Types Solid manure: 18% dry matter, or more Liquid manure: <18% dry matter

- | | |
|--|--|
| V1 Solid, inside, bedded pack | L1 Solid, outside, no cover, 18% - <30% dry matter, with uncovered liquid runoff storage |
| V2 Solid, outside, covered | L2 Liquid, outside, with a permanent floating cover |
| V3 Solid, outside, no cover, ≥30% dry matter | M1 Liquid, outside, no cover, straight-walled storage |
| V4 Solid, outside, no cover, 18% - <30% dry matter, with covered liquid runoff storage | M2 Liquid, outside, roof, but with open sides |
| V5 Liquid, inside, underneath slatted floor | H1 Liquid, outside, no cover, sloped-sided storage |
| V6 Liquid, outside, with a permanent, tight-fitting cover | |

Animal Type of Material	Description	Housing Capacity (maximum)	Manure Storage Type (select from list)
Beef Cattle	Cows, including calves to weaning (all breeds)	N/A	N/A
	Feeders (7 – 16 months)		
	Backgrounders (7 – 12.5 months)		
	Shortkeepers (12.5 – 17.5 months)		
Dairy Cattle	Milking-age cows (dry or milking)		
	Large-framed; 545 – 658 kg (e.g. Holsteins)		
	Medium-framed; 455 – 545 kg (e.g. Guernseys)		
	Small-framed; 364 – 455 kg (e.g. Jerseys)		
	Heifers (5 months to freshening)		
	Large-framed; 182 – 545 kg (e.g. Holsteins)		
	Medium-framed; 148 – 455 kg (e.g. Guernseys)		
	Small-framed; 125 – 364 kg (e.g. Jerseys)		
	Calves (0 – 5 months)		
	Large-framed; 45 – 182 kg (e.g. Holsteins)		
Horses	Large-framed, mature; >681 kg (e.g. draft or draft cross breeds including unweaned offspring)		
	Medium-framed, mature; 227 – 680 kg (e.g. saddle, riding and racing breeds including unweaned offspring)		
	Small-framed, mature; <227 kg (e.g. ponies and miniatures including unweaned offspring)		

Animal Type of Material	Description	Housing Capacity (maximum)	Manure Storage Type (select from list)
Swine	Sows with litter, dry sows or boars	N/A	N/A
	Breeder gilts (entire barn designed specifically for this purpose)		
	Weaners (7 – 27 kg)		
	Feeders (27 – 136 kg)		
Sheep	Ewes & rams (for meat lambs; includes unweaned offspring & replacements)		
	Ewes & rams (dairy operation; includes unweaned offspring & replacements)		
	Lambs (dairy or feeder lambs)		
Goats	Does & bucks (for meat kids; includes unweaned offspring and replacements)		
	Does & bucks (for dairy; includes unweaned offspring & replacements)		
	Kids (dairy or feeder kids)		
Chickens	Layer hens (for eating eggs; after transfer from pullet barn)		
	Layer pullets (day-olds until transferred into layer barn)		
	Broiler breeder growers (males/females transferred out to layer barn)		
	Broiler breeder layers (males/females transferred in from grower barn)		
	Broilers on any length of cycle		
Turkeys	Turkey poults (day-old until transferred to grow out turkey barn)		
	Turkey breeder layers (males/females transferred in from grower barn)		
	Breeder toms		
	Broilers (day-olds to 6.2 kg)		
	Hens (day-olds up to 6.2 to 10.8 kg; 7.5 kg is typical)		
	Toms (day-olds to over 10.8 to 20 kg; 14.5 kg is typical)		
	Turkeys at any other weights, or if unknown (by floor area)		
Veal	Milk-fed		
	Grain-fed		
Other	Please refer to Factor Table 1 of The Minimum Distance Separation (MDS) Document for complete list of animal types		
Imported manure	Use the volume of the manure storages		
Unoccupied livestock barns	A livestock barn that does not currently house any livestock, but that housed livestock in the past and continues to be structurally sound and reasonably capable of housing livestock.*		

*NOTE: This should only be used where obtaining information from the farm operator(s) and/or owner(s) was not possible (see Implementation Guideline 20 for more information).

QUESTIONS?
PLEASE CONTACT

County of Wellington
Planning and Development Department
74 Woolwich Street, Guelph
ON N1H 3T9

P 519.837.2600 x2170
F 519.923.1694

Description: 4630 Watson Road South, Puslinch

Application Date: Thursday, February 10, 2022

Municipal File Number:

Proposed Application: Lot creation for a maximum of three non-agricultural use lots
Type A Land Use

Applicant Contact Information

Nancy Shoemaker
257 Woodlawn Road West, Unit 101
Guelph, ON, Canada N1H 8J1
Phone #1: 519-822-4031
Email: nancy@bsrd.com

Location of Subject Lands

County of Wellington, Township of Puslinch
PUSLINCH, Concession: 9, Lot: 14
Roll Number: 2301000008072500000

Calculation Name: **Farm 1**

Description: 4630 Watson Road South, Puslinch

Farm Contact Information

Tom Smeh
4630 Watson Road South
Puslinch, ON, Canada
Phone #1: [REDACTED]

Location of existing livestock facility or anaerobic digester

County of Wellington, Township of Puslinch
PUSLINCH, Concession: 9, Lot: 14
Roll Number: 2301000008072500000
Total Lot Size: 4.05 ha

The barn area is an estimate only and is intended to provide users with an indication of whether the number of livestock entered is reasonable.

Manure Type	Type of Livestock/Manure	Existing Maximum Number	Existing Maximum Number (NU)	Estimated Livestock Barn Area
Solid	Geese, -	111 m ²	4.5	111 m ²
Solid	Chickens, Layer hens (for eating eggs; after transfer from pullet barn), floor run	2	0.0	0 m ²

Existing Manure Storage: V3. Solid, outside, no cover, >= 30% DM

Design Capacity (NU): 4.5

Potential Design Capacity (NU): 4.5

Factor A (Odour Potential)	Factor B (Size)	Factor D (Manure Type)	Factor E (Encroaching Land Use)	Building Base Distance 'F' (minimum distance from livestock barn)	
0.7	X	150	X	0.7	X
				1.1	=
				81 m (265 ft)	415 m (1362 ft)
				Storage Base Distance 'S' (minimum distance from manure storage)	(actual distance from manure storage)
				81 m (265 ft)	415 m (1362 ft)

Preparer Information

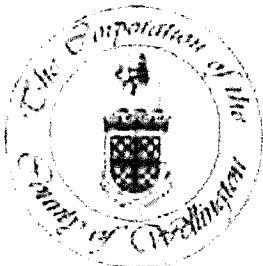
Nancy Shoemaker
Planner
Black, Shoemaker, Robinson & Donaldson
257 Speedvale Avenue West, Unit 101
Guelph, ON, Canada N1H 8J1
Phone #1: 519-822-4031
Email: nancy@bsrd.com

Signature of Preparer: [REDACTED]
Nancy Shoemaker, Planner

Date: February 10, 2022

NOTE TO THE USER:

The Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA) has developed this software program for distribution and use with the Minimum Distance Separation (MDS) Formulae as a public service to assist farmers, consultants, and the general public. This version of the software distributed by OMAFRA will be considered to be the official version for purposes of calculating MDS. OMAFRA is not responsible for errors due to inaccurate or incorrect data or information; mistakes in calculation; errors arising out of modification of the software, or errors arising out of incorrect inputting of data. All data and calculations should be verified before acting on them.



FARM DATA SHEET
Minimum Distance Separation I (MDSI)
County of Wellington

NOTE TO FARM OWNER(S)
By filling out this form you will help to ensure that new land uses will be located a suitable distance from your livestock operation. Feel free to contact the County Planning office with any questions.

Owner(s) of Livestock Facility TOM SIMEH

Contact Information

Email [REDACTED] Telephone [REDACTED]
Civic Address 4630 WATSON RD Municipality Pukekohe
Lot [REDACTED] Concession [REDACTED] Division [REDACTED]
Lot Size (where livestock facility is located) [REDACTED] hectares 10 acres [REDACTED]

Signature of Livestock Facility Owner [REDACTED] Date 9 Feb 2022

BARN(S) SIZE Please provide the size of the barns located on the property. This information is used to verify maximum livestock capacity. 1200 (ft²/m²) [REDACTED] (ft²/m²)

Manure Storage Types Solid manure: 18% dry matter, or more Liquid manure: <18% dry matter

- | | | | |
|----|---|----|---|
| V1 | Solid, inside, bedded pack | L1 | Solid, outside, no cover, 18% - <30% dry matter, with uncovered liquid runoff storage |
| V2 | Solid, outside, covered | L2 | Liquid, outside, with a permanent floating cover |
| V3 | Solid, outside, no cover, ≥30% dry matter | M1 | Liquid, outside, no cover, straight-walled storage |
| V4 | Solid, outside, no cover, 18% - <30% dry matter, with covered liquid runoff storage | M2 | Liquid, outside, roof, but with open sides |
| V5 | Liquid, inside, underneath slatted floor | M1 | Liquid, outside, no cover, sloped-sided storage |
| V6 | Liquid, outside, with a permanent, tight-fitting cover | | |

Animal Type of Material	Description	Housing Capacity (maximum)	Manure Storage Type (select from list)
Beef Cattle	Cows, including calves to weaning (all breeds)		
	Feeders (7 - 16 months)		
	Backgrounders (7 - 12.5 months)		
	Shortkeepers (12.5 - 17.5 months)		
Dairy Cattle	Milking-age cows (dry or milking)		
	Large-framed; 545 - 658 kg (e.g. Holsteins)		
	Medium-framed; 455 - 545 kg (e.g. Guernseys)		
	Small-framed; 364 - 455 kg (e.g. Jerseys)		
	Heifers (5 months to freshening)		
	Large-framed; 182 - 545 kg (e.g. Holsteins)		
	Medium-framed; 148 - 455 kg (e.g. Guernseys)		
	Small-framed; 125 - 364 kg (e.g. Jerseys)		
	Calves (0 - 5 months)		
	Large-framed; 45 - 182 kg (e.g. Holsteins)		
	Medium-framed; 39 - 148 kg (e.g. Guernseys)		
	Small-framed; 30 - 125 kg (e.g. Jerseys)		
Horses	Large-framed, mature; >681 kg (e.g. draft or draft cross breeds including unweaned offspring)		
	Medium-framed, mature; 227 - 680 kg (e.g. saddle, riding and racing breeds including unweaned offspring)		
	Small-framed, mature; <227 kg (e.g. ponies and miniatures including unweaned offspring)		

FARM DATA SHEET (continued)
Minimum Distance Separation I (MDSI)

County of Wellington

Animal Type of Material	Description	Housing Capacity (maximum)	Manure Storage Type (select from list)
Swine	Sows with litter, dry sows or boars		
	Breeder gilts (entire barn designed specifically for this purpose)		
	Weaners (7 – 27 kg)		
	Feeders (27 – 136 kg)		
Sheep	Ewes & rams (for meat lambs, includes unweaned offspring & replacements)		
	Ewes & rams (dairy operation; includes unweaned offspring & replacements)		
	Lambs (dairy or feeder lambs)		
Goats	Does & bucks (for meat kids, includes unweaned offspring and replacements)		
	Does & bucks (for dairy, includes unweaned offspring & replacements)		
	Kids (dairy or feeder kids)		
Chickens	Layer hens (for eating eggs; after transfer from pullet barn) <i>YES - 2 chickens</i>		
	Layer pullets (day-olds until transferred into layer barn)		
	Broiler breeder growers (males/females transferred out to layer barn)		
	Broiler breeder layers (males/females transferred in from grower barn)		
	Broilers on any length of cycle		
Turkeys	Turkey poults (day-old until transferred to grow out turkey barn)		
	Turkey breeder layers (males/females transferred in from grower barn)		
	Breeder toms		
	Broilers (day-olds to 6.2 kg)		
	Hens (day-olds up to 6.2 to 10.8 kg; 7.5 kg is typical)		
	Toms (day-olds to over 10.8 to 20 kg; 14.5 kg is typical)		
Veal	Turkeys at any other weights, or if unknown (by floor area)		
Other	Milk-fed		
	Grain-fed		
Other	Please refer to Factor Table 1 of The Minimum Distance Separation (MDS) Document for complete list of animal types		
	<i>✓ Muscovy Ducks - 3 Ducks</i>		
Imported manure	Use the volume of the manure storages		
Unoccupied livestock barns	A livestock barn that does not currently house any livestock, but that housed livestock in the past and continues to be structurally sound and reasonably capable of housing livestock.*		

*NOTE: This should only be used where obtaining information from the farm operator(s) and/or owner(s) was not possible (see Implementation Guideline 20 for more information)

QUESTIONS?
PLEASE CONTACT

County of Wellington
Planning and Development Department
74 Woolwich Street, Guelph
ON N1H 3T9

P 519.837.2600 x2170
F 519.923.1694

Description: 4616 Watson Road South, Puslinch

Application Date: Monday, July 26, 2021

Municipal File Number:

Proposed Application: Lot creation for a maximum of three non-agricultural use lots
Type A Land Use

Applicant Contact Information

Nancy Shoemaker
257 Woodlawn Road West, Unit 101
Guelph, ON, Canada N1H 8J1
Phone #1: 519-822-4031
Email: nancy@bsrd.com

Location of Subject Lands

County of Wellington, Township of Puslinch
PUSLINCH, Concession: 9, Lot: 15
Roll Number: 2301000008072000000

Calculation Name: Farm 1**Description:** 4616 Watson Road South, Puslinch**Farm Contact Information**

Greg Parker
4616 Watson Road South
Puslinch, ON, Canada
Phone #1: [REDACTED]

Location of existing livestock facility or anaerobic digester

County of Wellington, Township of Puslinch
PUSLINCH, Concession: 9, Lot: 15
Roll Number: 2301000008072000000
Total Lot Size: 10.4 ha

The barn area is an estimate only and is intended to provide users with an indication of whether the number of livestock entered is reasonable.

Manure Type	Type of Livestock/Manure	Existing Maximum Number	Existing Maximum Number (NU)	Estimated Livestock Barn Area
Solid	Horses, Large-framed, mature; > 680 kg (including unweaned offspring)	2	2.9	60 m ²

Existing Manure Storage: V3. Solid, outside, no cover, >= 30% DM

Design Capacity (NU): 2.9

Potential Design Capacity (NU): 2.9

Factor A (Odour Potential)	Factor B (Size)	Factor D (Manure Type)	Factor E (Encroaching Land Use)	Building Base Distance F' (minimum distance from livestock barn)	(actual distance from livestock barn)
0.7	X	150	X	0.7	X
				1.1	=
				81 m (265 ft)	130 m (427 ft)
Storage Base Distance 'S'					
(minimum distance from manure storage) (actual distance from manure storage)					
				81 m (265 ft)	130 m (427 ft)

Preparer Information

Nancy Shoemaker
Planner
Black, Shoemaker, Robinson & Donaldson
257 Speedvale Avenue West, Unit 101
Guelph, ON, Canada N1H 8J1
Phone #1: 519-822-4031
Email: nancy@bsrd.com

Signature of Preparer: [REDACTED] Date: July 26, 2021
Nancy Shoemaker, Planner

NOTE TO THE USER:
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FARM DATA SHEET
Minimum Distance Separation I (MDSI)
County of Wellington

NOTE TO FARM OWNER(S)
By filling out this form you will help to ensure that new land uses will be located a suitable distance from your livestock operation. Feel free to contact the County Planning office with any questions.

Owner(s) of Livestock Facility GREG PARKER + NORAH QUAST

Contact Information

Email _____ Telephone _____
Civic Address 4616 Watson Rd S Municipality Paslinch
Lot PART LOT 15 Concession Con 9 Division _____
Lot Size (where livestock facility is located) _____ hectares 25 acres

Signature of Livestock Facility Owner _____ Date Nov 17, 2019

BARN(S) SIZE Please provide the size of the barns located on the property. This information is used to verify maximum livestock capacity. 24 ft ft²/m² x 9 ft ft²/m²

- Manure Storage Types** Solid manure: 18% dry matter, or more Liquid manure: <18% dry matter
- | | |
|--|--|
| V1 Solid, inside, bedded pack | L1 Solid, outside, no cover, 18% - <30% dry matter, with uncovered liquid runoff storage |
| V2 Solid, outside, covered | L2 Liquid, outside, with a permanent floating cover |
| V3 Solid, outside, no cover, ≥30% dry matter | M1 Liquid, outside, no cover, straight-walled storage |
| V4 Solid, outside, no cover, 18% - <30% dry matter, with covered liquid runoff storage | M2 Liquid, outside, roof, but with open sides |
| V5 Liquid, inside, underneath slatted floor | H1 Liquid, outside, no cover, sloped-sided storage |
| V6 Liquid, outside, with a permanent, tight-fitting cover | |

Animal Type of Material	Description	Housing Capacity (maximum)	Manure Storage Type (select from list)
Beef Cattle	Cows, including calves to weaning (all breeds)		
	Feeders (7 – 16 months)		
	Backgrounders (7 – 12.5 months)		
	Shortkeepers (12.5 – 17.5 months)		
Dairy Cattle	Milking-age cows (dry or milking)		
	Large-framed; 545 – 658 kg (e.g. Holsteins)		
	Medium-framed; 455 – 545 kg (e.g. Guernseys)		
	Small-framed; 364 – 455 kg (e.g. Jerseys)		
	Heifers (5 months to freshening)		
	Large-framed; 182 – 545 kg (e.g. Holsteins)		
	Medium-framed; 148 – 455 kg (e.g. Guernseys)		
	Small-framed; 125 – 364 kg (e.g. Jerseys)		
	Calves (0 – 5 months)		
	Large-framed; 45 – 182 kg (e.g. Holsteins)		
	Medium-framed; 39 – 148 kg (e.g. Guernseys)		
	Small-framed; 30 – 125 kg (e.g. Jerseys)		
Horses	Large-framed, mature; >681 kg (e.g. draft or draft cross breeds including unweaned offspring)	2	V1 & V3
	Medium-framed, mature; 227 – 680 kg (e.g. saddle, riding and racing breeds including unweaned offspring)		
	Small-framed, mature; <227 kg (e.g. ponies and miniatures including unweaned offspring)		

FARM DATA SHEET (continued)
Minimum Distance Separation I (MDSI)

County of Wellington

Animal Type of Material	Description	Housing Capacity (maximum)	Manure Storage Type (select from list)
Swine	Sows with litter, dry sows or boars	1	V1 & V3
	Breeder gilts (entire barn designed specifically for this purpose)		
	Weaners (7 – 27 kg)		
	Feeders (27 – 136 kg)		
Sheep	Ewes & rams (for meat lambs; includes unweaned offspring & replacements)		
	Ewes & rams (dairy operation; includes unweaned offspring & replacements)		
	Lambs (dairy or feeder lambs)		
Goats	Does & bucks (for meat kids; includes unweaned offspring and replacements)		
	Does & bucks (for dairy; includes unweaned offspring & replacements)		
	Kids (dairy or feeder kids)		
Chickens	Layer hens (for eating eggs; after transfer from pullet barn)	30	V1 & V3
	Layer pullets (day-olds until transferred into layer barn)		
	Broiler breeder growers (males/females transferred out to layer barn)		
	Broiler breeder layers (males/females transferred in from grower barn)		
	Broilers on any length of cycle		
Turkeys	Turkey poults (day-old until transferred to grow out turkey barn)		
	Turkey breeder layers (males/females transferred in from grower barn)		
	Breeder toms		
	Broilers (day-olds to 6.2 kg)		
	Hens (day-olds up to 6.2 to 10.8 kg; 7.5 kg is typical)		
	Toms (day-olds to over 10.8 to 20 kg; 14.5 kg is typical)		
	Turkeys at any other weights, or if unknown (by floor area)		
Veal	Milk-fed		
	Grain-fed		
Other	Please refer to Factor Table 1 of The Minimum Distance Separation (MDS) Document for complete list of animal types		
Imported manure	Use the volume of the manure storages		
Unoccupied livestock barns	A livestock barn that does not currently house any livestock, but that housed livestock in the past and continues to be structurally sound and reasonably capable of housing livestock.*		

*NOTE: This should only be used where obtaining information from the farm operator(s) and/or owner(s) was not possible (see Implementation Guideline 20 for more information).

QUESTIONS?
PLEASE CONTACT

County of Wellington
Planning and Development Department
74 Woolwich Street, Guelph
ON N1H 3T9
F 519.923.1694

Curtis Marshall, Senior Planner
E
T 519.837.2600 x2080
1.800.663.0750 x2080

Michelle Innocente, Senior Planner
E
T 519.837.2600 x2960
1.800.663.0750 x2960

Jameson Pickard, Planner
E
T 519.837.2600 x2300
1.800.663.0750 x2300

Jana Poechman

From: Source Water <sourcewater@centrewellington.ca>
Sent: Wednesday, June 8, 2022 11:20 AM
To: Jana Poechman
Cc: Source Water
Subject: RE: B77-22 - Screening Form
Attachments: WHPA_Map_MaltbyE_7726.pdf

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you know the contents to be safe.

Hello Jana,

Thank you for providing the above referenced application for review. I have reviewed the application and can confirm that the property is located in a WHPA-D (25 year time-of-travel) and therefore, the application can be screened out and no notice is required pursuant to the *Clean Water Act*.

I have attached a map showing the property and Wellhead Protection Areas for your reference.

If you have any further questions regarding this application, or in the event of any technical problem with the email or attachments, please contact me.

Kind regards,
Danielle

Danielle Walker (she/ her) | Source Protection Coordinator

Wellington Source Water Protection | 7444 Wellington Road 21, Elora, ON, N0B 1S0
519.846.9691 x236 | DWalker@centrewellington.ca | www.wellingtonwater.ca
Toll free: 1-844-383-9800

Wellington Source Water Protection is a municipal partnership between the Townships of Centre Wellington, Guelph / Eramosa, Mapleton, Puslinch, Wellington North, the Towns of Erin and Minto and the County of Wellington created to protect existing and future sources of drinking water.

From: Jana Poechman <janap@wellington.ca>
Sent: June 6, 2022 11:51 AM
To: Source Water <sourcewater@centrewellington.ca>
Subject: B77-22 - Screening Form

Good Morning.

Please see the attached for your review. We plan to circulate July 7th.

Thanks.
Jana

Jana Poechman
Planning Administrative Clerk
Planning and Development Department
County of Wellington
74 Woolwich Street
Guelph ON N1H 3T9
T 519.837.2600 x 2170
E janap@wellington.ca



Explore
Wellington

7726 Malby Road East, Puslinch



1: 2,000



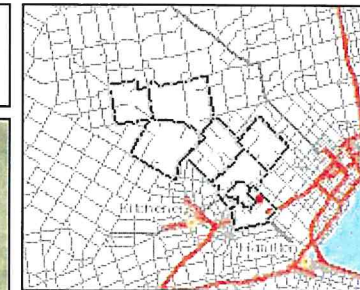
0.1 0 0.05 0.1 Kilometers

WGS_1984_Web_Mercator_Auxiliary_Sphere
Includes material © 2022 of the Queen's Printer for Ontario. All rights reserved.

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

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THIS IS NOT SURVEY DATA. Parcels - Teranet 2002, Wellington County 2022



Legend

Parcels

Roads

- Local Road
- County Road
- Highway

Watercourses

Well Locations

Wellhead Protection Area Boundaries

- A
- B
- C
- D

Issue Contributing Area

- Chloride
- Nitrate
- Sodium
- TCE

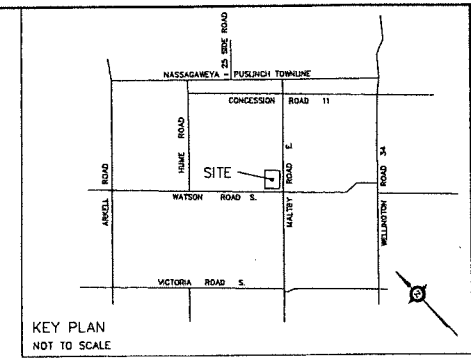
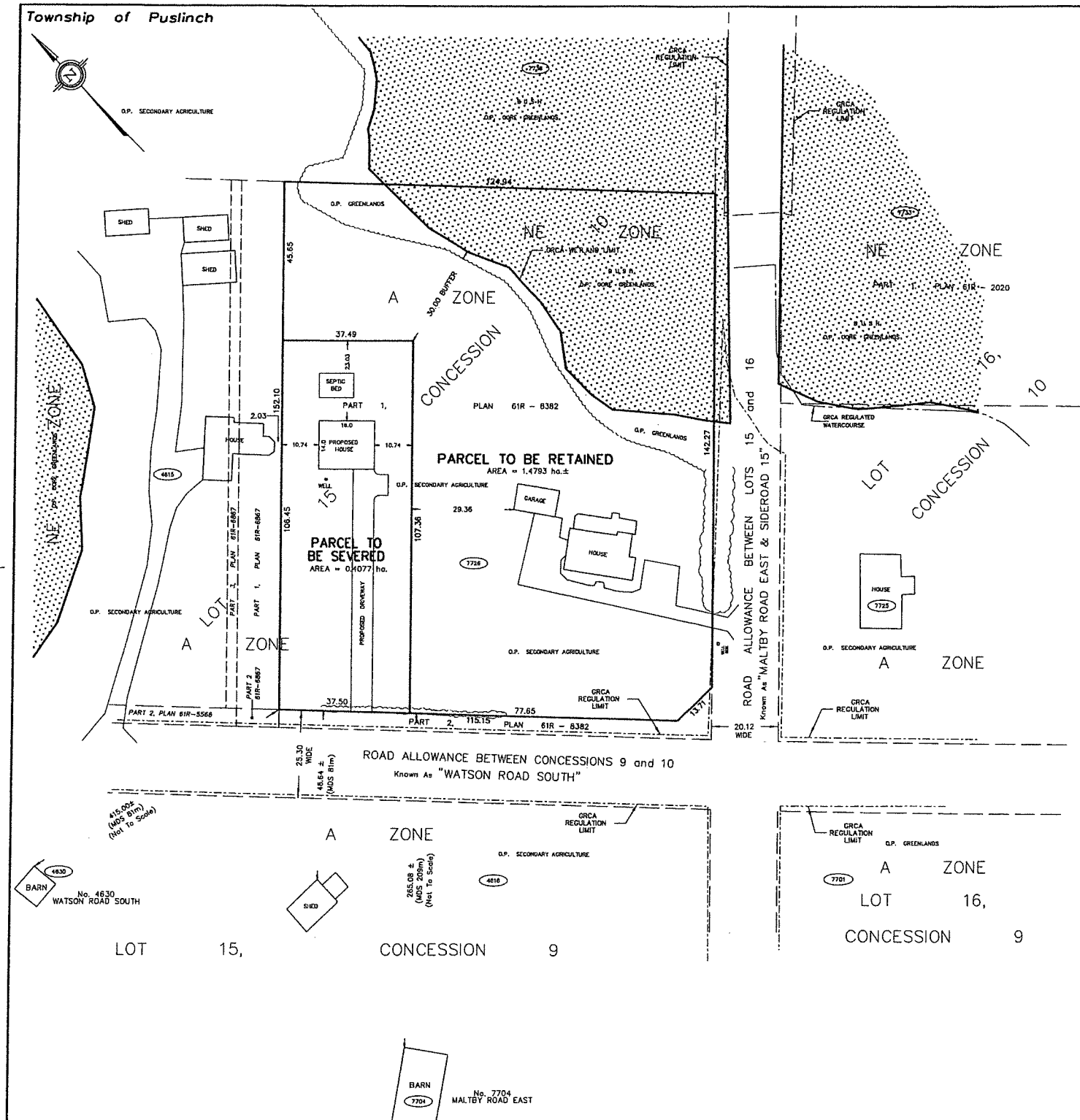
Vulnerability Score

- 10
- 8, D; 8; 8, C
- 2, 4, 6 (A, B or C)
- 2, 4, 6, D; 2, 4, D; 2, 4, 6 (D); 4, D; 6,

HVA

RoadsLookup

Notes



PLAN
PREPARED FOR CONSENT APPLICATION
TOWNSHIP OF PUSLINCH
COUNTY OF WELLINGTON
SCALE 1 : 750

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

CAUTION: THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

NOTES:
1. BOUNDARY INFORMATION AND AREAS SHOWN ON THIS PLAN HAVE BEEN COMPILED FROM A COMBINATION OF REGISTRY OFFICE RECORDS AND OLD SURVEYS AND IS SUBJECT TO VERIFICATION BY A COMPLETE UP-TO-DATE FIELD SURVEY.

WELLINGTON COUNTY OFFICIAL PLAN DESIGNATION:
RETAINED PARCEL: SECONDARY AGRICULTURAL, CORE GREENLANDS & GREENLANDS
SEVERED PARCEL: SECONDARY AGRICULTURAL & GREENLANDS
THIS PROPERTY IS SITUATED WITHIN THE PARIS GALT MORAINÉ POLICY AREA
THIS PROPERTY IS NOT SITUATED WITHIN A WELLHEAD PROTECTION AREA
THIS PROPERTY IS SITUATED WITHIN THE GRAND RIVER SOURCE PROTECTION AREA

TOWNSHIP ZONING DESIGNATION:
SEVERED PARCEL: AGRICULTURAL (A)
RETAINED PARCEL: AGRICULTURAL (A) & NATURAL ENVIRONMENT (NE)

LEGEND:
5474 DENOTES MUNICIPAL ADDRESS
DENOTES WETLANDS (FROM GRCA MAPPING)
DENOTES APPROXIMATE EDGE OF TREE CANOPY
DENOTES GRCA REGULATED WATERCOURSE

THIS PLAN WAS PREPARED FOR
CHERYL RITTER
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

ONTARIO LAND SURVEYOR

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BLACK, SHOEMAKER, ROBINSON & DONALDSON LIMITED

BSR&D Ontario Land Surveyors
Urban and Rural Planners
A wholly owned subsidiary of J.D.Barnes Ltd.

101-257 Woodlawn Rd. W. Guelph, Ontario N1H 6J1
FAX: (519) 822-1220
TEL: (519) 822-4031