



PLANNING & DEVELOPMENT ADVISORY COMMITTEE
VIRTUAL MEETING BY ELECTRONIC PARTICIPATION &
IN-PERSON AT THE TOWNSHIP MUNICIPAL OFFICE –
7404 WELLINGTON ROAD 34, PUSLINCH
NOVEMBER 14, 2023
7:00 p.m.

Register in advance:

https://us02web.zoom.us/webinar/register/WN_v8fke4cMRdmEDSC5bdjxKw

Or join by phone:

Dial (for higher quality, dial a number based on your current location):

Canada: +1 613 209 3054

+1 778 907 2071

or +1 438 809 7799

or +1 587 328 1099

or +1 613 209 3054

or +1 647 374 4685

or +1 647 558 0588

Webinar ID: 895 3784 8411

Passcode: 911798

International numbers available: <https://us02web.zoom.us/j/kdZFcp4d82>

AGENDA

COMMITTEE OF ADJUSTMENT:

≠ Denotes resolution prepared

1. **Call the Meeting to Order (Opening Remarks)**
2. **Roll Call**
3. **Moment of Reflection**
4. **Confirmation of Agenda ≠**
5. **Disclosure of Conflict of Interest**
6. **Approval of Minutes ≠**
 - 6.1 October 10, 2023
7. **Application for Minor Variance or Permission** under section 45 of the Planning Act to be heard by the Committee this date:
 - 7.1 **Minor Variance Application D13-AHM – Najib Ahmadi** – 68 Gilmour Road, Concession 8, Part Lot 23, Township of Puslinch. ≠



PLANNING & DEVELOPMENT ADVISORY COMMITTEE
VIRTUAL MEETING BY ELECTRONIC PARTICIPATION &
IN-PERSON AT THE TOWNSHIP MUNICIPAL OFFICE –
7404 WELLINGTON ROAD 34, PUSLINCH

NOVEMBER 14, 2023
7:00 p.m.

Requesting relief of New Comprehensive Zoning By-law # 23-2018, as amended, from the following:

1. From Section 4.2.a.i to permit the accessory building to have a maximum floor area of 153m² instead of 130m², as required.
2. From Section 4.2.c.ii to permit the accessory building to be 0.14 meters from the lot line of the interior side yard instead of 3m, as required.
3. From Section 4.2.c.iii. to permit the accessory building to be located 47.41 meters to the house instead of 40 metres, as required.

7.2 Minor Variance Application D13-MAD – Vikki Madden – 31 Farnham Road, Part Lot 5 Plan 131 being Part 1 on Reference Plan 61R-3484, Township of Puslinch. #

Requesting relief of New Comprehensive Zoning By-law # 23-2018, as amended, from Section 4.27.1.c. to permit the pool equipment to be 1.5m from the interior side yard rather than 2m as required.

8. New Business

9. Adjournment of Committee of Adjustment #



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH
OCTOBER 10, 2023 COMMITTEE OF ADJUSTMENT MEETING
IN-PERSON AND VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

MINUTES

DATE: October 10, 2023

MEETING: 7:00 p.m.

The October 10, 2023 Committee of Adjustment Meeting was held on the above date and called to order at 7:06 p.m. via electronic participation and in-person at 7404 Wellington Road 34, Puslinch.

1. CALL THE MEETING TO ORDER

2. ROLL CALL

ATTENDANCE:

PRESENT:

Chris Pickard, Acting Chair
Dennis O'Connor
Paul Sadhra
Jeffrey Born

ABSENT:

Councillor John Sepulis

STAFF IN ATTENDANCE:

Lynne Banks, Secretary/Treasurer
Laura Emery, Communications & Committee Coordinator
Zachary Prince, Senior Planner, County of Wellington

3. MOMENT OF REFLECTION

4. CONFIRMATION OF THE AGENDA

Resolution No. 2023-086:

Moved by Committee Member Paul Sadhra and
Seconded by Committee Member Jeff Born



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH
OCTOBER 10, 2023 COMMITTEE OF ADJUSTMENT MEETING
IN-PERSON AND VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

That the Committee approves the October 10, 2023 Agenda as circulated.

CARRIED.

5. DISCLOSURE OF CONFLICT OF INTEREST:

None

6. APPROVAL OF MINUTES

6.1 Approval of the Minutes

6.1.1 September 12, 2023

Resolution No. 2023-087:

Moved by Committee Member Dennis O'Connor and
Seconded by Committee Member Paul Sadhra

**That the Committee of Adjustment approves the Minutes from the meeting held
September 12, 2023.**

CARRIED.

7. APPLICATIONS FOR MINOR VARIANCE OR PERMISSION under section 45 of the Planning Act
to be heard by the Committee this date:

7.1 None

8. NEW BUSINESS

None

9. ADJOURNMENT

Resolution No. 2023-088:

Moved by Committee Member Paul Sadhra and
Seconded by Committee Member Dennis O'Connor

That the Committee of Adjustment hereby adjourns at 7:10 p.m.

CARRIED.



Township of Puslinch
7404 Wellington Road 34
Puslinch, ON, N0B 2J0
T: (519) 763 – 1226
F: (519) 763 – 5846
www.puslinch.ca

Minor Variance or Permission Application

General Information:

1. Applicant Information:

Registered Owner's Name(s): _____

Address: _____

City: _____

Postal Code: _____

E-mail Address: _____

Telephone Number: _____

Fax: _____

Applicant (Agent) Name(s): _____

Address: _____

City: _____

Postal Code: _____

E-mail Address: _____

Telephone Number: _____

Fax: _____

**5. Why is it not possible to comply with the provisions of the by-law?
(please specifically indicate on sketch).**

6. What is the current Official Plan and zoning status?

Official Plan Designation: _____

Zoning Designation: _____

7. What is the access to the subject property?

Provincial Highway:

Continually maintained municipal road:

Seasonally maintained municipal road:

Other: (please specify below)

8. What is the name of the road or street that provides access to the subject property?

9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

Existing and Proposed Service:

10. Indicate the applicable water supply and sewage disposal:

Water Supply/Sewage Disposal:	Existing:	Proposed:
Municipal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Private Well:	<input type="checkbox"/>	<input type="checkbox"/>
Other Water Supply:	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Private Septic:	<input type="checkbox"/>	<input type="checkbox"/>
Other Sewage Disposal:	<input type="checkbox"/>	<input type="checkbox"/>

11. How is storm drainage provided?

Storm Sewers:

Ditches:

Swales:

Other means: (explain below)

Existing Subject and Abutting Property Land Uses, Buildings and their Locations:

12. What is the existing use of:

The subject property? _____

The abutting properties? _____

13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)

Type of Building(s)/ structures	ADDITIONAL RESIDENTIAL UNIT (EXISTING DWELLING)		PRINCIPAL DWELLING (RECENT PERMIT APPROVED)	
	m	ft.	m	ft.
Main Building height				
*Percentage lot coverage				
*Number of parking spaces				
*Number of loading spaces				
Number of floors				
Total floor area	m ²	ft ²	m ²	ft ²
Ground floor area (exclude basement)	m ²	ft ²	m ²	ft ²

14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)

Front Yard	m	ft.	m	ft.
Rear Yard	m	ft.	m	ft.
Side Yards	m	ft.	m	ft.

15. What are the dates of acquisition and construction of subject property and building property?

Date of acquisition of subject property: _____

Date of construction of buildings property: _____

16. How long have the existing uses continued on the subject property? ____

17. Has the owner previously applied for relief in respect of the subject property?

Yes No

If the answer is yes, please indicate the file number and describe briefly:

Other Related Planning Applications:


18. Has an application for any of the following on the subject lands?

Planning Application:	Yes:	No:	File Number:	Approval Authority:	Subject Lands	Purpose:	Status:
Official Plan Amendment	<input type="checkbox"/>	<input type="checkbox"/>					
Zoning By-Law Amendment	<input type="checkbox"/>	<input type="checkbox"/>					
Plan of Subdivision	<input type="checkbox"/>	<input type="checkbox"/>					
Consent (Severance)							
Site Plan	<input type="checkbox"/>	<input type="checkbox"/>					
Minor Variance	<input type="checkbox"/>	<input type="checkbox"/>					

Authorization for Agent/Solicitor to act for Owner:

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

I (we) _____ of the
_____ of _____ County/Region of
_____ do hereby authorize
_____ to act as my agent in this application.



Signature of Owner(s)

_____ Date

Affidavit:

I (we) _____ of the
_____ of _____ County/Region of
_____ solemnly declare that all the statements
contained in this application are true, and I, (we), make this solemn declaration
conscientiously believing it to be true, and knowing that it is of the same force and effect
as if made under oath and by virtue of the CANADA EVIDENCE ACT. DECLARED
before me at the _____ of _____ in the
County/Region of _____ this _____ day of
_____, 20_____.



Signature of Owner or authorized
solicitor or agent

_____ Date

Signature of Commissioner

_____ Date

Agreement to Post Sign and Permit Site Visits:

A form is included in the Zoning By-law Amendment application to agree to erect a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits.

The applicant is required to erect and maintain a sign on the proposed lands within one week of the application being deemed complete by staff and to remove the sign when the application has been given final approval. The sign shall be a minimum of 1.2 x 1.2 metres on posts 0.5 metres above grade and include the following wording to be approved by Township staff:

A PROPOSAL HAS BEEN MADE
ON THIS SITE FOR: (50 mm text height)
A ZONING BY-LAW AMENDMENT TO xxx (100 mm text height)
FOR FURTHER INFORMATION
PLEASE CONTACT THE TOWNSHIP OF PUSLINCH 7404 WELLINGTON ROAD 34
(519) 763 - 1226 (30-50 mm text height)

For Administrative Purposes Only:

Application fee of \$_____received by the municipality

Date Fee Received: _____

Date Application Filed: _____

File Number: _____

Application deemed complete:

Signature of Municipal Employee

Date

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.

Netta Designs Inc.
Jonathan Netta, Director
jonathan@nettadesigns.com
416-821-6533



Attention: Town of Puslinch; Planning Department

Subject Property: **68 Gilmour Road, Puslinch, ON, N0B 2J0:**

Re: Minor Variance Application

To whom it may concern / Lynne Banks,

I would like to formally apply for a Minor Variance Application for the subject property.

There is currently a 5,774 s.f. 2-storey dwelling being constructed on this lot (It was approved for building permit this year. This will serve as the new PRIMARY residence

Although the existing dwelling must be demolished as a result of the zoning by-law requirements, we would like to proposed MAINTAINING it and repurpose it as an "Additional Residential Unit" ("ARU")

I will also note that the Septic system will be installed as brand new to facilitate both the Primary Residence and the Secondary Residence. It has been designed accordingly.

Enclosed you will find the proposed drawings for a rear deck proposal.

- 1) A Proposed Site Plan illustrating both the Principal Dwelling (currently under construction) and the Existing Dwelling (Being converted / repurposed as a Garden Suite) and the distance between
- 2) Principal Dwelling Drawings
- 3) Existing Dwelling Drawings
- 4) Minor Variance Application Form completed and filled out

The required Variances needed to satisfy our proposal are as follows:

1) Total Floor Area

Required = 130 sq.m. maximum

Proposed = 153 s.m.

2) Location between Primary Residence and ARU

Required = 40 meters

Proposed = 47.41 meters

3) Minimum Required Interior Side Yard

Required = 3 meters

Proposed = 0.65 meters to house / 0.14 meters to deck (existing condition)

If any questions, please reach out me directly.

Thanks,

Jonathan Netta

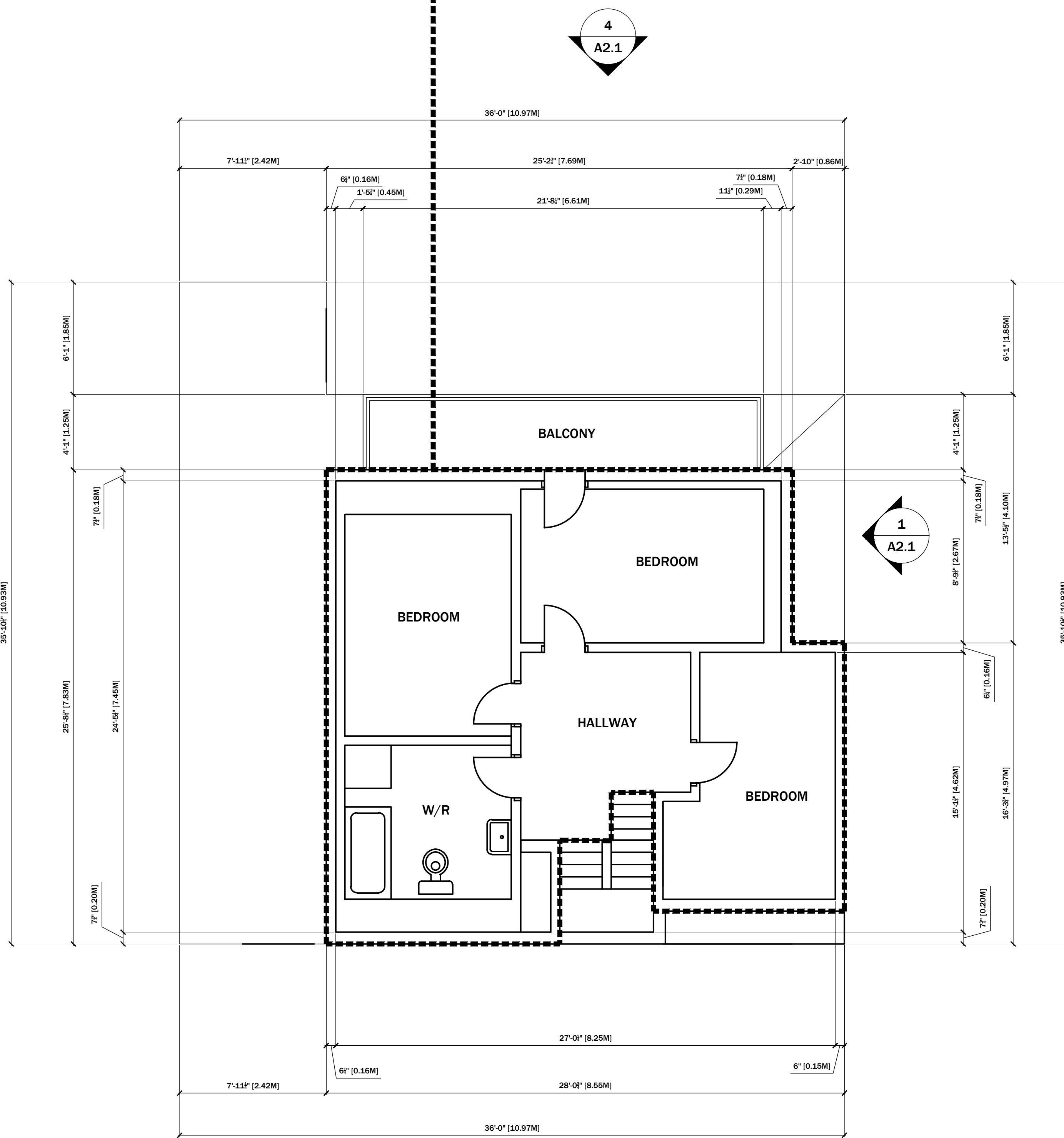
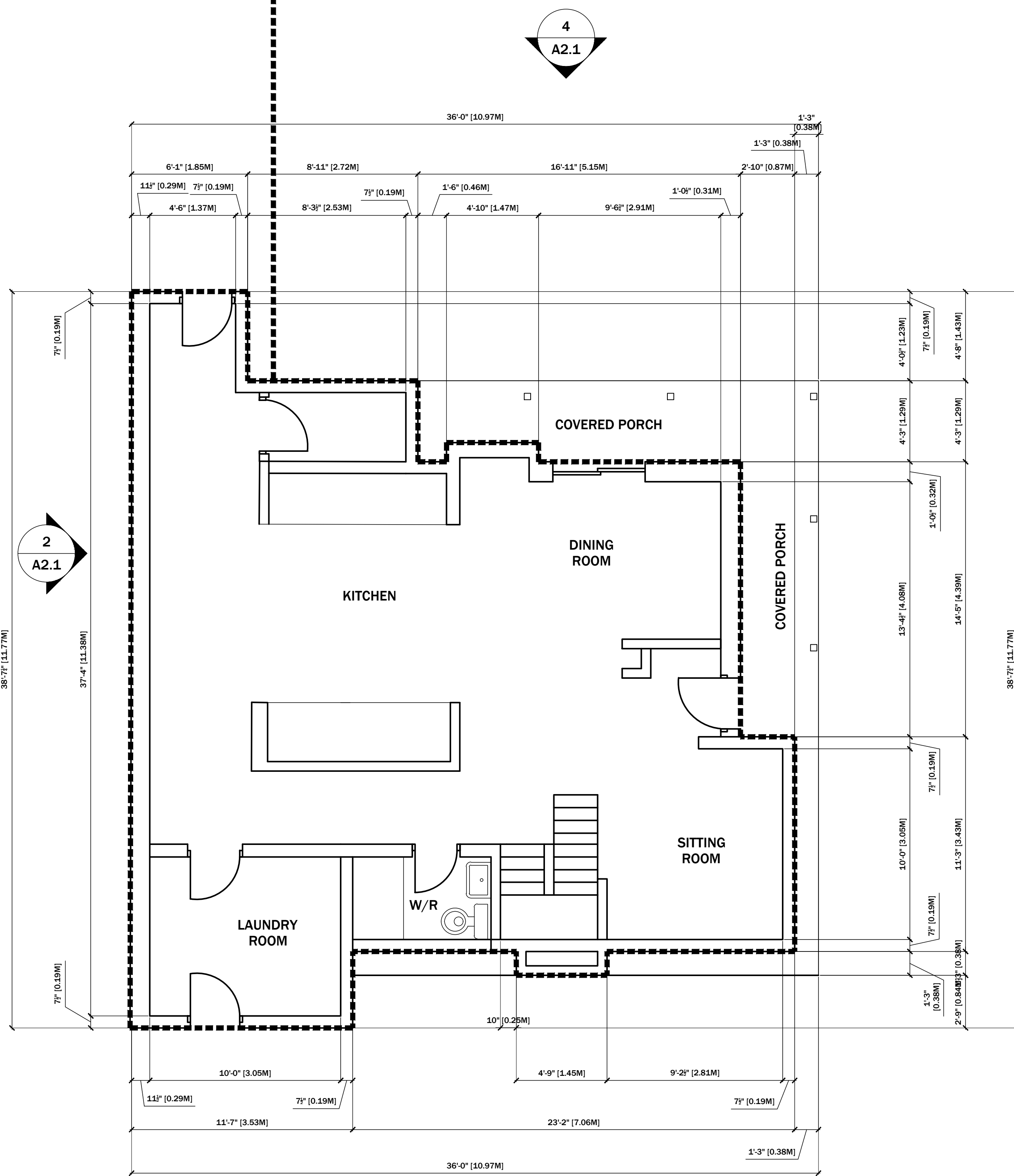
Netta Designs Inc.

416-821-6533

jonathan@nettadesigns.com

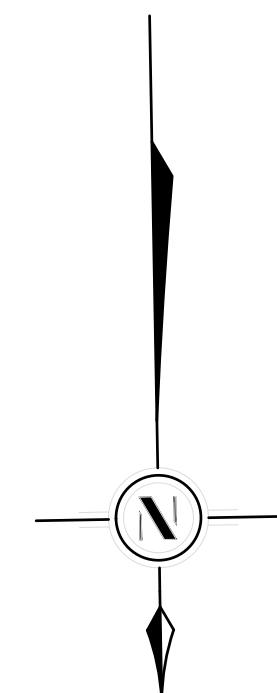
MAIN FLOOR AREA = 1,002 S.F. / 93 S.M.

SECOND FLOOR AREA = 642 S.F. / 60 S.M.




1 EXISTING MAIN FLOOR PLAN
A1.1 1/4" = 1'-0"

2 EXISTING SECOND FLOOR PLAN
A1.1 1/4" = 1'-0"



CITY ELECTRONIC STAMP:



NETTA DESIGNS

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BEST QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- THE EXISTING DRAWINGS WERE PROVIDED TO NETTA DESIGNS INC. BY A THIRD PARTY AND NETTA DESIGNS INC. DOES NOT ACCEPT ANY LIABILITY FOR THE ACCURACY OF THE DRAWINGS.
- BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION:	INITIALS:
01	12 SEP 2023	ISSUED FOR MINOR VARIANCE APPLICATION	JN

PROJECT NAME/ADDRESS:
AHMADI RESIDENCE
68 GILMOUR ROAD,
PUSLINC, ON N0B 2J0

SHEET NAME:
EXISTING DWELLING FLOOR PLANS

SCALE: 1/4" = 1'-0"

PROJECT NO.	START DATE:
2022-11	12 SEP 2023

DRAWN BY:	REVIEWED BY:
JONATHAN NETTA	JONATHAN NETTA

SHEET NO.
A1.1

BUILDING HEIGHT

MAXIMUM ALLOWABLE HEIGHT (TO ROOF MIDPOINT) = 5.0 METERS
PROPOSED HEIGHT (TO ROOF MIDPOINT) = 4.49 METERS

CITY ELECTRONIC STAMP:



- GENERAL NOTES:
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - THE EXISTING DRAWINGS WERE PROVIDED TO NETTA DESIGNS INC. BY A THIRD PARTY AND NETTA DESIGNS INC. DOES NOT ACCEPT ANY LIABILITY FOR THE ACCURACY OF THE DRAWINGS.
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	12 SEP 2023	ISSUED FOR MINOR VARIANCE APPLICATION	JN

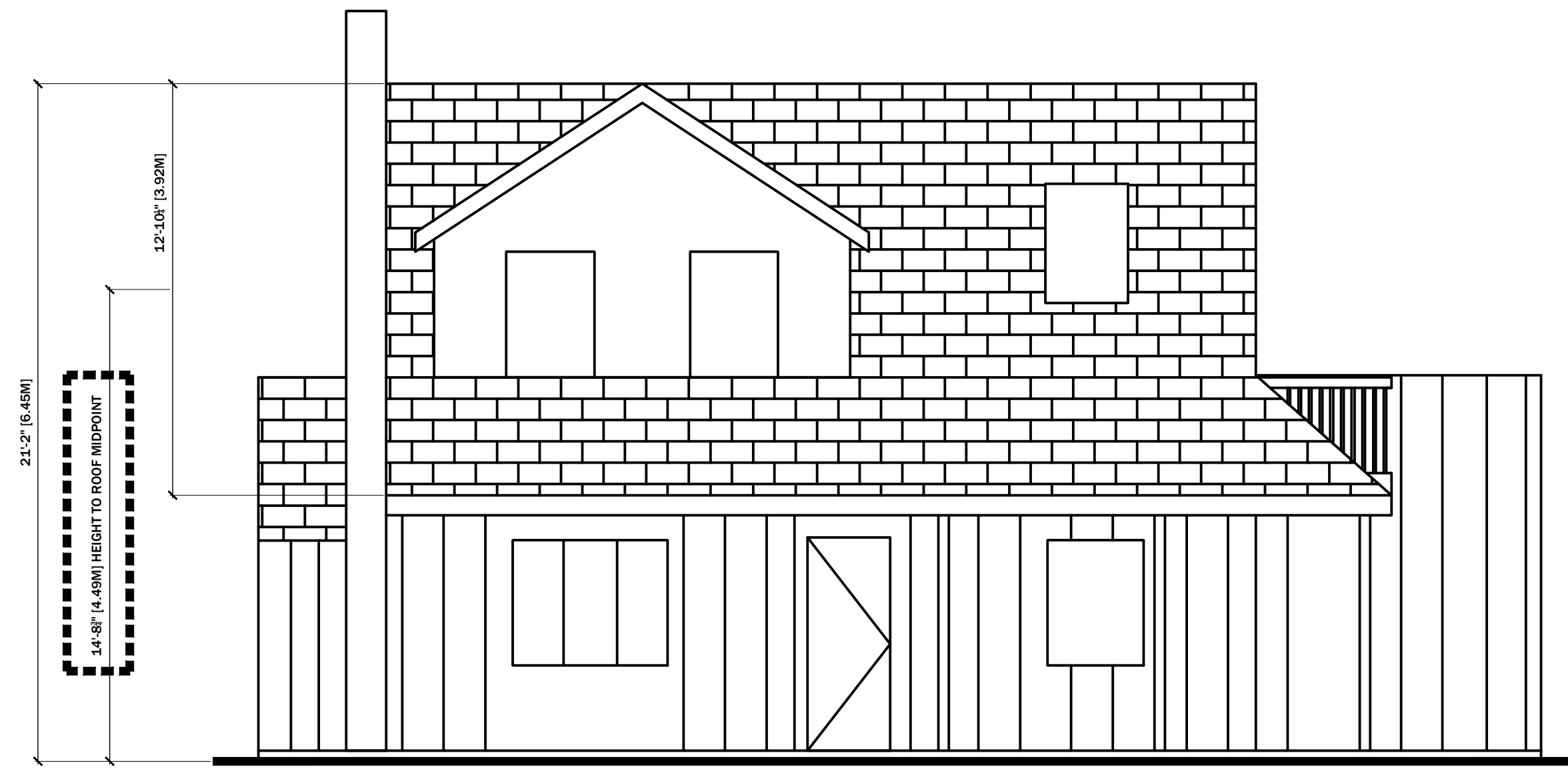
PROJECT NAME/ADDRESS:
AHMADI RESIDENCE
 68 GILMAUR ROAD,
 PUSLINC, ON N0B 2J0

SHEET NAME:
EXISTING DWELLING ELEVATIONS

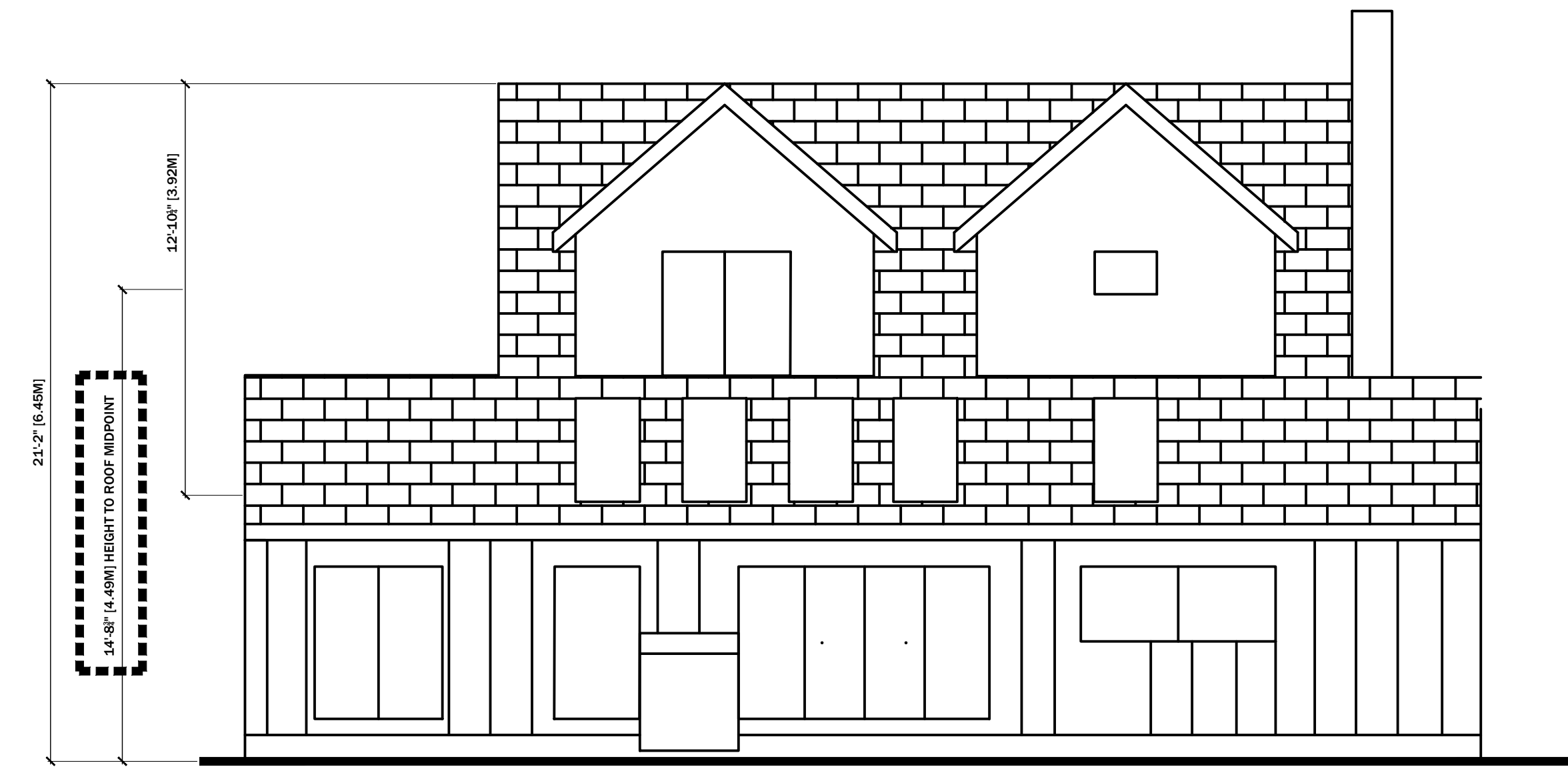
SCALE: 1/4" = 1'-0"

PROJECT NO. 2022-11	START DATE 12 SEP 2023
DRAWN BY: JONATHAN NETTA	REVIEWED BY: JONATHAN NETTA

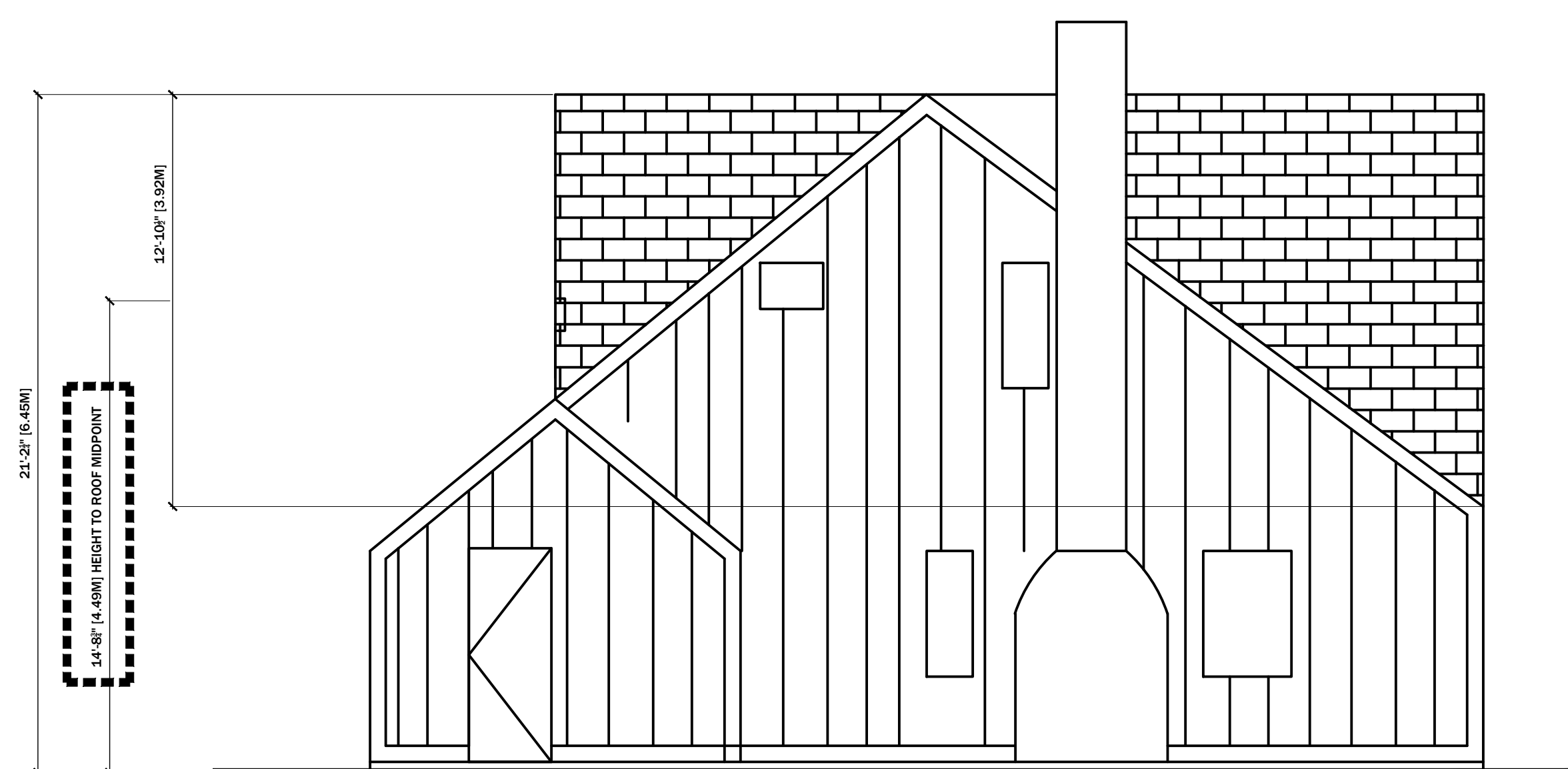
SHEET NO.
A2.1



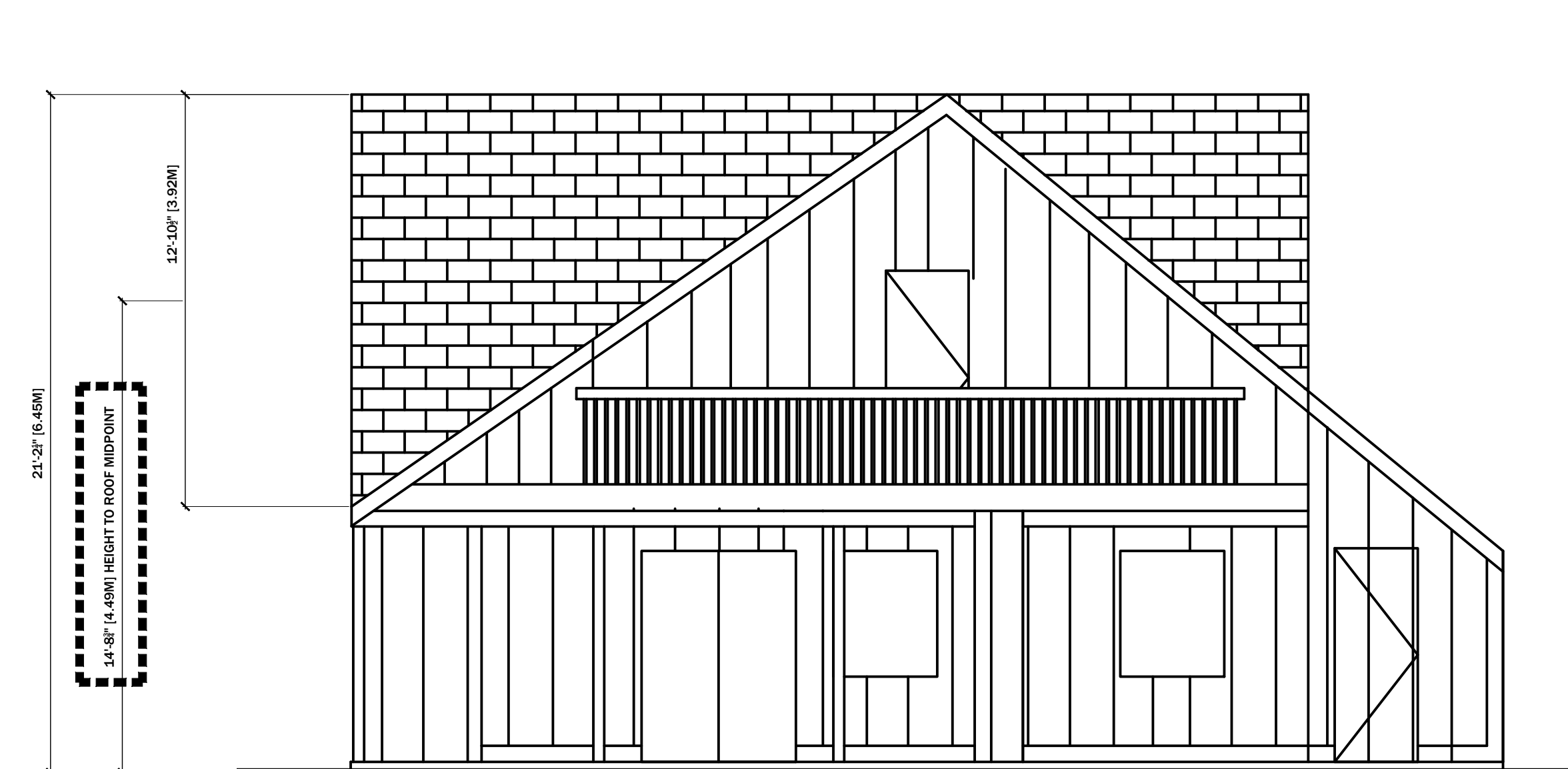
1 EXISTING WEST ELEVATION
A2.1 1/4" = 1'-0"



2 EXISTING EAST ELEVATION
A2.1 1/4" = 1'-0"



3 EXISTING NORTH ELEVATION
A2.1 1/4" = 1'-0"



4 EXISTING SOUTH ELEVATION
A2.1 1/4" = 1'-0"

ARCHITECTURAL DRAWING INDEX

A0.1	COVER PAGE & PROJECT INFORMATION	A6.1	DRAWING NOTES, LEGENDS, & SCHEDULES COVER PAGE
A1.1	PROPOSED BASEMENT FLOOR PLAN	A6.2	WALL TYPES - FOUNDATION WALLS AND INSULATION REQUIREMENTS
A1.2	PROPOSED MAIN FLOOR PLAN	A6.3	WALL TYPES - EXTERIOR WALLS
A1.3	PROPOSED SECOND FLOOR PLAN	A6.4	WALL TYPES - PARTITION TYPES & FURRING TYPES
A1.4	PROPOSED ROOF PLAN	A6.5	FLOORING TYPES - SLABS, WOOD FRAMED FLOORS & FIRE RATED FLOORS
A2.1	PROPOSED FRONT ELEVATION	A6.6	ROOF TYPES - PITCHED ROOF
A2.2	PROPOSED REAR ELEVATION	A6.7	ROOF TYPES - FLAT ROOF
A2.3	PROPOSED LEFT ELEVATION	A6.8	ARCHITECTURAL HEX - FOUNDATION, FOOTINGS, SLABS, PORCH & GARAGE
A2.4	PROPOSED RIGHT ELEVATION	A6.9	ARCHITECTURAL HEX - MECHANICAL VENTILATION, FIREPLACES, STEEL, WOOD & CONCRETE IN CONTACT
A2.5	PROPOSED ELEVATION DETAILS	A6.10	ARCHITECTURAL HEX - STAIR, RAILINGS, & MISC. ITEMS
A3.1	PROPOSED BUILDING SECTION 1	A6.11	INTERIOR DOOR SCHEDULE - 80" HIGH SERIES
A3.2	PROPOSED BUILDING SECTION 2	A6.12	INTERIOR DOOR SCHEDULE - 96" HIGH SERIES
A3.3	PROPOSED BUILDING SECTION 3	A6.13	INTERIOR DOOR SCHEDULE - 90" HIGH SERIES
A3.4	PROPOSED BUILDING SECTION 4		
A3.5	PROPOSED GARAGE WALKUP DETAILS		
A3.6	PROPOSED BASEMENT WALKUP DETAILS		
A4.1	PROPOSED TYPICAL CONSTRUCTION DETAILS 1		
A4.2	PROPOSED TYPICAL CONSTRUCTION DETAILS 2		
A5.1	PROPOSED GENERAL NOTES & OBC REQUIREMENTS		

PROJECT CONTACTS

ARCHITECTURAL DESIGNER
ROJAS EMPIRE OF DESIGN INC.; CONTACT: JONATHAN NETTA
416 821 6533; JONATHANNETTA@ROJASEMPIRE.COM

MECHANICAL ENGINEER
DISANTE DESIGN; CONTACT: VINCE DISANTE
289 929 9821; VDISANTE@DISANTEDESIGN.COM

STRUCTURAL ENGINEER
OPTIMUM STRUCTURAL CORP.; CONTACT: AFSHIN SOUZANKAR
416-666-7978; OPTIMUMSTRUCTURALCORP@GMAIL.COM

LUMBER
RONA-GUELPH; CONTACT: NORM CHIASSON
NORM@RONAGUELPH.CA

SURVEYOR
FIRASAH DESIGN LIMITED; CONTACT: MOHAMMAD AKBAR AHMADI
647-505-2279; AKBARAHMADI03@GMAIL.COM

SEPTIC DESIGNER
SNOWBROTHERS CONTRACTING; CONTACT: ANDY HAMILTON
519-833-9367; SNOWBROS@BELLNET.CA

SITE STATISTICS

SITE STATISTICS CHART			
PROJECT ADDRESS:	68 GILMOUR ROAD		
MUNICIPALITY:	PUSLINCH, ONTARIO		
DESIGNATED ZONE (BY-LAW):	A (AGRICULTURAL)		
APPLICABLE CONSERVATIONS:	GRAND RIVER CONSERVATION		

LOT AREA	AREA (S.F)	AREA (S.M)	%
TOTAL LOT AREA	94051.41	8737.67	

LOT COVERAGE	AREA (S.F)	AREA (S.M)	%
MAXIMUM ALLOWABLE	28215.42	2621.30	30.00%
PROPOSED LOT COVERAGE	4952.00	460.06	5.27%
MAIN FLOOR	2824.00	271.65	
GARAGE	881.00	81.85	
COVERED PORCH 1	137.00	12.73	
COVERED PORCH 2	665.00	61.78	
COVERED PORCH 3	332.00	30.84	
PLASTER CORNERS	13.00	1.21	

GROSS FLOOR AREA			
MAXIMUM ALLOWABLE	N/A	N/A	N/A
PROPOSED GROSS FLOOR AREA	5645.00	524.44	6.00%
MAIN FLOOR	2924.00	271.65	
SECOND FLOOR	2721.00	252.79	

	LENGTH (m)	LENGTH (ft)

BUILDING HEIGHT			
MAXIMUM BUILDING HEIGHT	10.00	32.81	
PROPOSED BUILDING HEIGHT	10.00	32.81	

REQUIRED SETBACKS			
FRONT YARD	10.00	32.81	
REAR YARD	7.50	24.61	
INTERIOR SIDE YARD 1	3.00	9.84	
INTERIOR SIDE YARD 2	3.00	9.84	

PROVIDED SETBACKS			
FRONT YARD	17.99	59.02	
REAR YARD	39.86	130.77	
LEFT SIDE YARD	29.99	98.39	
RIGHT SIDE YARD	18.97	62.24	



AHMADI FAMILY CUSTOM HOME

68 GILMOUR ROAD, PUSLINCH, ONTARIO, N0B 2J0

CITY ELECTRONIC STAMP:



GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BCN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCN NUMBER AND ORIGINAL SIGNATURES.)
- BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

DESIGNER'S INFO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

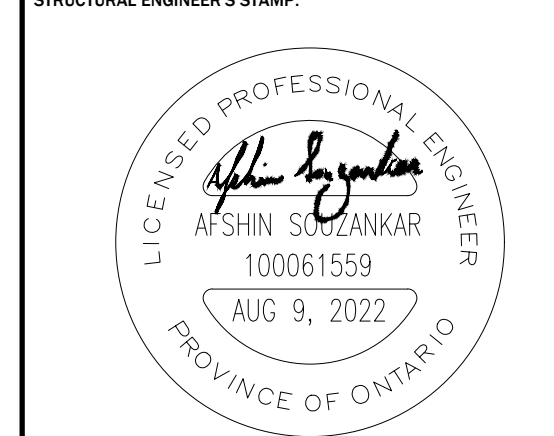
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS  106563
NAME SIGNATURE BCN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC 1234569
FIRM NAME BCN

STRUCTURAL ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

AHMADI RESIDENCE
68 GILMOUR ROAD,
PUSLINCH, ON N0B 2J0

SHEET NAME:

COVER PAGE & PROJECT INFORMATION

SCALE: NA

PROJECT NO. 2022-11 START DATE: 29 APR. 2022

DRAWN BY: JONATHAN NETTA REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO.

A0.1

STEEL ANGLE LINTEL SCHEDULE (OBC 9.20.5.2.A & 9.20.5.2.B)			
CODE	SIZE	90mm BRICK	100mm STONE
L1	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m)
L2	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-8" (2.66m)	8'-1" (2.48m)
L3	5" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.08m)
L4	5" x 3 1/2" x 7/16" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24m)
L5	5" x 3 1/2" x 1/2" (127 x 89 x 13)	11'-9" (3.59m)	10'-11" (3.33m)
L6	6" x 3 1/2" x 7/16" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54m)
L7	6" x 3 1/2" x 1/2" (152 x 89 x 13)	13'-4" (4.07m)	12'-4" (3.77m)
L8	6" x 4" x 1/2" (152 x 102 x 13)	13'-6" (4.12m)	12'-6" (3.82m)
L9	7" x 4" x 7/16" (178 x 102 x 11)	14'-1" (4.30m)	13'-1" (3.99m)
L10	7" x 4" x 1/2" (178 x 102 x 13)	15'-0" (4.59m)	13'-11" (4.25m)

STRUCTURAL NOTES:

* TYPICAL NEW FOUNDATION WALLS TO BE 10" THICK 25MPa ON A 22"x8" KEVED CONCRETE STRIP FOOTING UNLESS OTHERWISE NOTED ON PLAN.

ARCHITECTURAL NOTES:

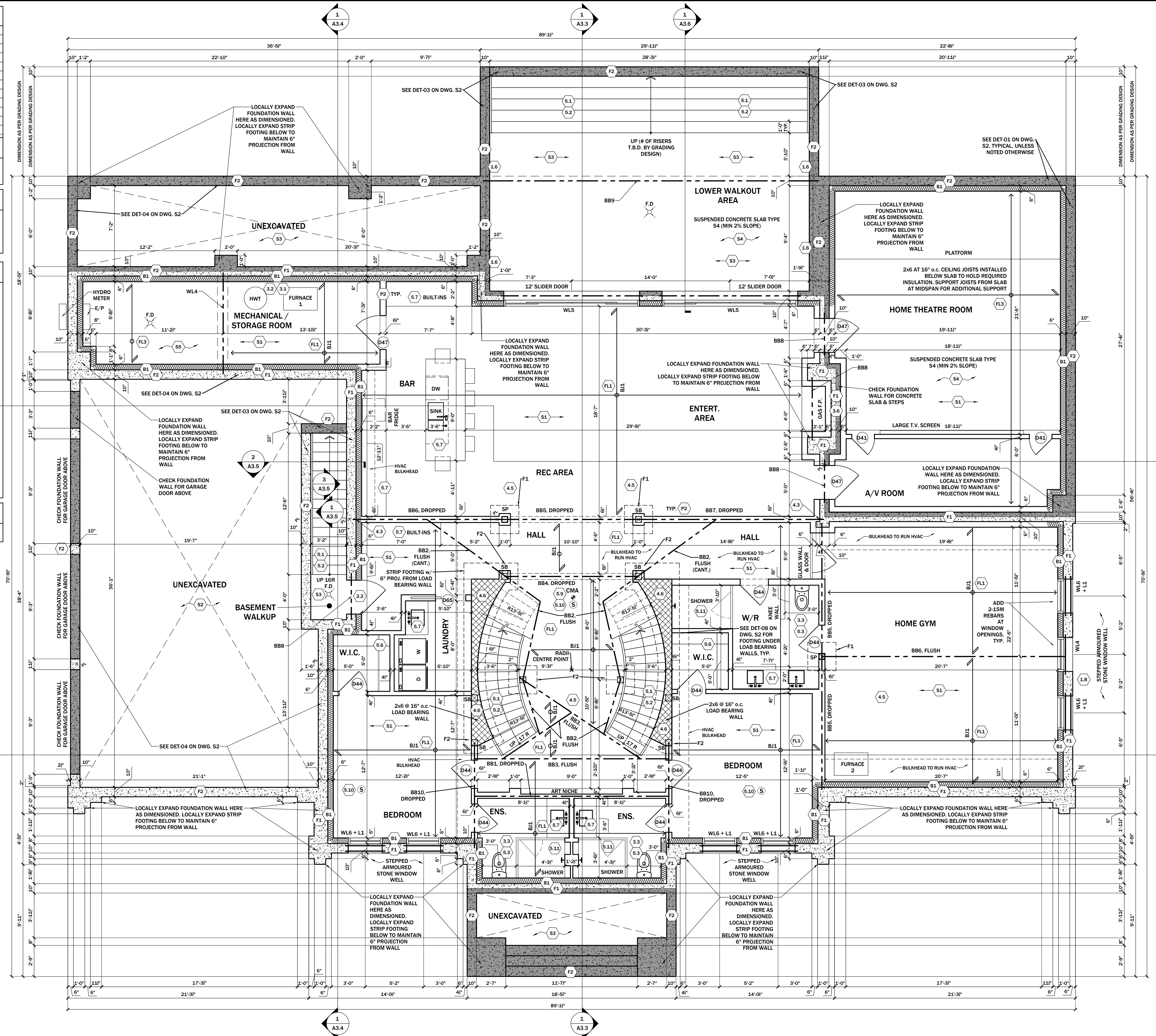
- SEE ARCHITECTURAL A2 SERIES FOR ALL EXTERIOR ELEVATIONS
- SEE ARCHITECTURAL A3 SERIES FOR ALL BUILDING SECTIONS
- SEE ARCHITECTURAL A4 SERIES FOR ALL CONSTRUCTION DETAILS
- SEE ARCHITECTURAL A5 SERIES FOR ALL GENERAL OBC REQUIREMENTS
- SEE ARCHITECTURAL A6 SERIES FOR ALL REFERENCED ARCHITECTURAL GENERAL NOTES

STRUCTURAL MEMBER SIZES:

- WL1: 2 - 1 1/2" x 9 1/2" 2.0E LVL
- WL2: 3 - 1 1/2" x 11 1/2" 2.0E LVL
- WL3: 3 - 1 1/2" x 14" 2.0E LVL
- WL4: W10X26*9"x3" CONTINUOUS PLATE
- WL5: W10X33*9"x3" CONTINUOUS PLATE
- WL6: 2 - 1 1/2" x 11 1/2" 2.0E LVL
- BJ1: ENGINEERED FLOOR JOISTS AS PER LUMBER DRAWINGS
- BB1: 4 - 1 1/2" x 9 1/2" 2.0E LVL
- BB2: 2 - 1 1/2" x 9 1/2" 2.0E LVL
- BB3: 3 - 1 1/2" x 9 1/2" 2.0E LVL
- BB4: 2 - 1 1/2" x 9 1/2" 2.0E LVL
- BB5: 3 - 1 1/2" x 9 1/2" 2.0E LVL
- BB6: W10X39
- BB7: 4 - 1 1/2" x 11 1/2" 2.0E LVL
- BB8: W10X26
- BB9: W10X58
- BB10: 2 - 1 1/2" x 11 1/2" 2.0E LVL
- SP: HSS4"x4"x3/8" STEEL POST
- F1: 60"x60"x12" CONC. FOOTING WITH 15M@8" O/C BOTTOM REBARS BOTH WAYS, 25 MPA CONC.
- F2: 48"x48"x12" CONC. FOOTING WITH 15M@8" O/C BOTTOM REBARS BOTH WAYS, 25 MPA CONC.

HVAC NOTES:

* PROVIDE IN-FLOOR RADIANT HEATING THROUGHOUT THE ENTIRE BASEMENT



CITY ELECTRONIC STAMP:

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE DESIGNER'S RESPONSIBILITY MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJES EMPIRE OF DESIGN INC. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT ROJES' WRITTEN PERMISSION (ROJES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCN NUMBER AND ORIGINAL SIGNATURE.)
- BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

WALL LEGEND:

- PROPOSED
- LOAD-BEARING
- INSULATION

CONSTRUCTION NORTH

DESIGNER'S INFO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS 106163

NAME SIGNATURE BCN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJES EMPIRE OF DESIGN INC 121689

FIRM NAME BCN

STRUCTURAL ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

AHMADI RESIDENCE

68 GILMOUR ROAD, PUSLINC, ON N0B 2J0

SHEET NAME:

PROPOSED BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROJECT NO. 2022-11 START DATE: 29 APR. 2022

DRAWN BY: JONATHAN NETTA REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO. **A1.1**

STRUCTURAL NOTES:

- * ALL COLUMNS LABELLED "SB" ARE TO BE 3-2x6.
- * ALL WINDOW COLUMNS LABELLED "SB" ARE TO BE MADE UP OF 2 JACK STUDS AND 1 KING STUD AT EACH END UNLESS OTHERWISE NOTED.

STRUCTURAL MEMBER SIZES:

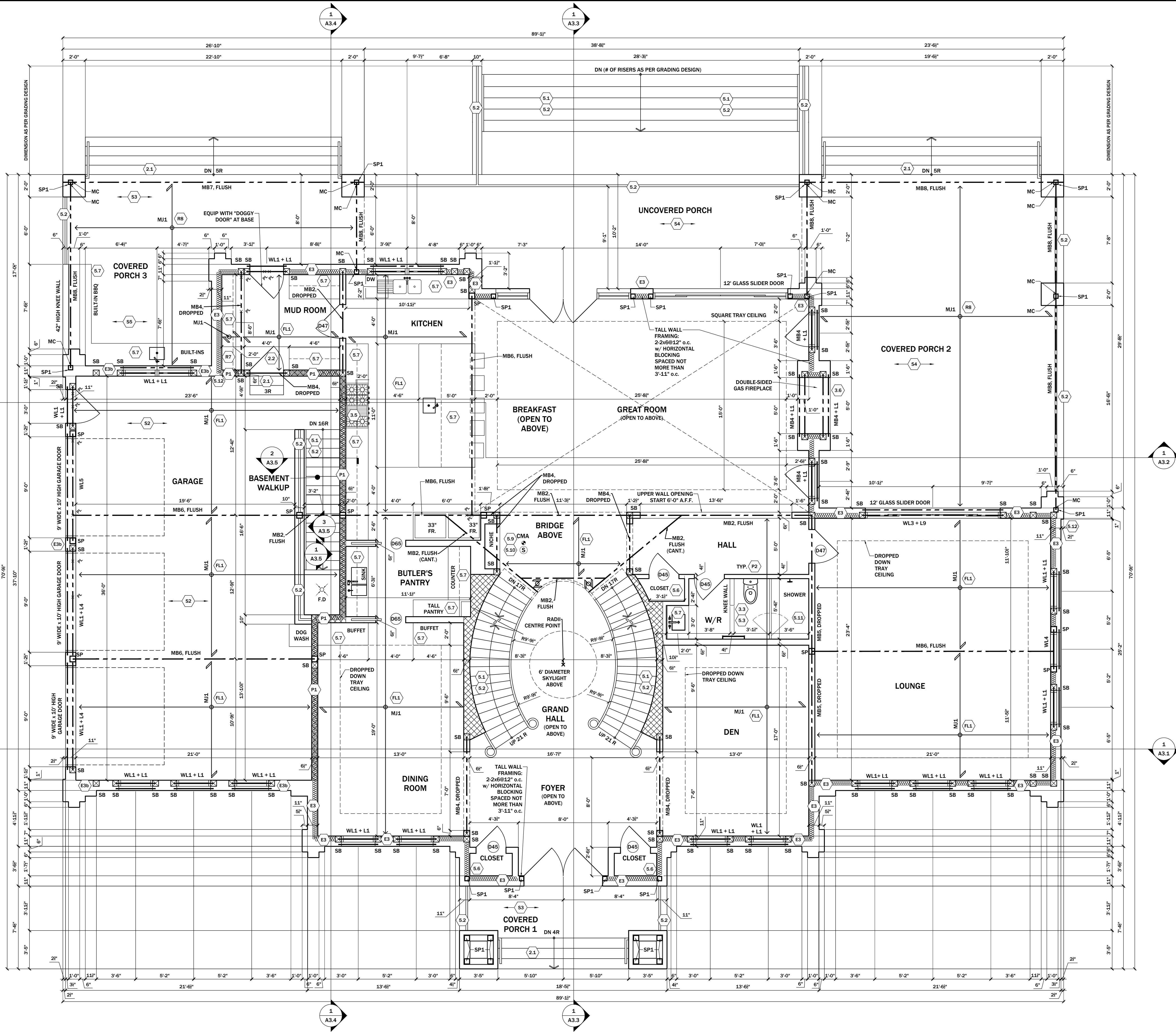
- WL1: 2 - 1 1/2" X 9 3/4" 2.0E LVL
- WL2: 3 - 1 1/2" X 11 1/8" 2.0E LVL
- WL3: 3 - 1 1/2" X 14" 2.0E LVL
- WL4: W10X26+9"X8" CONTINUOUS PLATE
- WL5: W10X33+9"X8" CONTINUOUS PLATE
- MJ1: ENGINEERED FLOOR JOISTS AS PER LUMBER DRAWINGS
- MB1: 4 - 1 1/2" X 14" 2.0E LVL
- MB2: 2 - 1 1/2" X 11 1/8" 2.0E LVL
- MB3: 3 - 1 1/2" X 11 1/8" 2.0E LVL
- MB4: 2 - 1 1/2" X 9 3/4" 2.0E LVL
- MB5: 3 - 1 1/2" X 9 3/4" 2.0E LVL
- MB6: W10X39
- MB7: W10X30 + 1/2"X9" CONTINUOUS PLATE. PLATE TO BE OFFSET TO SUPPORT LIMESTONE
- MB8: W10X22 + 1/2"X9" CONTINUOUS PLATE. PLATE TO BE OFFSET TO SUPPORT LIMESTONE
- SP1: HSS 5"X5"X3/8" STEEL POST
- MC: MOMENT CONNECTION

ARCHITECTURAL NOTES:

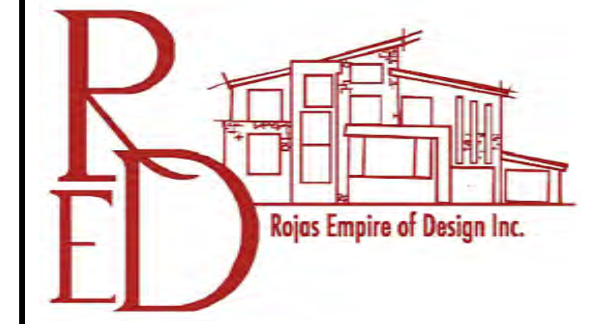
- SEE ARCHITECTURAL A2 SERIES FOR ALL EXTERIOR ELEVATIONS
- SEE ARCHITECTURAL A3 SERIES FOR ALL BUILDING SECTIONS
- SEE ARCHITECTURAL A4 SERIES FOR ALL CONSTRUCTION DETAILS
- SEE ARCHITECTURAL A5 SERIES FOR ALL GENERAL OBC REQUIREMENTS
- SEE ARCHITECTURAL A6 SERIES FOR ALL REFERENCED ARCHITECTURAL GENERAL NOTES

HVAC NOTES:

- PROVIDE RADIANT FLOOR HEATING WITH 2" CONCRETE TOPPING IN THE FOLLOWING ROOMS:
- FOYER & GRAND HALL
- KITCHEN & BUTLER'S PANTRY
- BREAKFAST
- MUD ROOM



CITY ELECTRONIC STAMP:

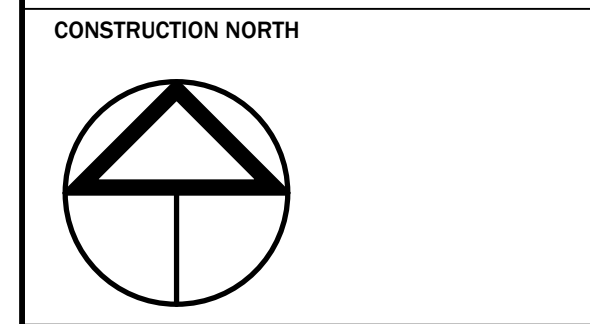


- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BCN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN INC. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT REED'S WRITTEN PERMISSION (REED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCN NUMBER AND ORIGINAL SIGNATURE.)
 - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

- WALL LEGEND:**
- PROPOSED
 - LOAD-BEARING
 - INSULATION



DESIGNER'S INFO
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

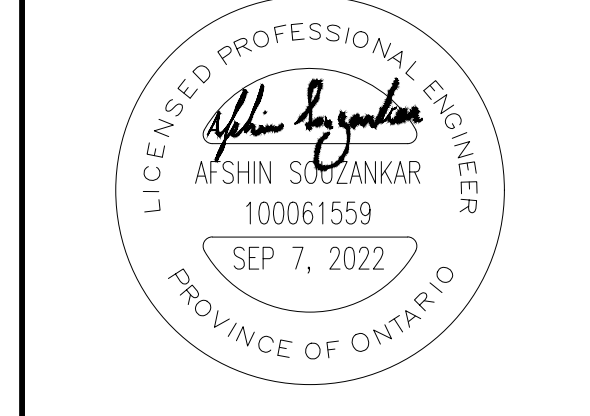
QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

NAME: HENRY M SILVA ROJAS
 SIGNATURE: [Signature]
 BCN: 106163

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

FIRM NAME: ROJAS EMPIRE OF DESIGN INC.
 BCN: 121689

STRUCTURAL ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:
AHMADI RESIDENCE
 68 GILMOUR ROAD,
 PUSLINC, ON N0B 2J0

SHEET NAME:
PROPOSED MAIN FLOOR PLAN

PROJECT NO.: 2022-11
START DATE: 29 APR. 2022

DRAWN BY: JONATHAN NETTA
REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO.: A1.2

STRUCTURAL NOTES:

- * ALL COLUMNS LABELLED "SB" ARE TO BE 3-2x6.
- * ALL WINDOW COLUMNS LABELLED "SB" ARE TO BE MADE UP OF 2 JACK STUDS AND 1 KING STUD AT EACH END UNLESS OTHERWISE NOTED.

STRUCTURAL MEMBER SIZES:

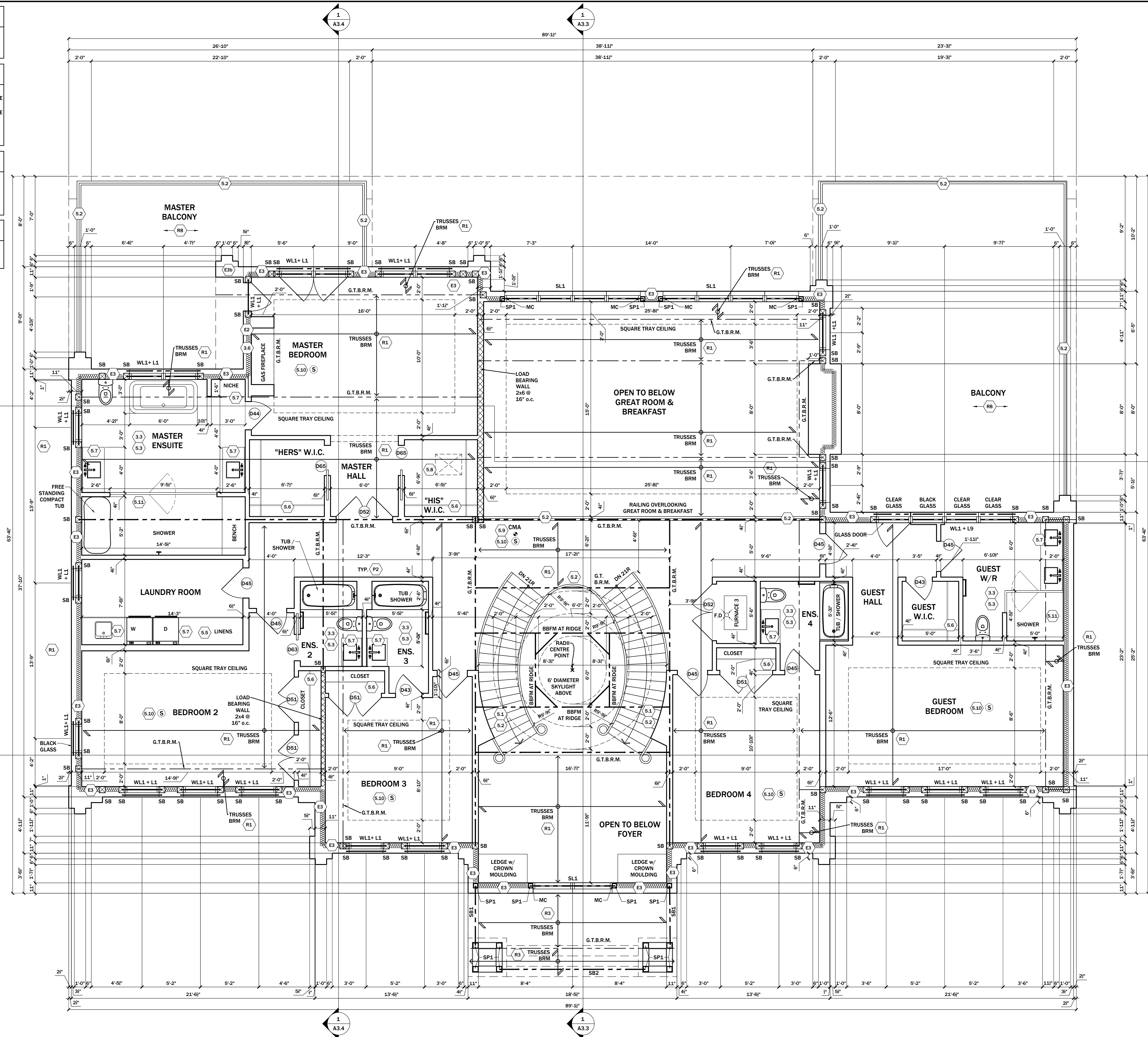
WL1: 2 - 1 1/2" x 9 1/2" 2.0E LVL
 SP1: HSS 5"x5"x5/16" STEEL POST
 MC: MOMENT CONNECTION
 SL1: HSS 8"x4"x5/16" OR W12x22 + 1/2"x9" CONTINUOUS PLATE. PLATE TO BE OFFSET TO SUPPORT LIMESTONE

ARCHITECTURAL NOTES:

- * SEE ARCHITECTURAL A2 SERIES FOR ALL EXTERIOR ELEVATIONS
- * SEE ARCHITECTURAL A3 SERIES FOR ALL BUILDING SECTIONS
- * SEE ARCHITECTURAL A4 SERIES FOR ALL CONSTRUCTION DETAILS
- * SEE ARCHITECTURAL A5 SERIES FOR ALL GENERAL OBC REQUIREMENTS
- * SEE ARCHITECTURAL A6 SERIES FOR ALL REFERENCED ARCHITECTURAL GENERAL NOTES

HVAC NOTES:

PROVIDE IN-FLOOR ELECTRIC HEATING IN THE FOLLOWING ROOMS:
 * MASTER ENSUITE
 * GUEST WASHROOM



CITY ELECTRONIC STAMP:

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BEST QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN INC. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT REED'S WRITTEN PERMISSION (REED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCN NUMBER AND ORIGINAL SIGNATURE.)
- BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

WALL LEGEND:

- PROPOSED
- LOAD-BEARING
- INSULATION

CONSTRUCTION NORTH

DESIGNER'S INFO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS 106563
 NAME SIGNATURE BCN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC 12345678
 FIRM NAME BCN

STRUCTURAL ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

AHMADI RESIDENCE
 68 GILMOUR ROAD,
 PUSLINC, ON N0B 2J0

SHEET NAME:

PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROJECT NO.: 2022-11 **START DATE:** 29 APR. 2022

DRAWN BY: JONATHAN NETTA **REVIEWED BY:** HENRY M SILVA ROJAS

SHEET NO.:

A1.3

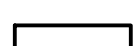

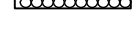
GENERAL NOTES:

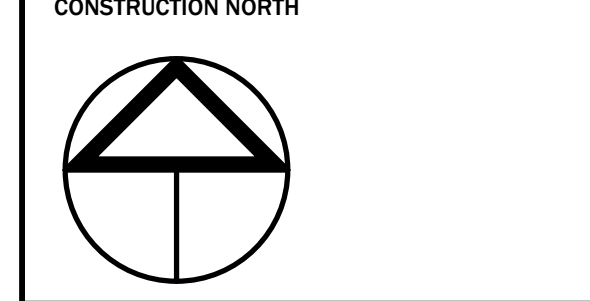
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BORN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJES EMPIRE OF DESIGN INC. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT WRITTEN PERMISSION (R.E.D. ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCN NUMBER AND ORIGINAL SIGNATURE.)
- BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

WALL LEGEND:

 PROPOSED
  LOAD-BEARING
  INSULATION



DESIGNER'S INFO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS  106163
 NAME SIGNATURE BCN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJES EMPIRE OF DESIGN INC 121689
 FIRM NAME BCN



PROJECT NAME/ADDRESS:

AHMADI RESIDENCE
 68 GILMOUR ROAD,
 FUSLINCH, ON N0B 2J0

SHEET NAME:

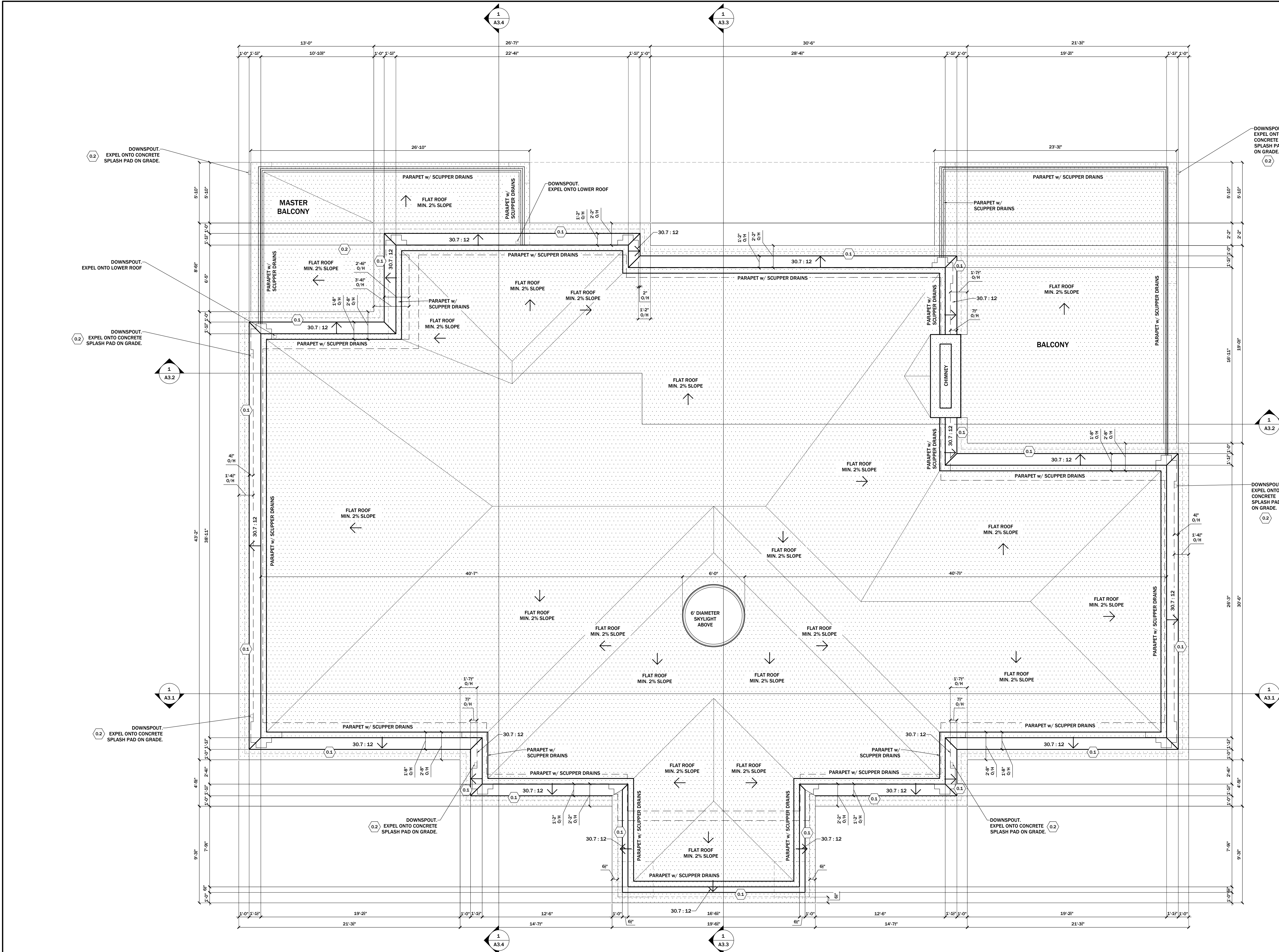
PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

PROJECT NO. 2022-11 START DATE: 29 APR. 2022

DRAWN BY: JONATHAN NETTA REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO. **A1.4**



EXTERIOR FINISH SCHEDULE

*ALL COLOURS TO BE CONFIRMED & APPROVED BY THE HOMEOWNER BEFORE ANY ORDERING OF MATERIALS

CODE	MODEL & MATERIAL NO.	SPEC / DESCRIPTION	CODE	MODEL & MATERIAL NO.	SPEC / DESCRIPTION
1		DECORATIVE ROOF FINIAL	12		2" THICK LIMESTONE OR STUCCO BORDER TO CREATE PROFILING ON SMOOTH LIMESTONE FINISH
2		14" HIGH STUCCO PARAPET (5" HIGH TOP PIECE w/ 1" PROJECTION)	13		LIMESTONE OR STUCCO PROFILED PANEL TO MIMIC WINDOW PROFILE
3		ASPHALT SHINGLES OR SLATE ROOF	14		EXTERIOR LIGHT FIXTURE(S) TYPE 1: TRADITIONAL STYLE
4		8" HIGH MDF FASCIA w/ PRE-FINISH ALUMINUM GUTTER & SOFFIT	15		EXTERIOR LIGHT FIXTURE(S) TYPE 2: MODERN WALL SCONCE w/ UP & DOWN LIGHTING
5		VALLEY FLASHING	16		EXPOSED CONCRETE FINISH
6		6" PREFINISHED METAL FLASHING	17		WROUGHT IRON GUARDRAILS / HANDRAILS
7		STUCCO OR LIMESTONE PROFILED COVE MOLDING. SEE DETAIL 2 - A2.5	18		STEPPED ARMoured STONE WINDOW WELLS
8		STUCCO OR LIMESTONE PROFILED PILASTER. SEE DETAIL 2 - A2.5	19		STUCCO OR LIMESTONE PROFILED COLUMN & MOLDING. SEE DETAIL 3 - A2.5
9		SMOOTH LIMESTONE ENTRYWAY w/ PROFILED GROOVES & MOLDINGS SEE DETAIL 1 - A2.5	20		DECORATIVE CHIMNEY FLUE
10		SMOOTH LIMESTONE FINISH	21		TEXTURED STONE FINISH
11		8" WIDE LIMESTONE OR STUCCO TRIM	22		6" CONTINUOUS CONCRETE BANDING w/ 2" CHAMFER AT TOP

WINDOW SCHEDULE		REFER TO ELEVATIONS FOR TYPE AND MECHANISM SWING						TOTAL USED FOR WINDOW / WALL RATIO		
TAG #	ROUGH OPENING (INCHES)	FRAME SIZE (INCHES)	GLASS SIZE (INCHES)	GLAZING AREA (SQ.FT.)	OPENING AREA (SQ.FT.)	OPENING FOR WINDOW / WALL RATIO				
W1	10	36	84	35 1/2	83 1/2	31 5/8	79 5/8	17.49	21.00	210.00
W2	27	36	102	35 1/2	101 1/2	31 5/8	97 5/8	21.44	25.50	612.00
W3	1	36	36	35 1/2	35 1/2	31 5/8	31 5/8	6.95	9.00	0.00
W4	4	42	82	41 1/2	81 1/2	37 5/8	77 5/8	20.28	23.92	0.00
W5	6	36	24	35 1/2	23 1/2	31 5/8	19 5/8	4.31	6.00	42.00
W6	3	30	84	29 1/2	83 1/2	25 5/8	79 5/8	14.17	17.50	52.50
W7	4	36	54	35 1/2	53 1/2	31 5/8	49 5/8	10.90	13.50	27.00
W8	3	36	51	35 1/2	50 1/2	31 5/8	46 5/8	10.24	12.75	38.25
W9	7	36	60	35 1/2	59 1/2	31 5/8	55 5/8	12.22	15.00	105.00
W10	8	36	61.5	35 1/2	61	31 5/8	57 1/8	12.55	15.38	123.00

*EXACT WINDOW SIZES & ROUGH OPENINGS ARE TO BE CONFIRMED PRIOR TO FRAMING

EXT. DOOR SCHEDULE		REFER TO ELEVATIONS FOR TYPE AND MECHANISM SWING						TOTAL USED FOR WINDOW / WALL RATIO		
TAG #	ROUGH OPENING (INCHES)	FRAME SIZE (INCHES)	GLASS SIZE (INCHES)	GLAZING AREA (SQ.FT.)	OPENING AREA (SQ.FT.)	OPENING FOR WINDOW / WALL RATIO				
D1	2	42	96	41 1/2	95 1/2	37 5/8	91 5/8	23.94	28.00	0.00
D2	3	108	120				SOLID METAL DOOR	90.00	0.00	0.00
D3	1	36	84				SOLID METAL DOOR	21.00	0.00	0.00
D4	5	144	96	143 1/2	95 1/2	139 5/8	91 5/8	88.84	96.00	480.00
D5	3	36	96	35 1/2	95 1/2	31 5/8	91 5/8	20.12	24.00	72.00
D6	3	36	102	35 1/2	101 1/2	31 5/8	97 5/8	21.44	25.50	76.50
D7	1	30	102	29 1/2	101 1/2	28 5/8	42 5/8	8.47	21.25	21.25

*EXACT DOOR SIZES & ROUGH OPENINGS ARE TO BE CONFIRMED PRIOR TO FRAMING

HVAC CALCULATIONS - WALL / WINDOW RATIO	
TOTAL WALL AREA - FRONT ELEVATION (SQ. FT.)	2307
TOTAL WALL AREA - REAR ELEVATION (SQ. FT.)	2308
TOTAL WALL AREA - LEFT ELEVATION (SQ. FT.)	1440
TOTAL WALL AREA - RIGHT ELEVATION (SQ. FT.)	1378
TOTAL WALL AREA - MISC. ELEVATION (SQ. FT.)	0
TOTAL WALL AREA - ADD ALL ELEVATIONS (SQ. FT.)	7233
TOTAL WINDOW / DOOR OPENING AREA (SQ. FT.)	1859.50
(DEDUCT FRONT DOOR & GARAGE DOORS)	
TOTAL WINDOW / WALL RATIO (%)	25.7%
(TOTAL OPENING AREA) / TOTAL WALL AREA	

CITY ELECTRONIC STAMP:

R. Empire of Design Inc.

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BORN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN INC. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION (REG ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCIN NUMBER AND ORIGINAL SIGNATURE.)
- BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.



REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

DESIGNER'S INFO
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS *[Signature]* 106163
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC 1231899
 FIRM NAME BCIN

STRUCTURAL ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:
AHMADI RESIDENCE
 68 GILMOUR ROAD,
 PUSLINC, ON N0B 2J0

SHEET NAME:
PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

PROJECT NO: 2022-11	START DATE: 29 APR. 2022
DRAWN BY: JONATHAN NETTA	REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO.
A2.1

EXTERIOR FINISH SCHEDULE

*ALL COLOURS TO BE CONFIRMED & APPROVED BY THE HOMEOWNER BEFORE ANY ORDERING OF MATERIALS

CODE	MODEL & MATERIAL NO.	SPEC / DESCRIPTION	CODE	MODEL & MATERIAL NO.	SPEC / DESCRIPTION
1		DECORATIVE ROOF FINIAL	12		2" THICK LIMESTONE OR STUCCO BORDER TO MIMIC WINDOW PROFILE ON SMOOTH LIMESTONE FINISH
2		14" HIGH STUCCO PARAPET (5" HIGH TOP PIECE w/ 1" PROJECTION)	13		LIMESTONE OR STUCCO PROFILED PANEL TO MIMIC WINDOW PROFILE
3		ASPHALT SHINGLES OR SLATE ROOF	14		EXTERIOR LIGHT FIXTURE(S) TYPE 1: TRADITIONAL STYLE
4		8" HIGH MDF FASCIA w/ PRE-FINISH, ALUMINUM GUTTER & SOFFIT	15		EXTERIOR LIGHT FIXTURE(S) TYPE 2: MODERN WALL SCONCE w/ UP & DOWN LIGHTING
5		VALLEY FLASHING	16		EXPOSED CONCRETE FINISH
6		6" PREFINISHED METAL FLASHING	17		WROUGHT IRON GUARDRAILS / HANDRAILS
7		STUCCO OR LIMESTONE PROFILED COVE MOULDING. SEE DETAIL 2 - A2.5	18		STEPPED ARMoured STONE WINDOW WELLS
8		STUCCO OR LIMESTONE PROFILED PILASTER. SEE DETAIL 2 - A2.5	19		STUCCO OR LIMESTONE PROFILED COLUMN & MOLDING. SEE DETAIL 3 - A2.5
9		SMOOTH LIMESTONE ENTRYWAY w/ PROFILED GROOVES & MOLDINGS SEE DETAIL 1 - A2.5	20		DECORATIVE CHIMNEY FLUE
10		SMOOTH LIMESTONE FINISH	21		TEXTURED STONE FINISH
11		8" WIDE LIMESTONE OR STUCCO TRIM	22		6" CONTINUOUS CONCRETE BANDING w/ 2" CHAMFER AT TOP

WINDOW SCHEDULE		REFER TO ELEVATIONS FOR TYPE AND MECHANISM SWING							
TAG #	ROUGH OPENING (INCHES)	FRAME SIZE (INCHES)	GLASS SIZE (INCHES)	GLAZING AREA (SQ.FT.)	OPENING AREA (SQ.FT.)	TOTAL USED FOR WINDOW / WALL RATIO			
	WIDTH	HEIGHT	WIDTH	HEIGHT					
W1	10	36	84	35 1/2	83 1/2	31 5/8	79 5/8	17.49	21.00
W2	27	36	102	35 1/2	101 1/2	31 5/8	97 5/8	21.44	25.50
W3	1	36	36	35 1/2	35 1/2	31 5/8	31 5/8	6.95	9.00
W4	4	42	82	41 1/2	81 1/2	37 5/8	77 5/8	20.28	23.92
W5	8	36	24	35 1/2	23 1/2	31 5/8	19 5/8	4.31	5.00
W6	3	30	84	29 1/2	83 1/2	25 5/8	79 5/8	14.17	17.50
W7	4	36	54	35 1/2	53 1/2	31 5/8	49 5/8	10.90	13.50
W8	3	36	51	35 1/2	50 1/2	31 5/8	46 5/8	10.24	12.75
W9	7	36	60	35 1/2	59 1/2	31 5/8	55 5/8	12.22	15.00
W10	8	36	61.5	35 1/2	61	31 5/8	57 1/8	12.55	15.36
TOTAL WINDOW / DOOR OPENING AREA (SQ. FT)							1859.50		
TOTAL WINDOW / WALL RATIO (%)							25.7%		
(TOTAL OPENING AREA / TOTAL WALL AREA)									

EXT. DOOR SCHEDULE		REFER TO ELEVATIONS FOR TYPE AND MECHANISM SWING							
TAG #	ROUGH OPENING (INCHES)	FRAME SIZE (INCHES)	GLASS SIZE (INCHES)	GLAZING AREA (SQ.FT.)	OPENING AREA (SQ.FT.)	TOTAL USED FOR WINDOW / WALL RATIO			
	WIDTH	HEIGHT	WIDTH	HEIGHT					
D1	2	42	96	41 1/2	95 1/2	37 5/8	91 5/8	23.94	28.00
D2	3	108	120			SOLID METAL DOOR		90.00	0.00
D3	1	36	84			SOLID METAL DOOR		21.00	0.00
D4	5	144	96	143 1/2	95 1/2	139 5/8	91 5/8	88.84	96.00
D5	3	36	96	35 1/2	95 1/2	31 5/8	91 5/8	20.12	24.00
D6	3	36	102	35 1/2	101 1/2	31 5/8	97 5/8	21.44	25.50
D7	1	30	102	29 1/2	101 1/2	28 5/8	42 5/8	8.47	21.25
TOTAL WALL AREA - FRONT ELEVATION (SQ. FT.)							2207		
TOTAL WALL AREA - REAR ELEVATION (SQ. FT.)							2308		
TOTAL WALL AREA - LEFT ELEVATION (SQ. FT.)							1440		
TOTAL WALL AREA - RIGHT ELEVATION (SQ. FT.)							1378		
TOTAL WALL AREA - MISC. ELEVATION (SQ. FT.)							0		
TOTAL WALL AREA - ADD ALL ELEVATIONS (SQ. FT)							7223		
TOTAL WINDOW / DOOR OPENING AREA (SQ. FT)							1859.50		
TOTAL WINDOW / WALL RATIO (%)							25.7%		
(TOTAL OPENING AREA / TOTAL WALL AREA)									

CITY ELECTRONIC STAMP:

GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
 2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BORN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHIELD PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 5. USE LATEST REVISED DRAWINGS.
 6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJES EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION. RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BORN NUMBER AND ORIGINAL SIGNATURE.
 8. BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.



DESIGNER'S INFO
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS	SIGNATURE	106163
		BCIN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJES EMPIRE OF DESIGN INC	1234569
FIRM NAME	BCIN

STRUCTURAL ENGINEER'S STAMP:

LICENSED PROFESSIONAL ENGINEER
 AFSHIN SUZANKAR
 100061559
 AUG 9, 2022
 PROVINCE OF ONTARIO

PROJECT NAME / ADDRESS:
AHMADI RESIDENCE
 68 GILMOUR ROAD, PUSLINC, ON N0B 2J0

SHEET NAME:
PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

PROJECT NO: 2022-11	START DATE: 29 APR 2022
DRAWN BY: JONATHAN NETTA	REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO.

A2.2

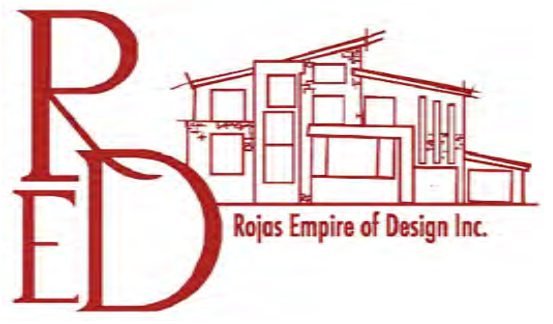
EXTERIOR FINISH SCHEDULE

*ALL COLOURS TO BE CONFIRMED & APPROVED BY THE HOMEOWNER BEFORE ANY ORDERING OF MATERIALS

CODE	MODEL & MATERIAL NO.	SPEC / DESCRIPTION	CODE	MODEL & MATERIAL NO.	SPEC / DESCRIPTION
1	DECORATIVE ROOF FINIAL	TO BE SELECTED BY HOMEOWNER	12	2" THICK LIMESTONE OR STUCCO BORDER TO CREATE PROFILING ON SMOOTH LIMESTONE FINISH	TO BE SELECTED BY HOMEOWNER
2	14" HIGH STUCCO PARAPET (5" HIGH TOP PIECE w/ 1" PROJECTION)	TO BE SELECTED BY HOMEOWNER	13	LIMESTONE OR STUCCO PROFILED PANEL TO MIMIC WINDOW PROFILE	TO BE SELECTED BY HOMEOWNER
3	ASPHALT SHINGLES OR SLATE ROOF	TO BE SELECTED BY HOMEOWNER	14	EXTERIOR LIGHT FIXTURE(S) TYPE 1: TRADITIONAL STYLE	TO BE SELECTED BY HOMEOWNER
4	8" HIGH MDF FASCIA w/ PRE-FINISH ALUMINUM GUTTER & SOFFIT	PREFINISHED ALUMINUM	15	EXTERIOR LIGHT FIXTURE(S) TYPE 2: MODERN WALL SCONCE w/ UP & DOWN LIGHTING	TO BE SELECTED BY HOMEOWNER
5	VALLEY FLASHING	PREFINISHED ALUMINUM	16	EXPOSED CONCRETE FINISH	EXPOSED CONCRETE FINISH
6	6" PREFINISHED METAL FLASHING	PREFINISHED ALUMINUM	17	WROUGHT IRON GUARDRAILS / HANDRAILS	AS PER MANUFACTURER SHOP DRAWINGS
7	STUCCO OR LIMESTONE PROFILED COVE MOULDING. SEE DETAIL 2 - A2.5	TO BE SELECTED BY HOMEOWNER	18	STEPPED ARMoured STONE WINDOW WELLS	TO BE SELECTED BY HOMEOWNER
8	STUCCO OR LIMESTONE PROFILED PILASTER. SEE DETAIL 2 - A2.5	TO BE SELECTED BY HOMEOWNER	19	STUCCO OR LIMESTONE PROFILED COLUMN & MOLDING. SEE DETAIL 3 - A2.5	TO BE SELECTED BY HOMEOWNER
9	SMOOTH LIMESTONE ENTRYWAY w/ PROFILED GROOVES & MOLDINGS SEE DETAIL 1 - A2.5	TO BE SELECTED BY HOMEOWNER	20	DECORATIVE CHIMNEY FLUE	EXPOSED CONCRETE FINISH
10	SMOOTH LIMESTONE FINISH	TO BE SELECTED BY HOMEOWNER	21	TEXTURED STONE FINISH	TO BE SELECTED BY HOMEOWNER
11	8" WIDE LIMESTONE OR STUCCO TRIM	TO BE SELECTED BY HOMEOWNER	22	6" CONTINUOUS CONCRETE BANDING w/ 2" CHAMFER AT TOP	TO BE SELECTED BY HOMEOWNER

WINDOW SCHEDULE		REFER TO ELEVATIONS FOR TYPE AND MECHANISM SWING						TOTAL USED FOR WINDOW / WALL RATIO	
TAG #	ROUGH OPENING (INCHES)	FRAME SIZE (INCHES)	GLASS SIZE (INCHES)	GLAZING AREA (SQ.FT.)	OPENING AREA (SQ.FT.)	OPENING / WALL RATIO			
	WIDTH	HEIGHT	WIDTH	HEIGHT	WIDTH	HEIGHT			
W1	10	36	84	35 1/2	83 1/2	31 5/8	79 5/8	17.49	21.00
W2	27	36	102	35 1/2	101 1/2	31 5/8	97 5/8	21.44	25.50
W3	1	36	36	35 1/2	35 1/2	31 5/8	31 5/8	6.95	9.00
W4	4	42	82	41 1/2	81 1/2	37 5/8	77 5/8	20.28	23.92
W5	8	36	24	35 1/2	23 1/2	31 5/8	19 5/8	4.31	6.00
W6	3	30	84	29 1/2	83 1/2	25 5/8	79 5/8	14.17	17.50
W7	4	36	54	35 1/2	53 1/2	31 5/8	49 5/8	10.90	13.50
W8	3	36	51	35 1/2	50 1/2	31 5/8	46 5/8	10.24	12.75
W9	7	36	60	35 1/2	59 1/2	31 5/8	55 5/8	12.22	15.00
W10	8	36	61.5	35 1/2	61	31 5/8	57 1/8	12.55	15.36
*EXACT WINDOW SIZES & ROUGH OPENINGS ARE TO BE CONFIRMED PRIOR TO FRAMING									
EXT. DOOR SCHEDULE		REFER TO ELEVATIONS FOR TYPE AND MECHANISM SWING						TOTAL USED FOR WINDOW / WALL RATIO	
TAG #	ROUGH OPENING (INCHES)	FRAME SIZE (INCHES)	GLASS SIZE (INCHES)	GLAZING AREA (SQ.FT.)	OPENING AREA (SQ.FT.)	OPENING / WALL RATIO			
	WIDTH	HEIGHT	WIDTH	HEIGHT	WIDTH	HEIGHT			
D1	2	42	96	41 1/2	95 1/2	37 5/8	91 5/8	23.94	28.00
D2	3	108	120				SOLID METAL DOOR	90.00	0.00
D3	1	36	84				SOLID METAL DOOR	21.00	0.00
D4	5	144	96	143 1/2	95 1/2	139 5/8	91 5/8	88.84	96.00
D5	3	36	96	35 1/2	95 1/2	31 5/8	91 5/8	20.12	24.00
D6	3	36	102	35 1/2	101 1/2	31 5/8	97 5/8	21.44	25.50
D7	1	30	102	29 1/2	101 1/2	28 5/8	42 5/8	8.47	21.25
*EXACT DOOR SIZES & ROUGH OPENINGS ARE TO BE CONFIRMED PRIOR TO FRAMING									
HVAC CALCULATIONS - WALL / WINDOW RATIO									
TOTAL WALL AREA - FRONT ELEVATION (SQ. FT.)				2297					
TOTAL WALL AREA - REAR ELEVATION (SQ. FT.)				2308					
TOTAL WALL AREA - LEFT ELEVATION (SQ. FT.)				1440					
TOTAL WALL AREA - RIGHT ELEVATION (SQ. FT.)				1378					
TOTAL WALL AREA - MISC. ELEVATION (SQ. FT.)				0					
TOTAL WALL AREA - ADD ALL ELEVATIONS (SQ. FT.)				7223					
TOTAL WINDOW / DOOR OPENING AREA (SQ. FT.)				1859.50					
TOTAL WINDOW / WALL RATIO (%)				25.7%					
(TOTAL OPENING AREA) / (TOTAL WALL AREA)									

CITY ELECTRONIC STAMP:



RED
Rojes Empire of Design Inc.

- GENERAL NOTES:
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BORN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJES EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION. RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BORN NUMBER AND ORIGINAL SIGNATURE.
 - BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

DESIGNER'S INFO
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

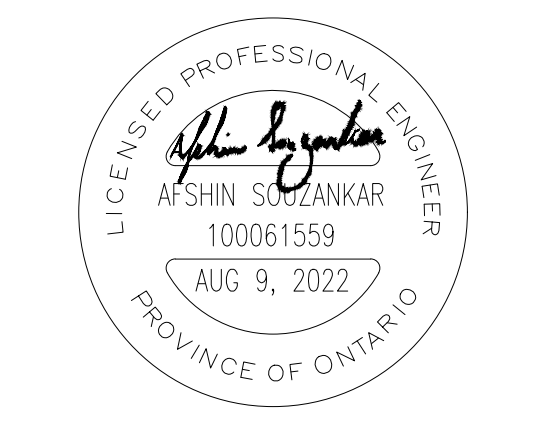
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS *[Signature]* 106163
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC 1231689
FIRM NAME BCIN

STRUCTURAL ENGINEER'S STAMP:



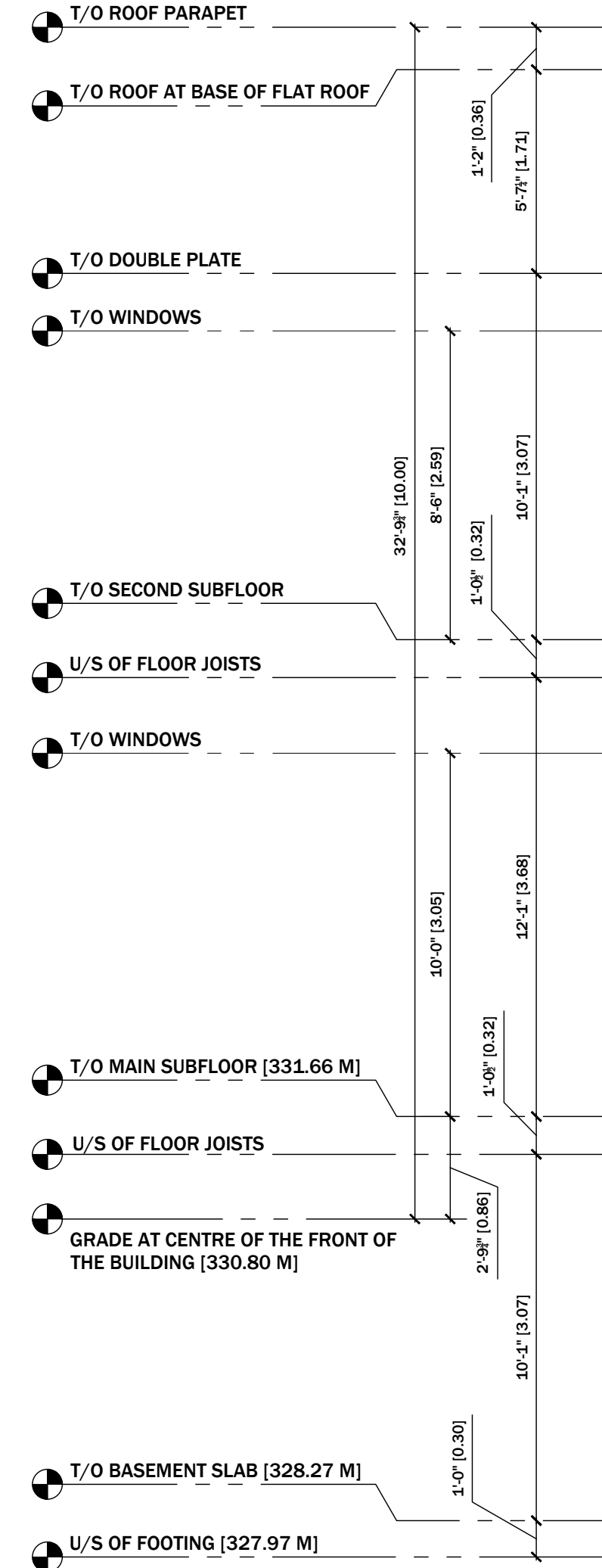
PROJECT NAME/ADDRESS:
AHMADI RESIDENCE
68 GILMOUR ROAD,
PUSLINC, ON N0B 2J0

SHEET NAME:
PROPOSED LEFT ELEVATION

PROJECT NO. 2022-11 START DATE: 29 APR. 2022

DRAWN BY: JONATHAN NETTA REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO. **A2.3**



EXTERIOR FINISH SCHEDULE

*ALL COLOURS TO BE CONFIRMED & APPROVED BY THE HOMEOWNER BEFORE ANY ORDERING OF MATERIALS

CODE	MODEL & MATERIAL NO.	SPEC / DESCRIPTION	CODE	MODEL & MATERIAL NO.	SPEC / DESCRIPTION
1	DECORATIVE ROOF FINIAL	TO BE SELECTED BY HOMEOWNER	12	2" THICK LIMESTONE OR STUCCO BORDER TO CREATE PROFILING ON SMOOTH LIMESTONE FINISH	TO BE SELECTED BY HOMEOWNER
2	14" HIGH STUCCO PARAPET (5" HIGH TOP PIECE w/ 1" PROJECTION)	TO BE SELECTED BY HOMEOWNER	13	LIMESTONE OR STUCCO PROFILED PANEL TO MIMIC WINDOW PROFILE	TO BE SELECTED BY HOMEOWNER
3	ASPHALT SHINGLES OR SLATE ROOF	TO BE SELECTED BY HOMEOWNER	14	EXTERIOR LIGHT FIXTURE(S) TYPE 1: TRADITIONAL STYLE	TO BE SELECTED BY HOMEOWNER
4	8" HIGH MDF FASCIA w/ PRE-FINISH. ALUMINUM GUTTER & SOFFIT	PREFINISHED ALUMINUM	15	EXTERIOR LIGHT FIXTURE(S) TYPE 2: MODERN WALL SCONCE w/ UP & DOWN LIGHTING	TO BE SELECTED BY HOMEOWNER
5	VALLEY FLASHING	PREFINISHED ALUMINUM	16	EXPOSED CONCRETE FINISH	EXPOSED CONCRETE FINISH
6	6" PREFINISHED METAL FLASHING	PREFINISHED ALUMINUM	17	WROUGHT IRON GUARDRAILS / HANDRAILS	AS PER MANUFACTURER SHOP DRAWINGS TYPE TO BE SELECTED BY HOMEOWNER
7	STUCCO OR LIMESTONE PROFILED COVE MOULDING. SEE DETAIL 2 - A2.5	TO BE SELECTED BY HOMEOWNER	18	STEPPED ARMoured STONE WINDOW WELLS	TO BE SELECTED BY HOMEOWNER
8	STUCCO OR LIMESTONE PROFILED PILASTER. SEE DETAIL 2 - A2.5	TO BE SELECTED BY HOMEOWNER	19	STUCCO OR LIMESTONE PROFILED COLUMN & MOLDING. SEE DETAIL 3 - A2.5	TO BE SELECTED BY HOMEOWNER
9	SMOOTH LIMESTONE ENTRYWAY w/ PROFILED GROOVES & MOLDINGS SEE DETAIL 1 - A2.5	TO BE SELECTED BY HOMEOWNER	20	DECORATIVE CHIMNEY FLUE	EXPOSED CONCRETE FINISH
10	SMOOTH LIMESTONE FINISH	TO BE SELECTED BY HOMEOWNER	21	TEXTURED STONE FINISH	TO BE SELECTED BY HOMEOWNER
11	8" WIDE LIMESTONE OR STUCCO TRIM	TO BE SELECTED BY HOMEOWNER	22	6" CONTINUOUS CONCRETE BANDING w/ 2" CHAMFER AT TOP	TO BE SELECTED BY HOMEOWNER

CITY ELECTRONIC STAMP:

- GENERAL NOTES:
1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
 2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BCN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 5. USE LATEST REVISED DRAWINGS.
 6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCN NUMBER AND ORIGINAL SIGNATURE.)
 8. BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

DESIGNER'S INFO
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS *[Signature]* 106163
 NAME SIGNATURE BCN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC 1231889
 FIRM NAME BCN

STRUCTURAL ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
AHMADI RESIDENCE
 68 GILMOUR ROAD,
 PUSLINCH, ON N0B 2J0

SHEET NAME:
PROPOSED RIGHT ELEVATION

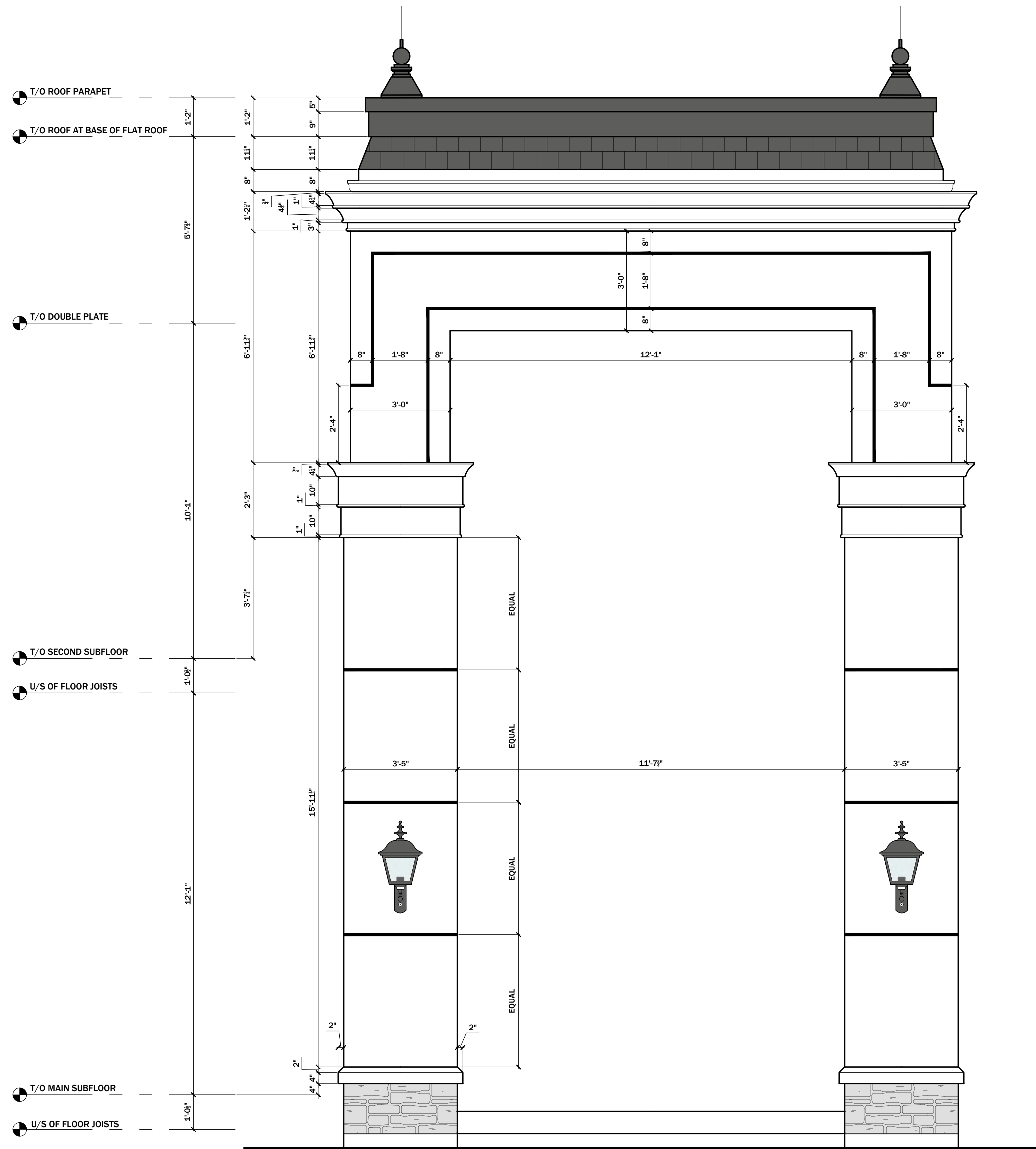
SCALE: 1/4" = 1'-0"

PROJECT NO. 2022-11	START DATE: 29 APR 2022
DRAWN BY: JONATHAN NETTA	REVIEWED BY: HENRY M SILVA ROJAS

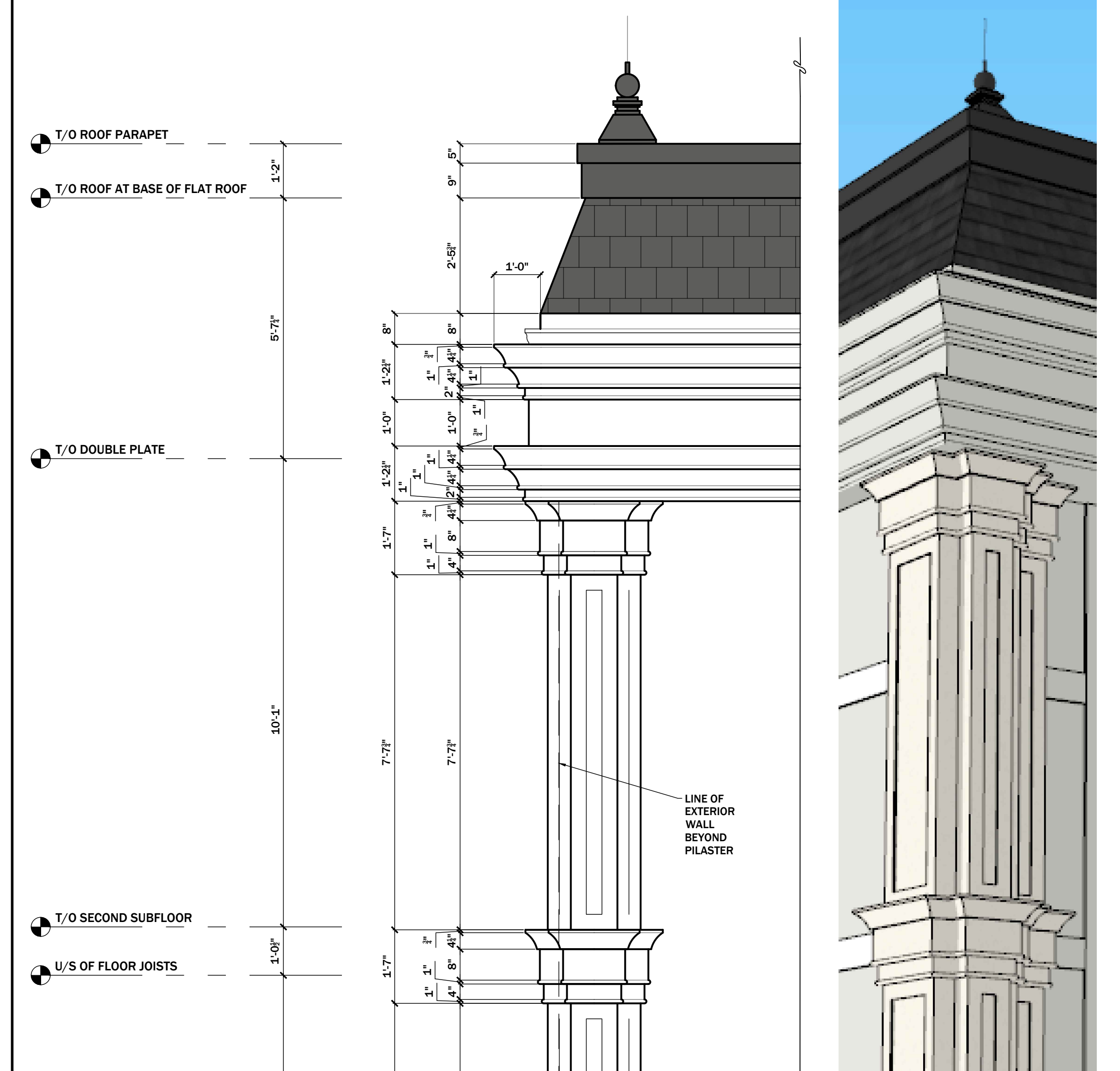
SHEET NO.
A2.4

- T/O ROOF PARAPET
- T/O ROOF AT BASE OF FLAT ROOF
- T/O DOUBLE PLATE
- T/O WINDOWS
- T/O SECOND SUBFLOOR
- U/S OF FLOOR JOISTS
- T/O WINDOWS
- T/O MAIN SUBFLOOR [331.66 M]
- U/S OF FLOOR JOISTS
- GRADE AT CENTRE OF THE FRONT OF THE BUILDING [330.80 M]
- T/O BASEMENT SLAB [328.27 M]
- U/S OF FOOTING [327.97 M]

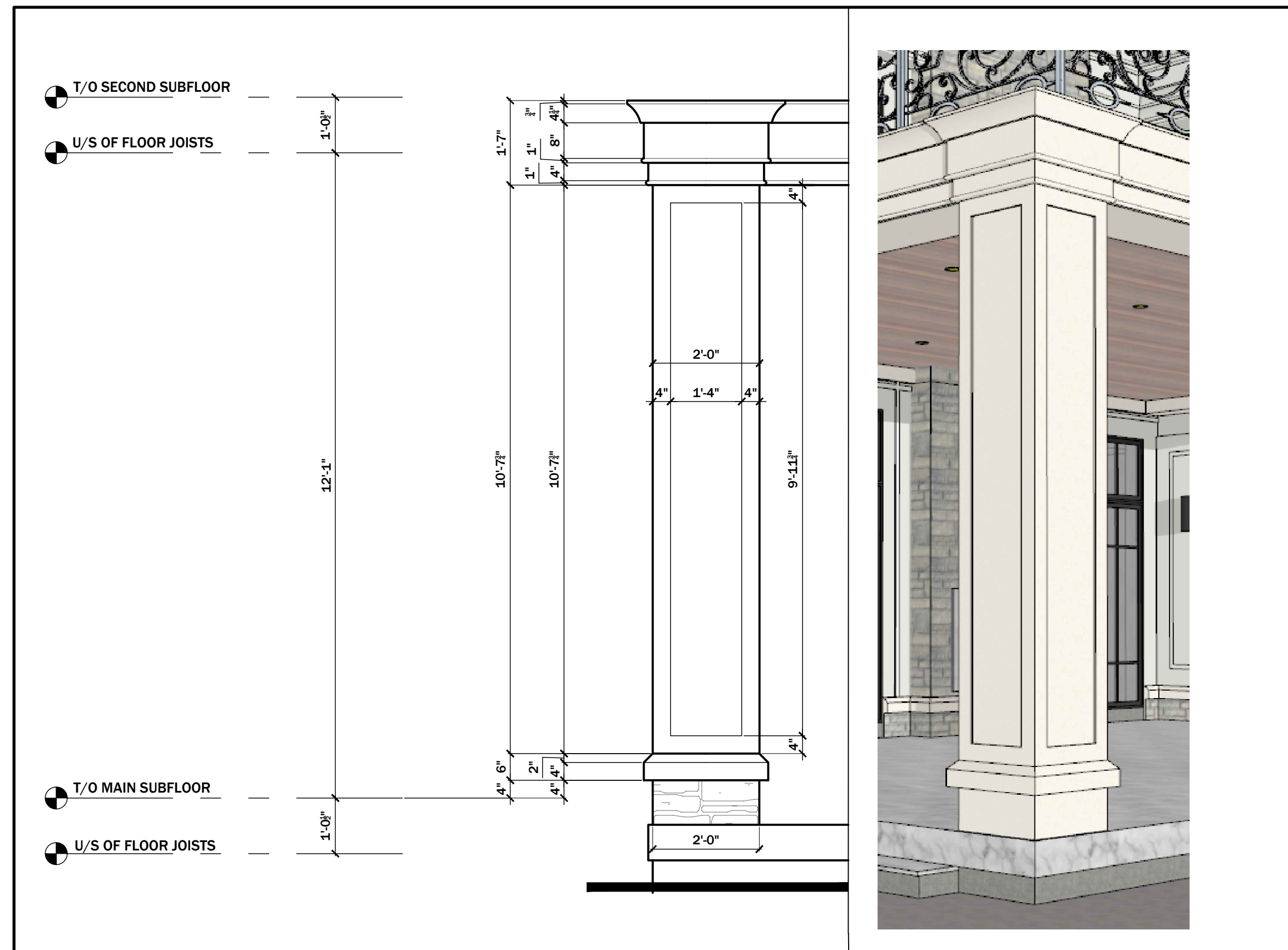




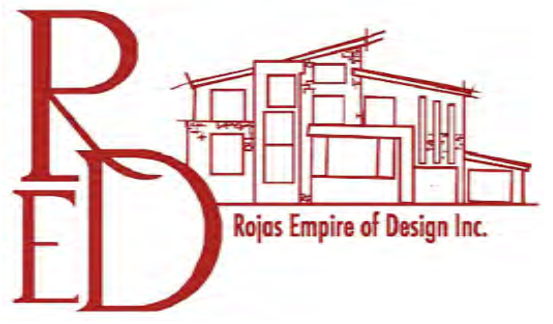
1 FRONT ENTRANCE PORCH ELEVATION DETAILS
A2.5 1/2" = 1'-0"



2 TYPICAL CORNER PILASTER ELEVATION DETAILS
A2.5 1/2" = 1'-0"



3 TYPICAL REAR PORCH COLUMN ELEVATION DETAIL
A2.5 1/2" = 1'-0"



- GENERAL NOTES:
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BCN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN INC. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT WRITTEN PERMISSION. REJ ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCN NUMBER AND ORIGINAL SIGNATURE(S).
 - BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

DESIGNER'S INFO
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

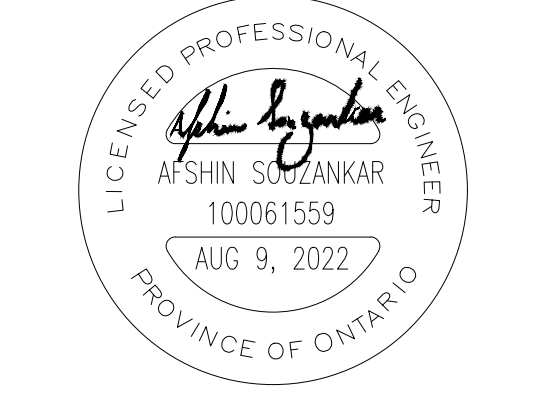
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS 106163
NAME SIGNATURE BCN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC 1231689
FIRM NAME BCN

STRUCTURAL ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:
AHMADI RESIDENCE
68 GILMOUR ROAD,
PUSLINC, ON N0B 2J0

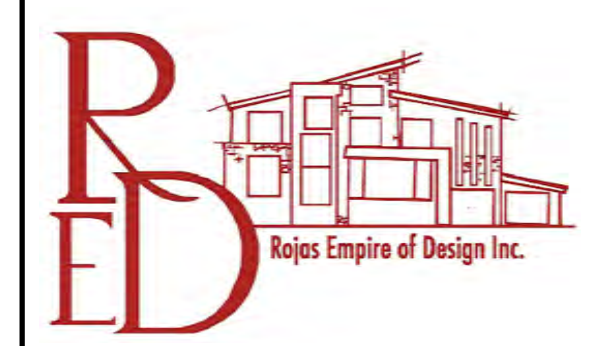
SHEET NAME:
PROPOSED ELEVATION DETAILS

SCALE: AS NOTED

PROJECT NO. 2022-11 START DATE: 29 APR 2022
DRAWN BY: JONATHAN NETTA REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO.

A2.5



- GENERAL NOTES:
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
 - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BORN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJES EMPIRE OF DESIGN INC. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BORN NUMBER AND ORIGINAL SIGNATURE).
 - BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

DESIGNER'S INFO
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS *[Signature]* 106163
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJES EMPIRE OF DESIGN INC 12345678
 FIRM NAME BCIN

STRUCTURAL ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:
AHMADI RESIDENCE
 68 GILMOUR ROAD,
 PUSLINC, ON N0B 2J0

SHEET NAME:
PROPOSED BUILDING SECTION 1

SCALE: 1/4" = 1'-0"

PROJECT NO. 2022-11 START DATE: 29 APR 2022

DRAWN BY: JONATHAN NETTA REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO.

A3.1



GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJES EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCIN NUMBER AND ORIGINAL SIGNATURE.)
- BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

DESIGNER'S INFO
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS *[Signature]* 106163
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJES EMPIRE OF DESIGN INC 1231689
FIRM NAME BCIN

STRUCTURAL ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
AHMADI RESIDENCE
68 GILMOUR ROAD,
PUSLINC, ON N0B 2J0

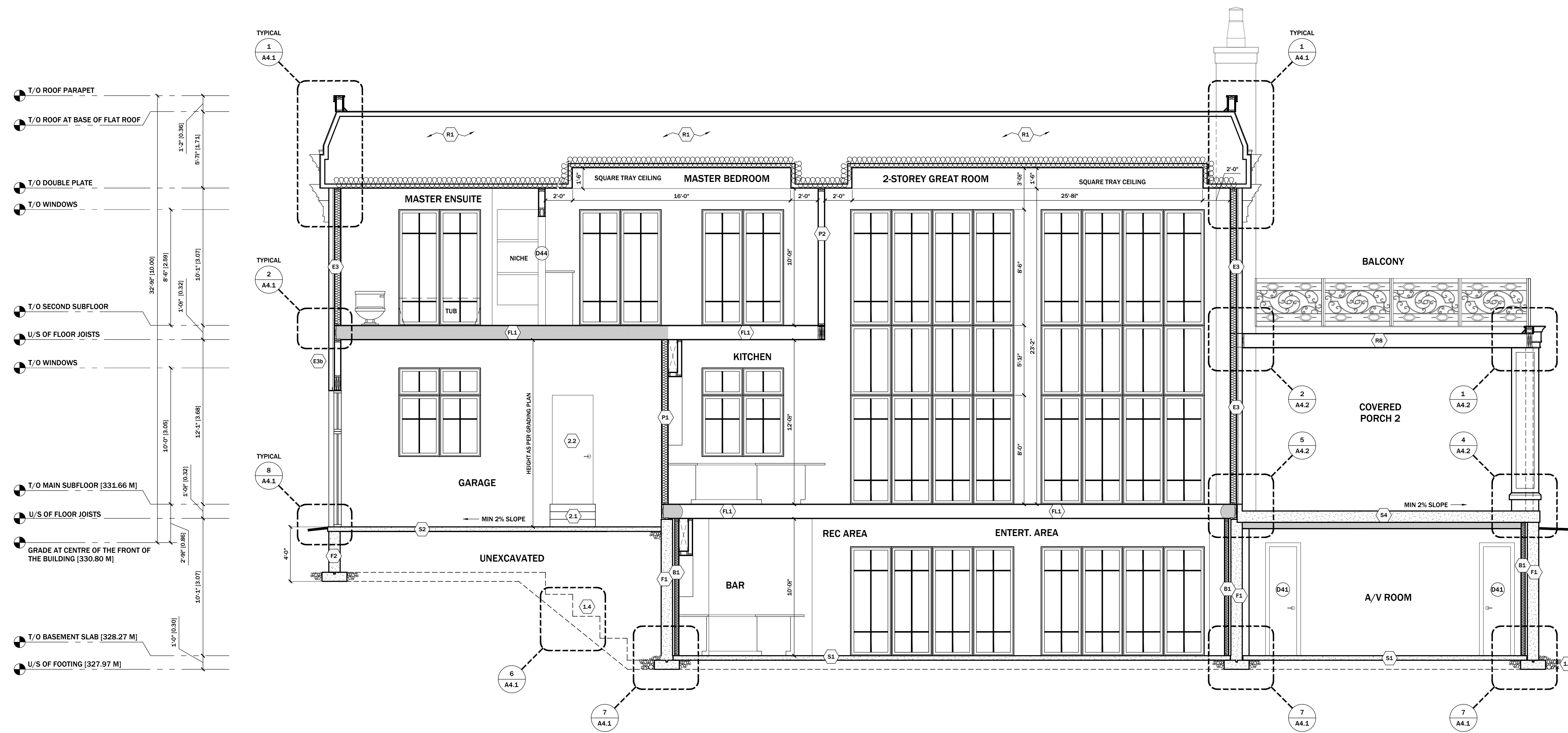
SHEET NAME:
PROPOSED BUILDING SECTION 2

SCALE: 1/4" = 1'-0"

PROJECT NO. 2022-11 START DATE: 29 APR 2022

DRAWN BY: JONATHAN NETTA REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO.
A3.2



GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BCN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJES EMPIRE OF DESIGN (RED). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCN NUMBER AND ORIGINAL SIGNATURE.)
- BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

DESIGNER'S INFO
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS *[Signature]* 106563
 NAME SIGNATURE BCN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC 123589
 FIRM NAME BCN

STRUCTURAL ENGINEER'S STAMP:



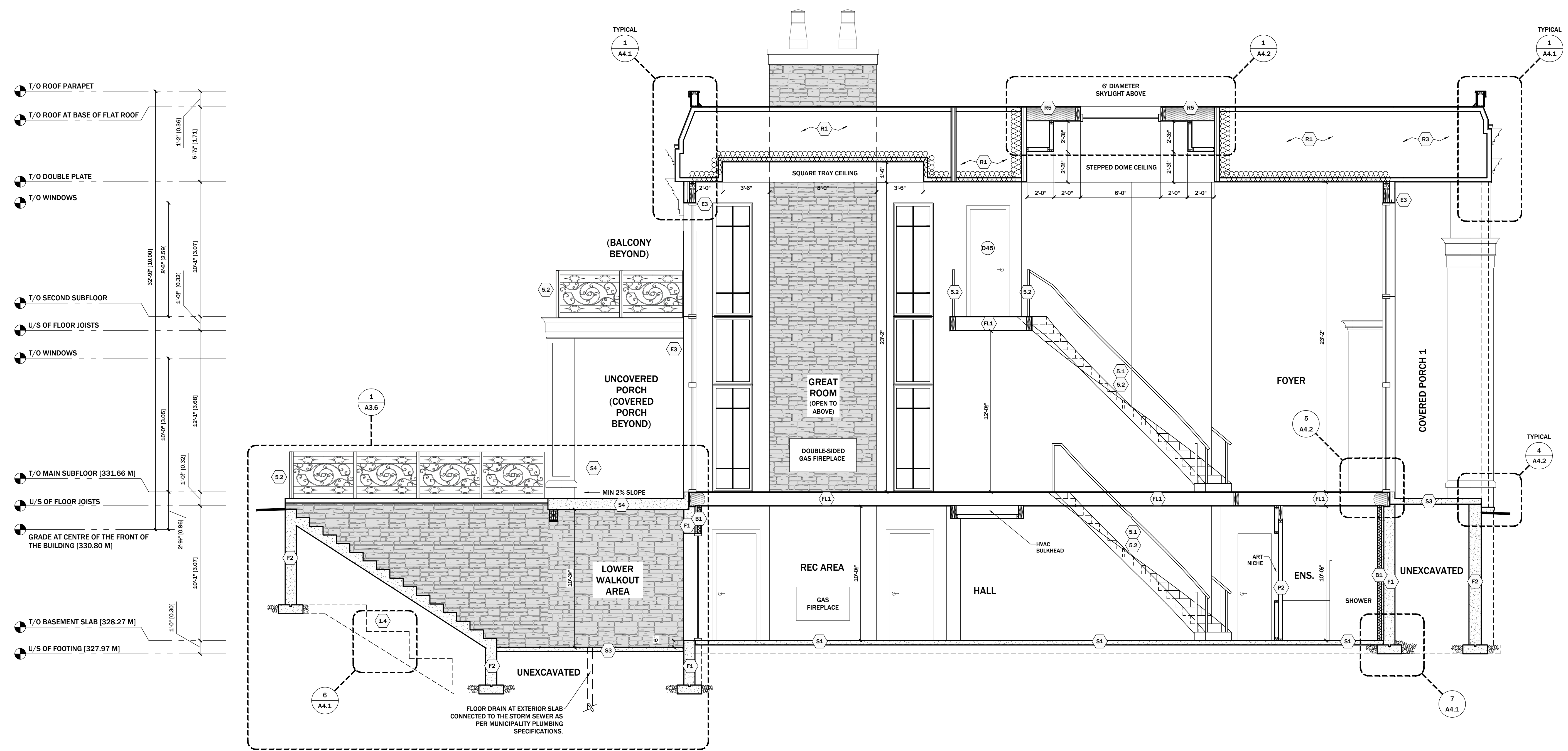
PROJECT NAME/ADDRESS:
AHMADI RESIDENCE
 68 GILMOUR ROAD,
 PUSLINC, ON N0B 2J0

SHEET NAME:
PROPOSED BUILDING SECTION 3

SCALE: 1/4" = 1'-0"

PROJECT NO. 2022-11	START DATE 29 APR 2022
DRAWN BY: JONATHAN NETTA	REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO.
A3.3



T/O ROOF PARAPET
 T/O ROOF AT BASE OF FLAT ROOF
 T/O DOUBLE PLATE
 T/O WINDOWS
 T/O SECOND SUBFLOOR
 U/S OF FLOOR JOISTS
 T/O WINDOWS
 T/O MAIN SUBFLOOR [331.66 M]
 U/S OF FLOOR JOISTS
 GRADE AT CENTRE OF THE FRONT OF THE BUILDING [330.80 M]
 T/O BASEMENT SLAB [328.27 M]
 U/S OF FOOTING [327.97 M]

FLOOR DRAIN AT EXTERIOR SLAB CONNECTED TO THE STORM SEWER AS PER MUNICIPALITY PLUMBING SPECIFICATIONS.

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BCN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN (REID). REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT REID'S WRITTEN PERMISSION (REID ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCN NUMBER AND ORIGINAL SIGNATURE.)
- BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

DESIGNER'S INFO
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS *[Signature]* 1065163
 NAME SIGNATURE BCN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC 1231689
 FIRM NAME BCN

STRUCTURAL ENGINEER'S STAMP:

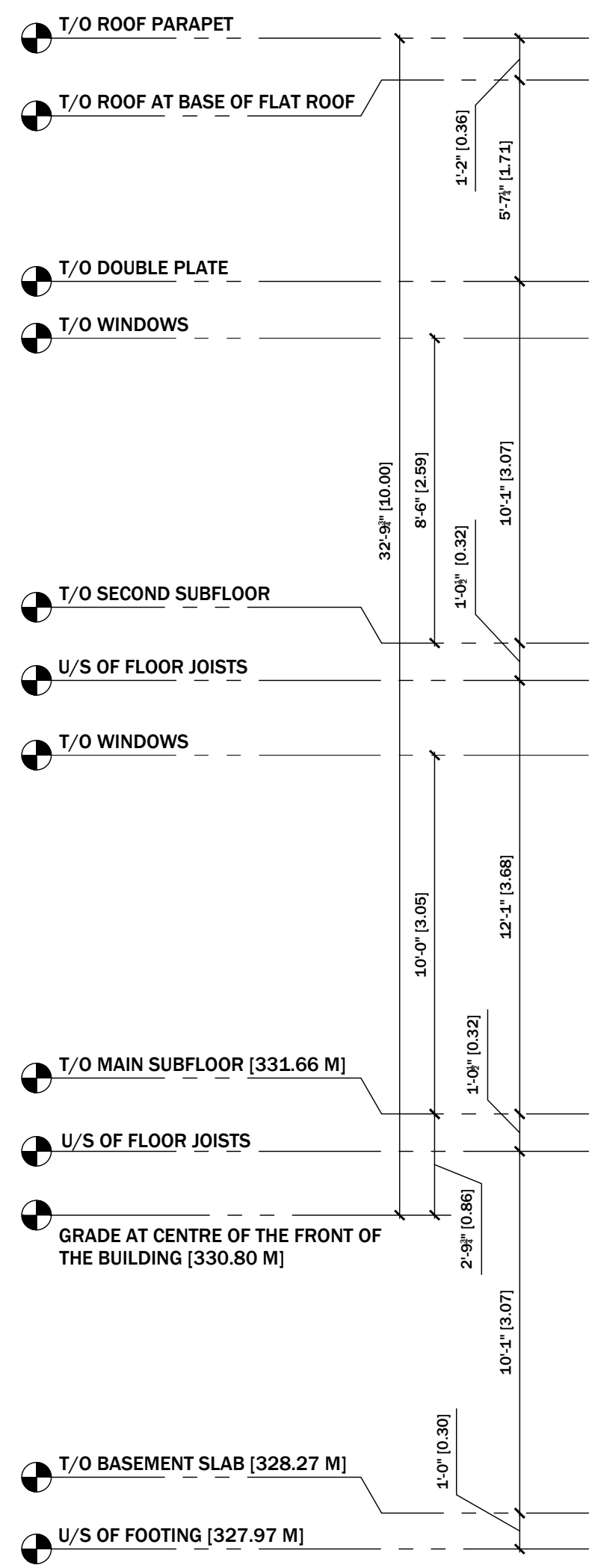
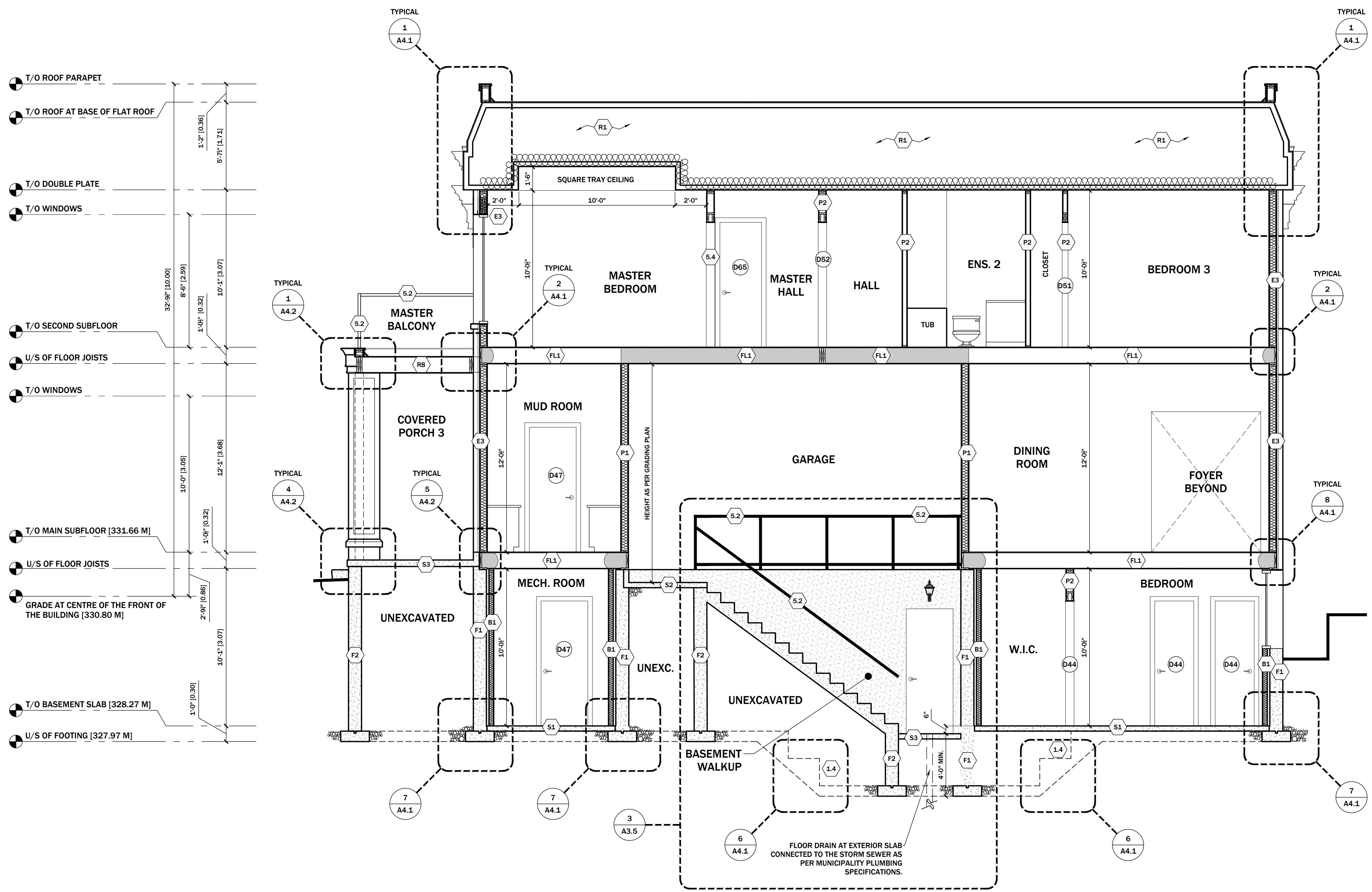
PROJECT NAME/ADDRESS:
AHMADI RESIDENCE
 68 GILMOUR ROAD,
 PUSLINC, ON N0B 2J0

SHEET NAME:
PROPOSED BUILDING SECTION 4

SCALE: 1/4" = 1'-0"

PROJECT NO. 2022-11	START DATE: 29 APR 2022
DRAWN BY: JONATHAN NETTA	REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO.
A3.4



FLOOR DRAIN AT EXTERIOR SLAB CONNECTED TO THE STORM SEWER AS PER MUNICIPALITY PLUMBING SPECIFICATIONS.

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BCN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN INC. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT ROJAS EMPIRE OF DESIGN INC.'S WRITTEN PERMISSION (ROJAS ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCN NUMBER AND ORIGINAL SIGNATURE.)
- BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

DESIGNER'S INFO
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS *[Signature]* 106163
NAME SIGNATURE BCN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC 121689
FIRM NAME BCN

STRUCTURAL ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
AHMADI RESIDENCE
68 GILMOUR ROAD,
PUSLINC, ON N0B 2J0

SHEET NAME:
PROPOSED BASEMENT WALKUP DETAILS

SCALE: 1/2" = 1'-0"

PROJECT NO. 2022-11 START DATE: 29 APR 2022

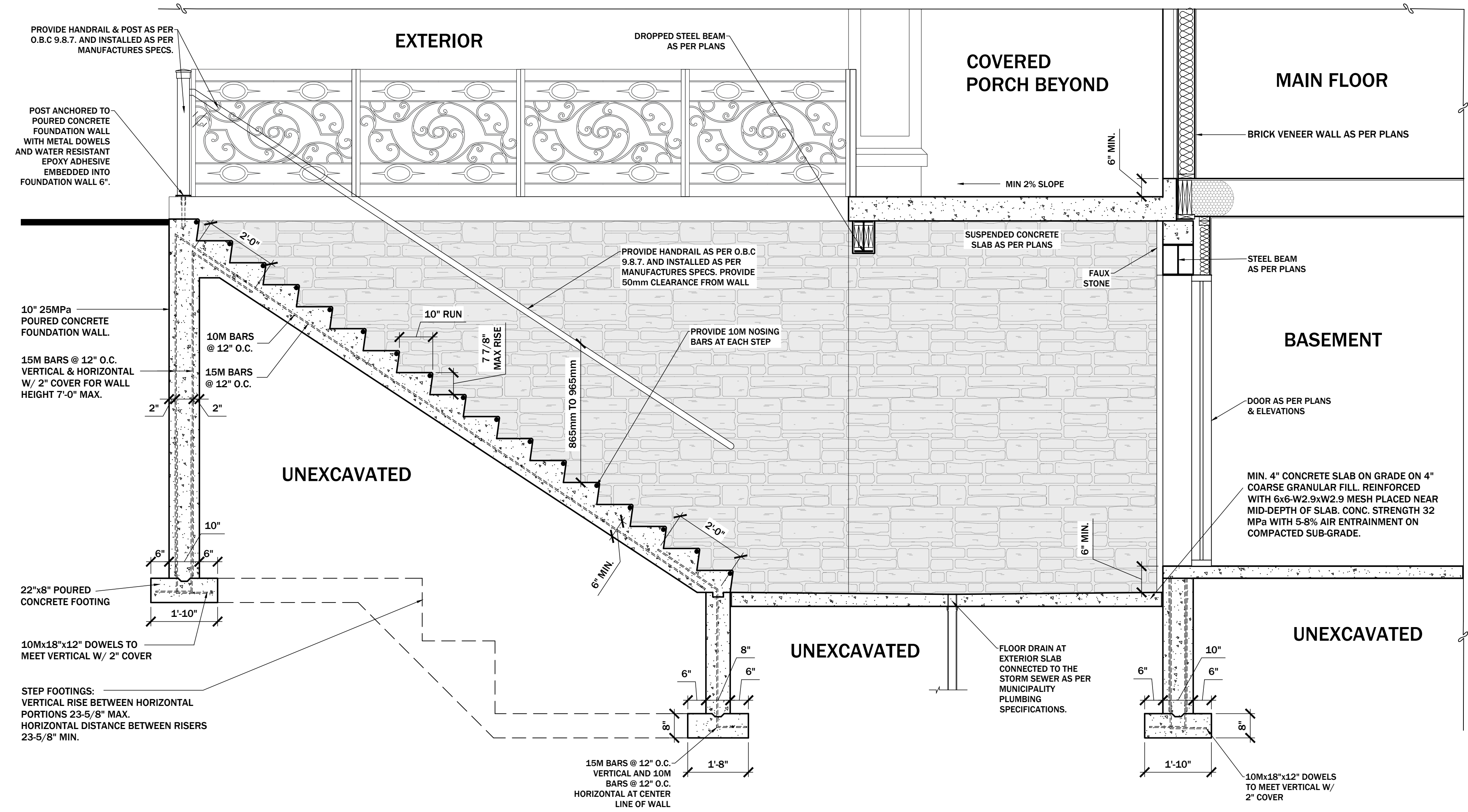
DRAWN BY: JONATHAN NETTA REVIEWED BY: HENRY M SILVA ROJAS

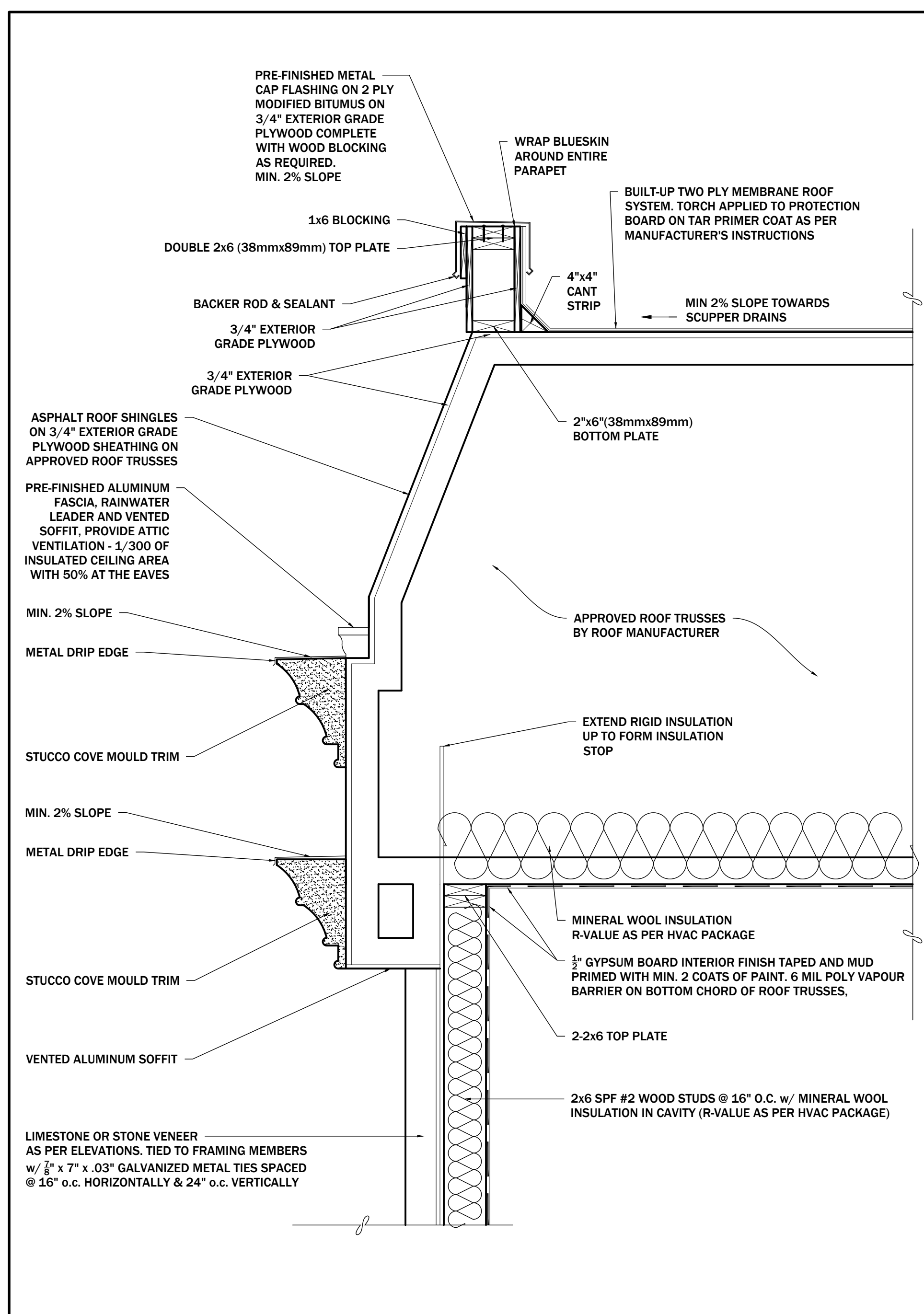
SHEET NO.

NOTE: POURED CONC. FOOTING ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL WITH A MIN. BEARING CAPACITY OF 75 kPa.

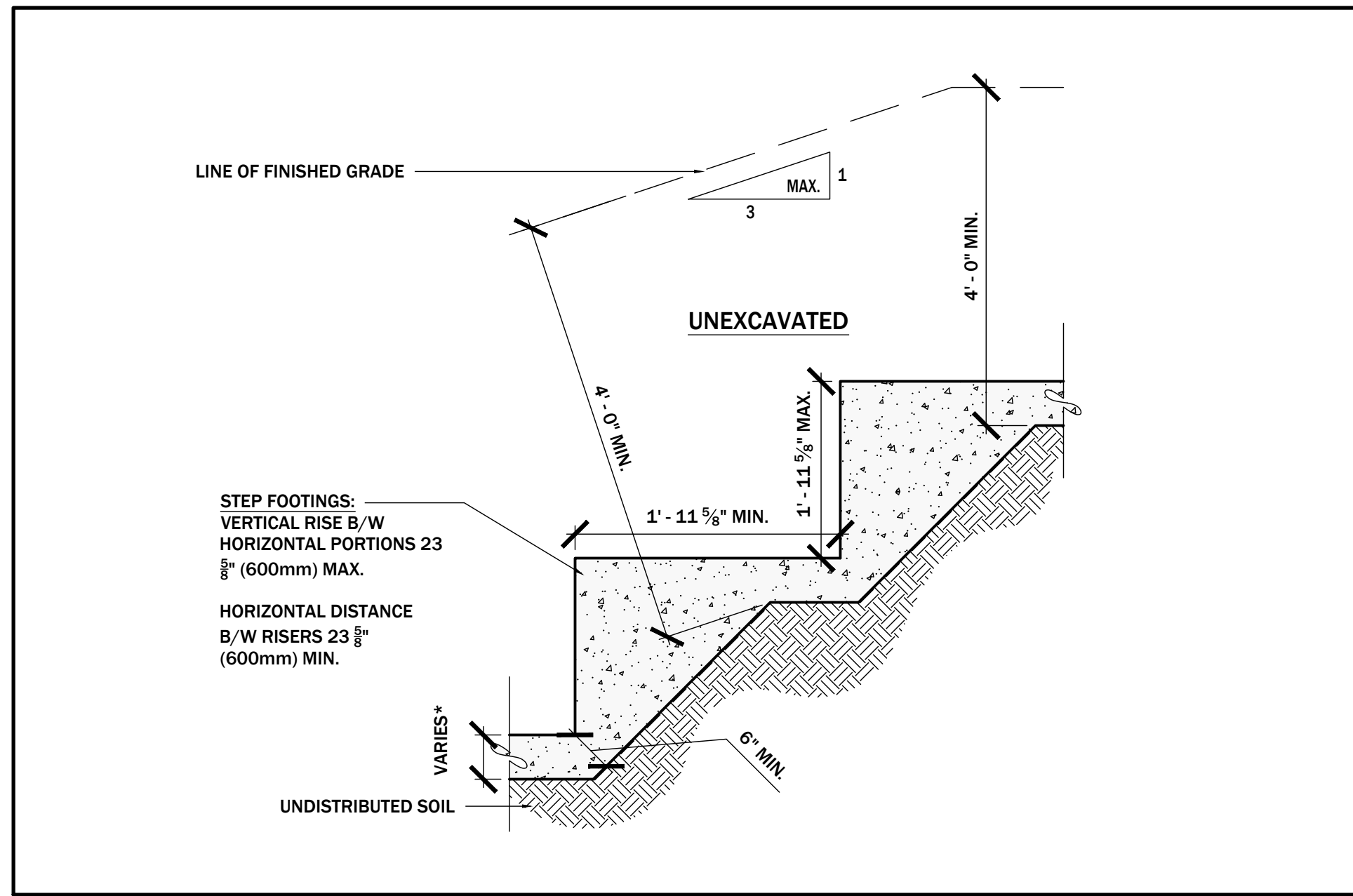
NOTE: SEE FLOOR PLAN FOR ACCURATE QUANTITY OF RISERS REQUIRED. EXISTING SITE CONDITIONS TO BE REVIEWED TO ENSURE EACH RISER HAS A MAXIMUM RISE OF 7 7/8" AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.

NOTE: EXISTING SITE CONDITIONS TO BE REVIEWED TO ENSURE EACH RISER HAS A MAXIMUM RISE OF 7 7/8" AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.

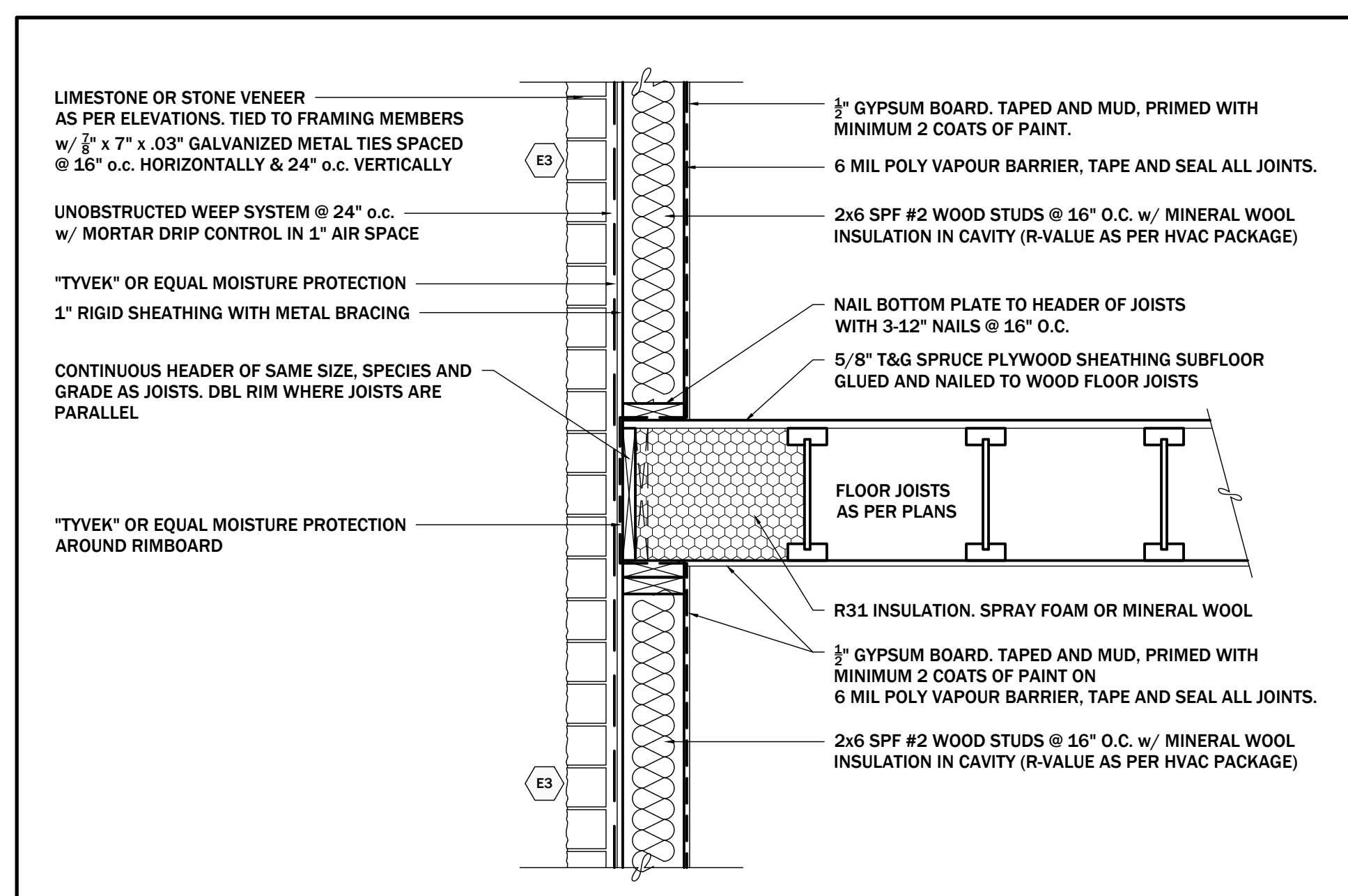




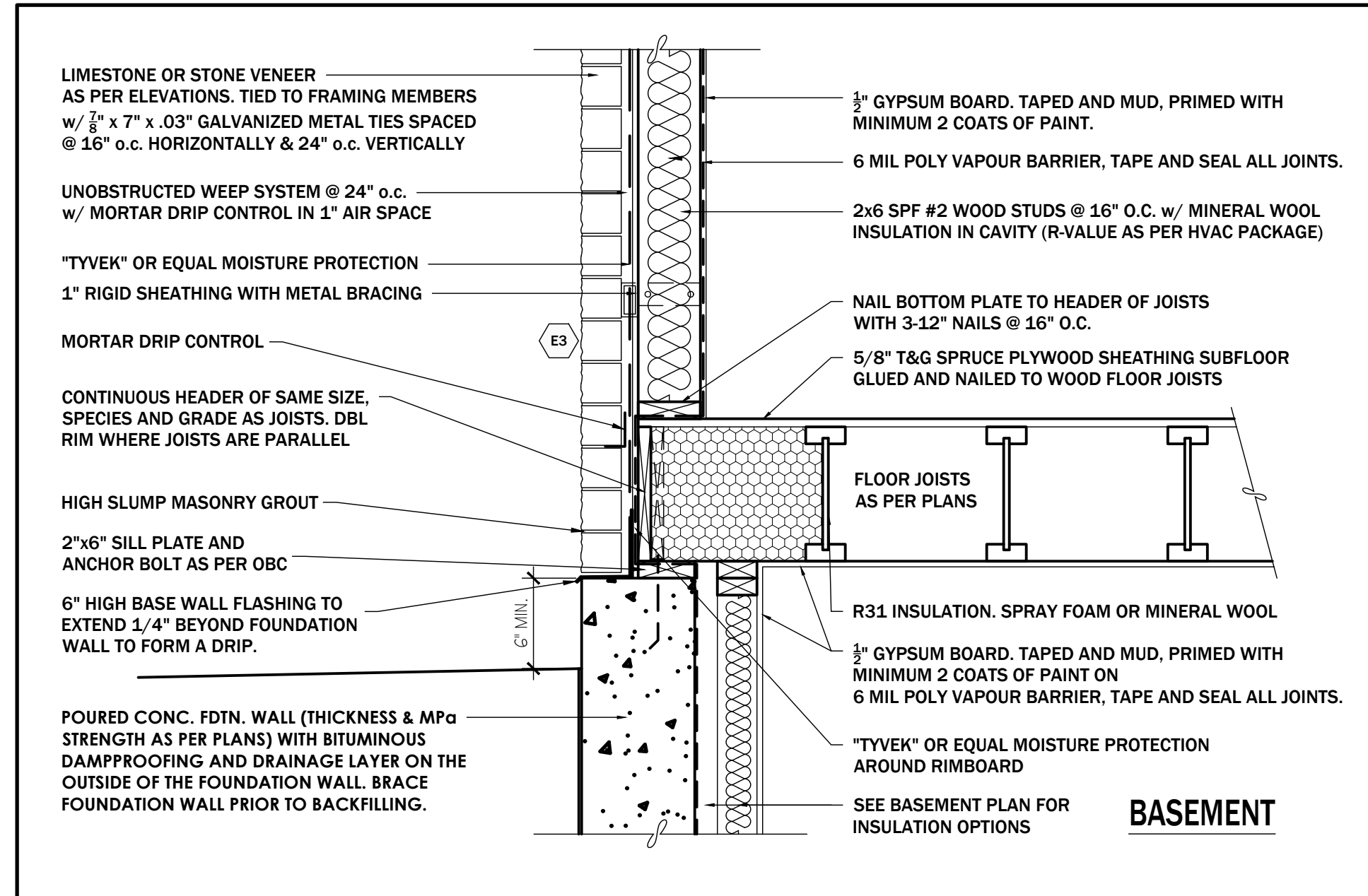
1 MASONRY VENEER WALL AT ROOF CONNECTION
A4.1 1" = 1'-0"



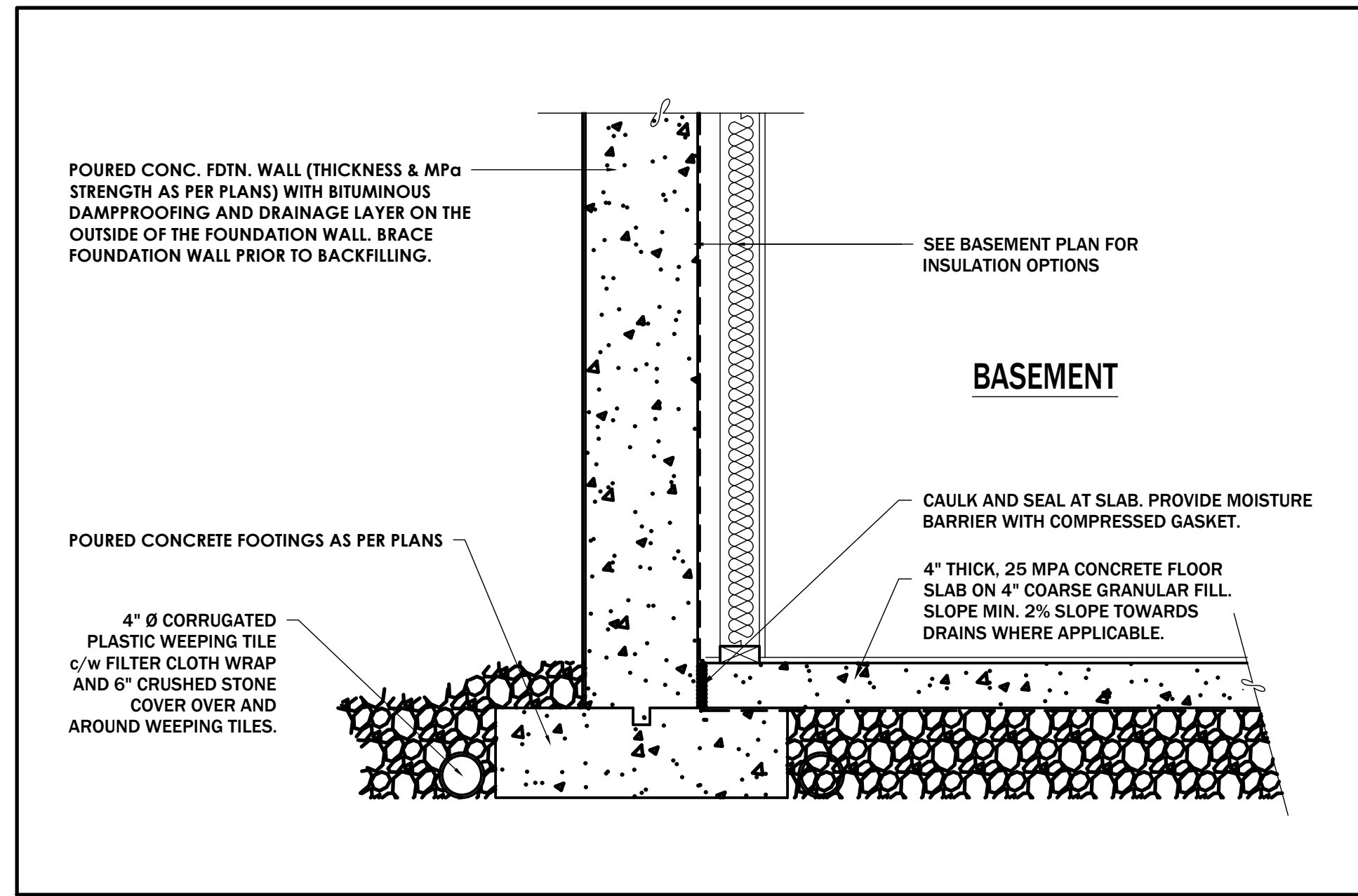
6 CONCRETE STEP FOOTING
A4.1 1" = 1'-0"



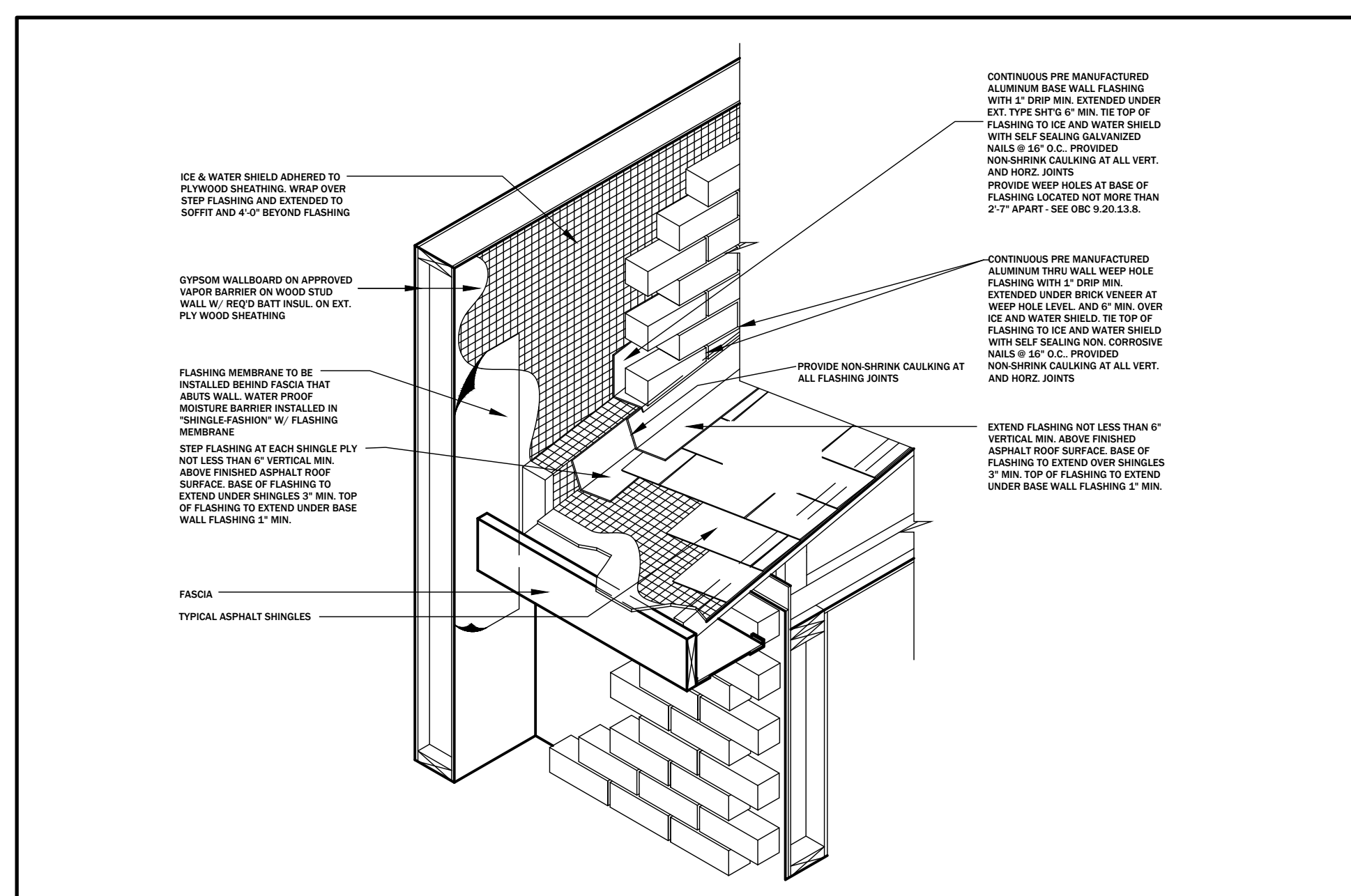
2 MASONRY VENEER WALL AT SECOND FLOOR CONNECTION
A4.1 1" = 1'-0"



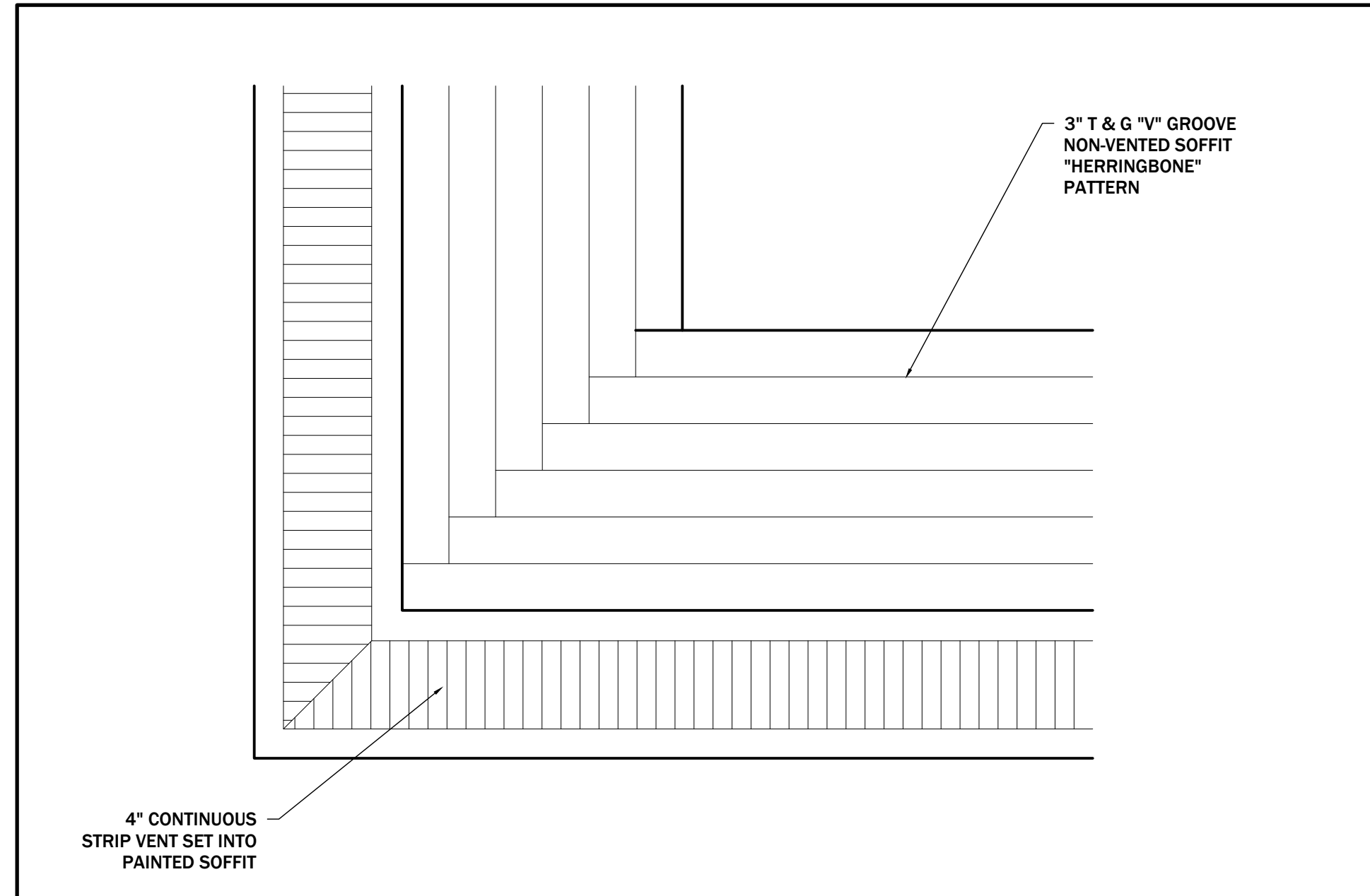
4 MASONRY VENEER WALL AT MAIN FLOOR CONNECTION
A4.1 1" = 1'-0"



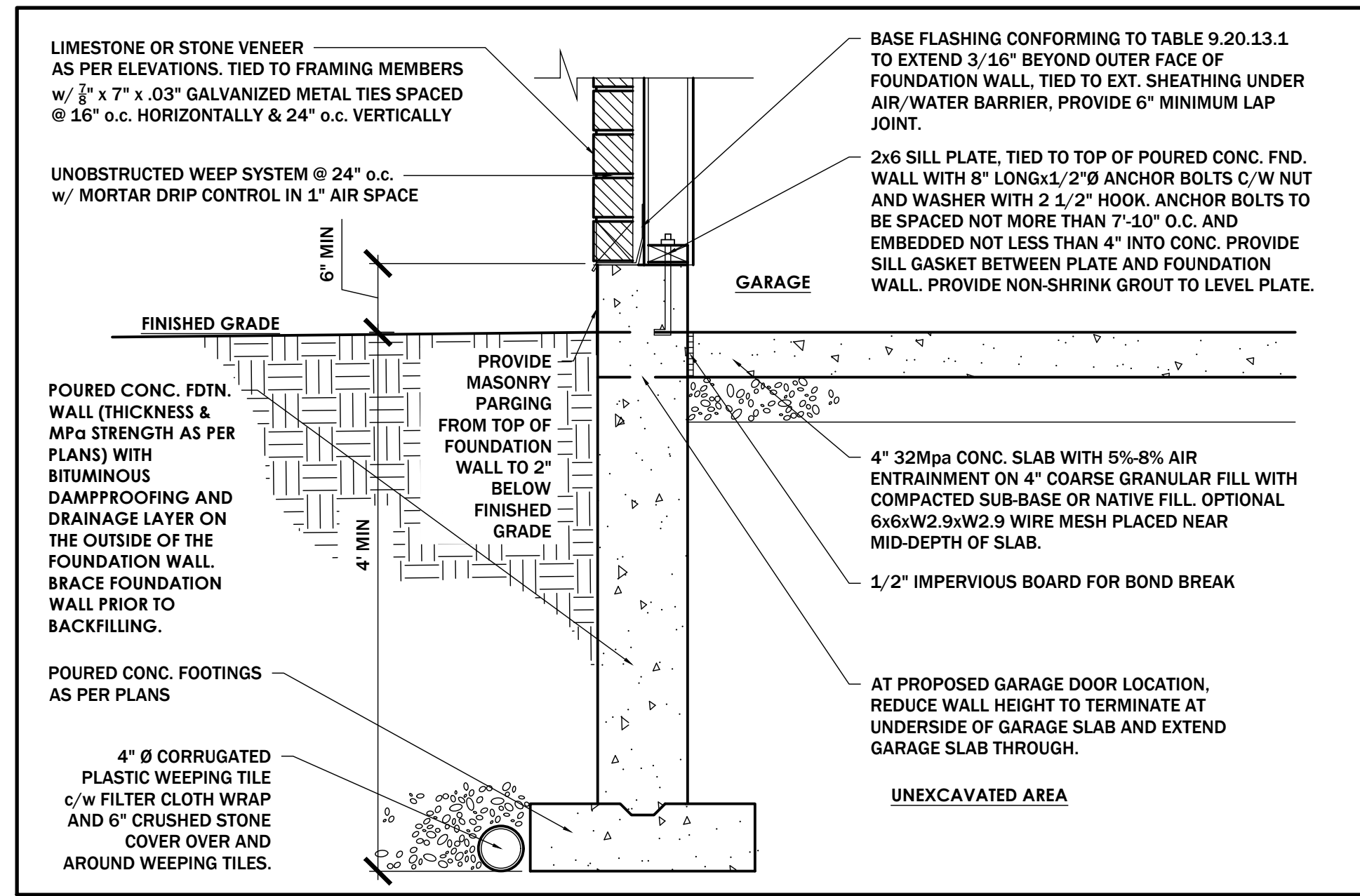
7 FOUNDATION WALL AT FOOTING CONNECTION
A4.1 1" = 1'-0"



3 ROOF TO MASONRY VENEER FLASHING DETAILS
A4.1 ISOMETRIC



5 OPTIONAL SOFFIT VENT DETAIL
A4.1 N.T.S.



8 FOUNDATION WALL AT GARAGE SLAB CONNECTION
A4.1 1" = 1'-0"

CITY ELECTRONIC STAMP:

RED
Rojes Empire of Design Inc.

GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
 2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BEST QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
 3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 5. USE LATEST REVISED DRAWINGS.
 6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJES EMPIRE OF DESIGN INC. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION (RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCN NUMBER AND ORIGINAL SIGNATURE).
 8. BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
 9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:			
NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

DESIGNER'S INFO
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS 106163
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJES EMPIRE OF DESIGN INC 121689
 FIRM NAME BCIN

STRUCTURAL ENGINEER'S STAMP:

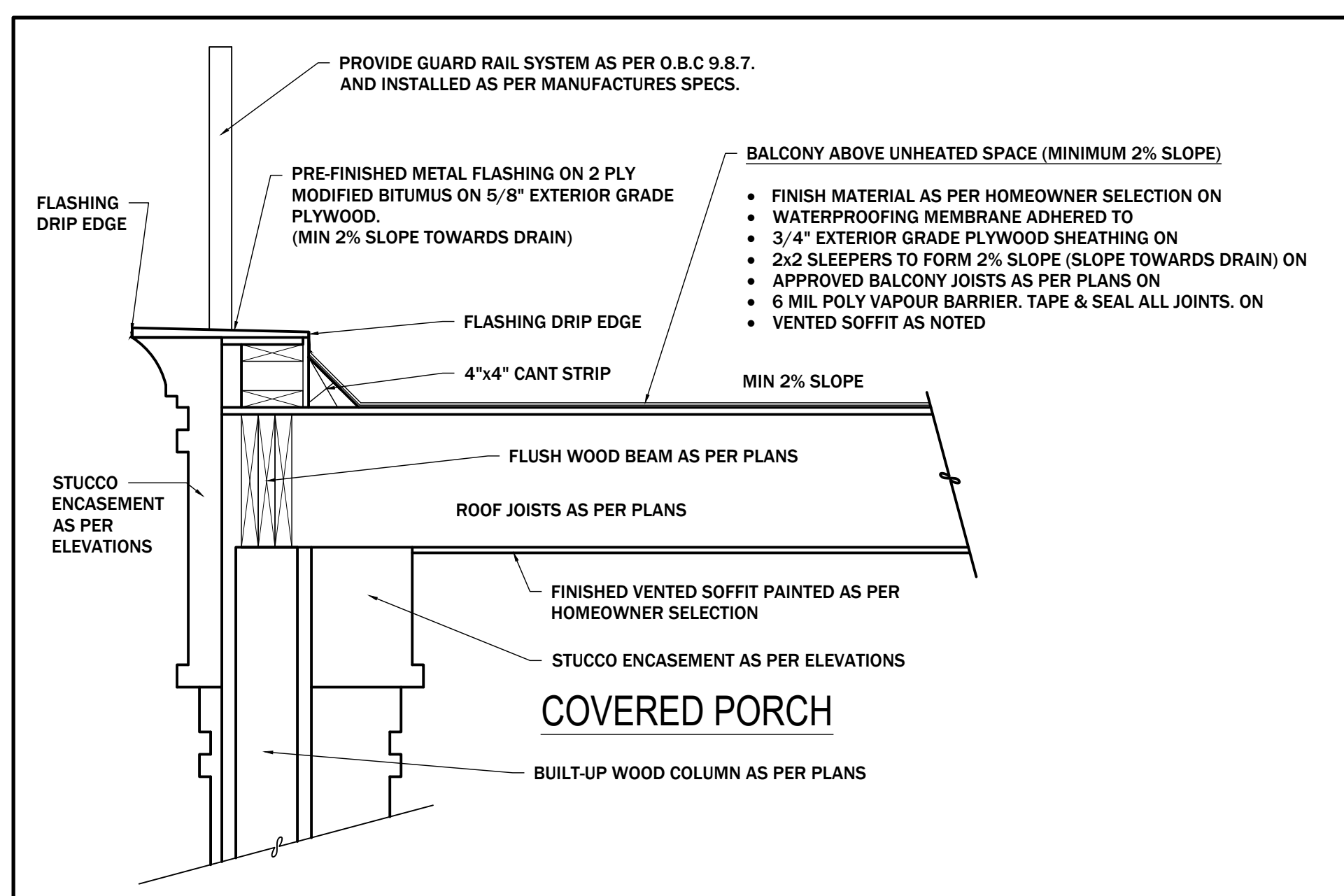
PROJECT NAME/ADDRESS:
AHMADI RESIDENCE
 68 GILMOUR ROAD,
 PUSLINC, ON N0B 2J0

SHEET NAME:
PROPOSED TYPICAL CONSTRUCTION DETAILS 1

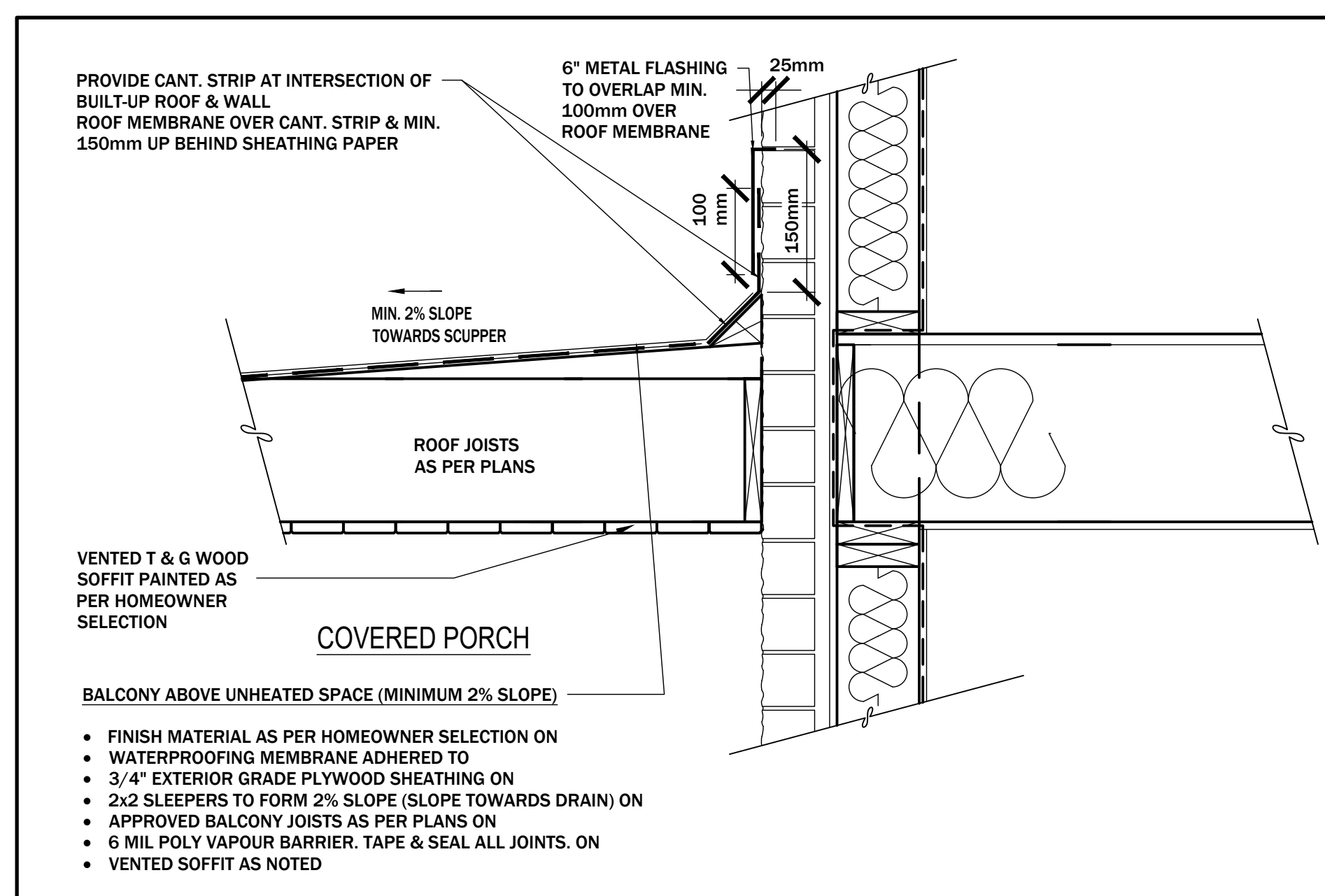
PROJECT NO. 2022-11 START DATE: 29.APR.2022
 SCALE: AS NOTED

DRAWN BY: JONATHAN NETTA REVIEWED BY: HENRY M SILVA ROJAS

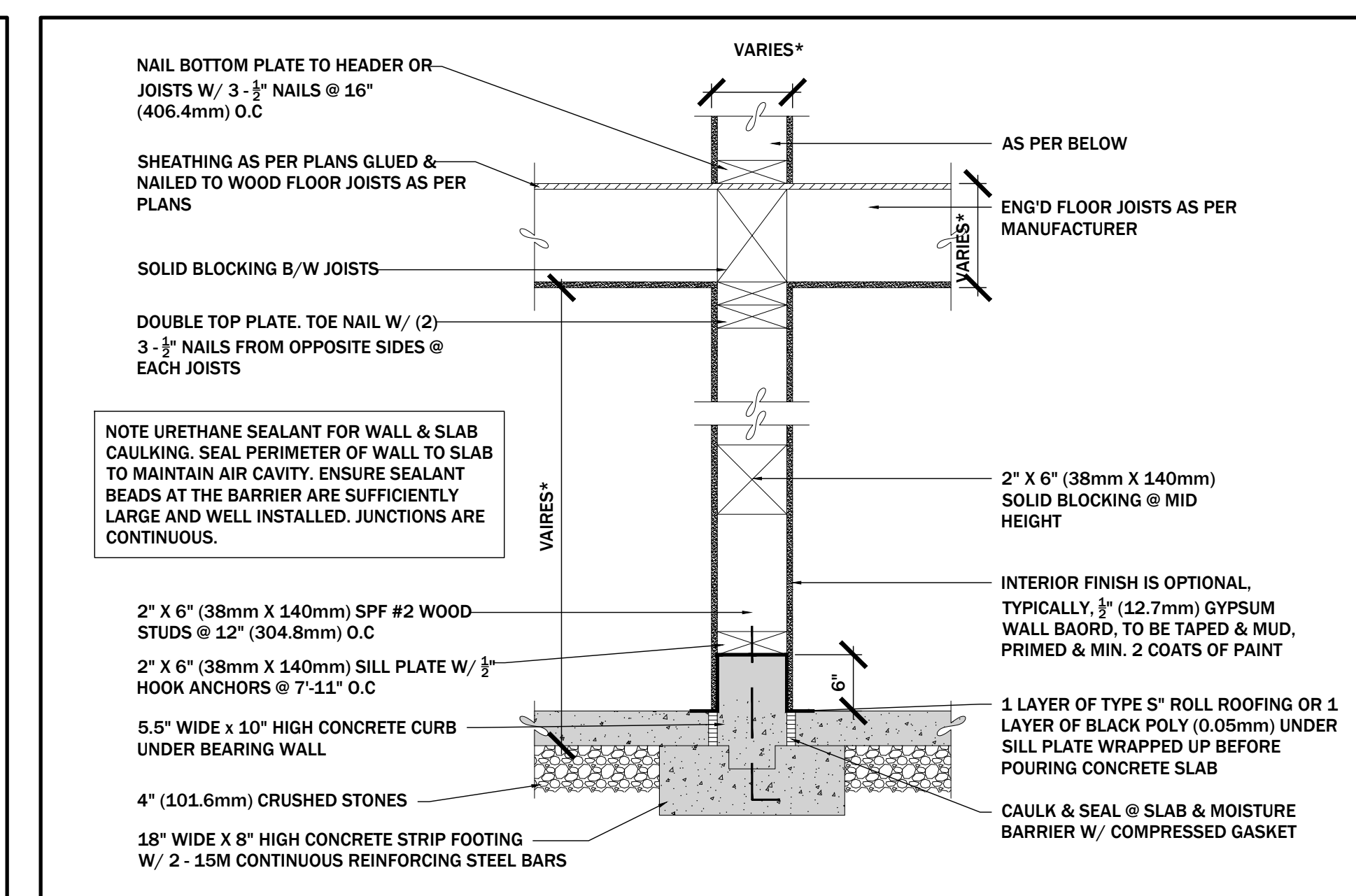
SHEET NO. **A4.1**



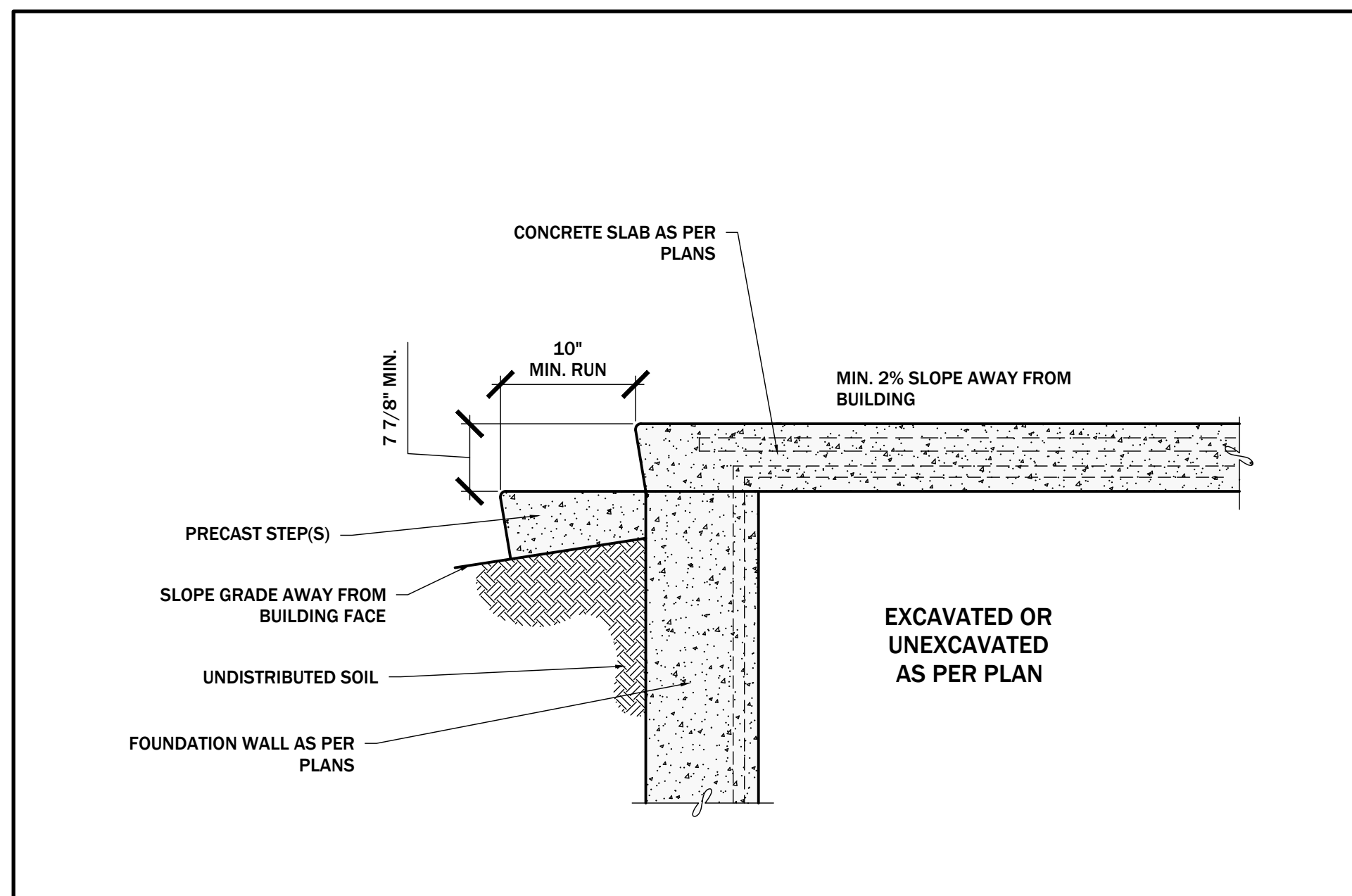
1 BALCONY FLOOR AT COLUMN CONNECTION
A4.2 1" = 1'-0"



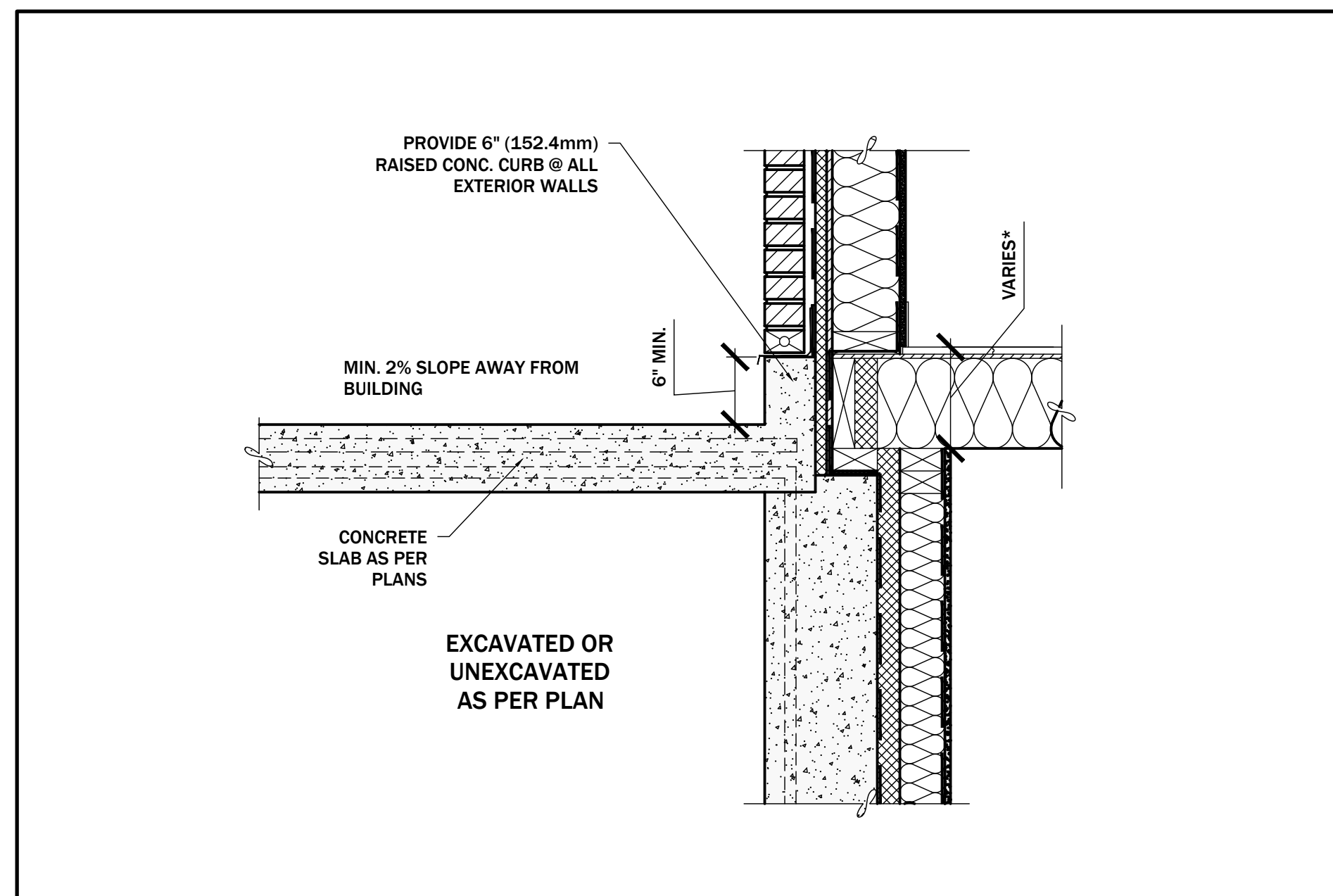
2 BALCONY FLOOR AT MASONRY VENEER WALL CONNECTION
A4.2 1" = 1'-0"



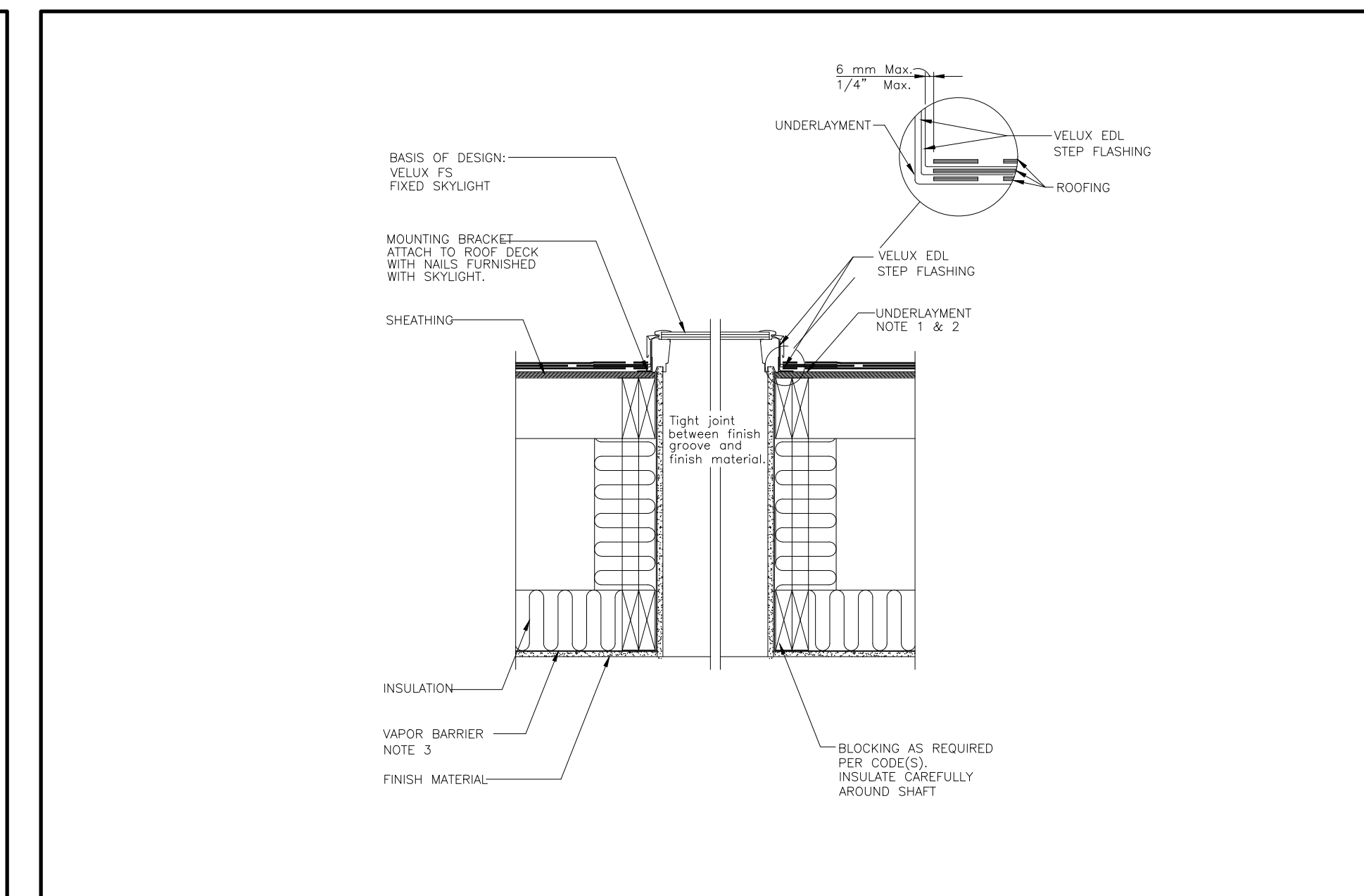
3 LOAD BEARING WALL CONNECTION
A4.2 1" = 1'-0"



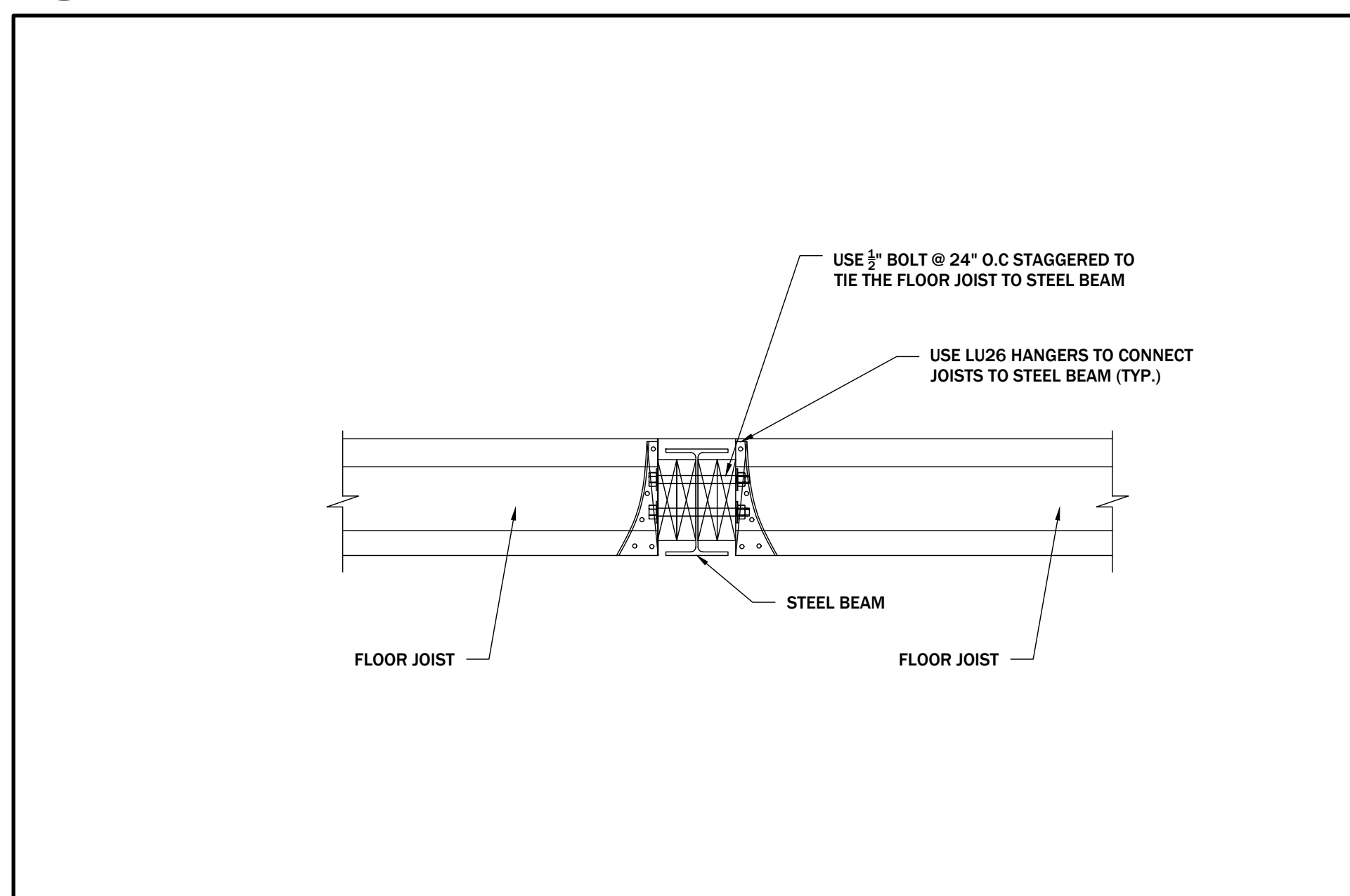
4 PORCH SLAB AT FOUNDATION WALL CONNECTION
A4.2 1" = 1'-0"



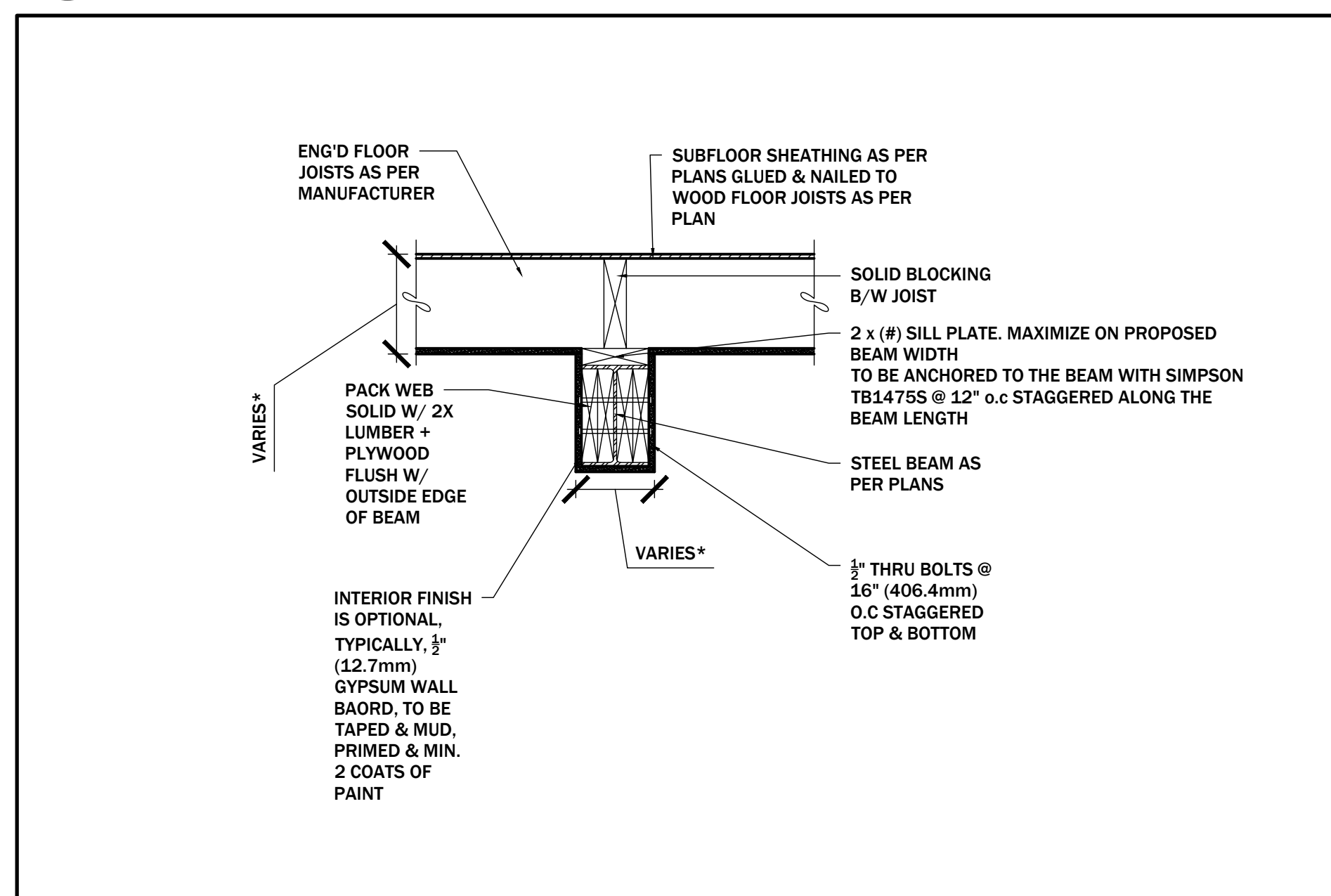
5 PORCH SLAB AT HOUSE CONNECTION
A4.2 1" = 1'-0"



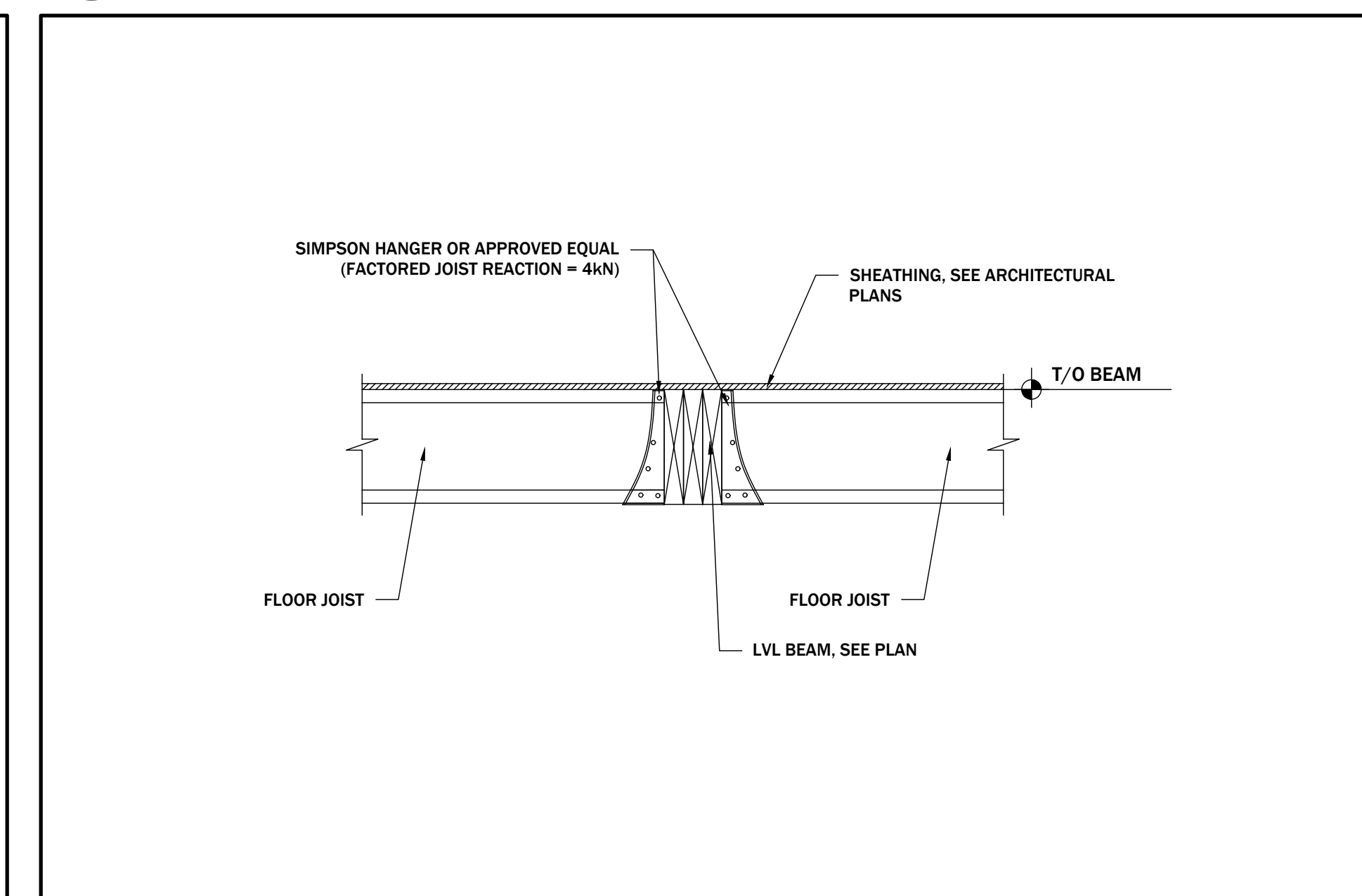
6 SKYLIGHT DETAIL
A4.2 1" = 1'-0"



7 FLUSH STEEL BEAM CONNECTION
A4.2 1" = 1'-0"



8 DROPPED STEEL BEAM CONNECTION
A4.2 1" = 1'-0"



9 FLUSH WOOD BEAM CONNECTION
A4.2 1" = 1'-0"

CITY ELECTRONIC STAMP:

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BCN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJES EMPIRE OF DESIGN INC. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT RED'S WRITTEN PERMISSION. RED ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BCN NUMBER AND ORIGINAL SIGNATURE(S).
- BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	2.AUG.2022	ISSUED FOR ENGINEERING	JN
02	15.AUG.2022	ISSUED FOR BUILDING PERMIT	JN

DESIGNER'S INFO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS 106163

NAME SIGNATURE BCN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC 121689

FIRM NAME BCN

STRUCTURAL ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

AHMADI RESIDENCE

68 GILMOUR ROAD, PUSLICH, ON N0B 2J0

SHEET NAME:

PROPOSED TYPICAL CONSTRUCTION DETAILS 2

SCALE: AS NOTED

PROJECT NO. 2022-11 START DATE: 29 APR. 2022

DRAWN BY: JONATHAN NETTA REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO.

A4.2

ONTARIO BUILDING CODE NOTES - GENERAL

TYPICAL PROJECT RELATED NOTES:
9.20.13 CONTROL OF RAIN WATER PENETRATION
9.20.13.1 MATERIALS FOR FLASHING
1. MATERIALS USED FOR FLASHING SHALL CONFORM TO TABLE 9.20.13.1 OF THE ONTARIO BUILDING CODE.
2. ALUMINUM FLASHING IN CONTACT WITH MASONRY OR CONCRETE SHALL BE EFFECTIVELY COATED OR SEPARATED FROM THE MASONRY OR CONCRETE BY AN IMPERVIOUS MEMBRANE.
9.20.0.2 FASTENING OF FLASHING
1. FASTENING DEVICES FOR FLASHING SHALL BE CORROSION RESISTANT AND WHERE METAL FLASHING IS USED, SHALL BE COMPATIBLE WITH THE FLASHING WITH RESPECT TO GALVANIC ACTION.
9.20.0.2 LOCATION OF FLASHING
1. FLASHING SHALL BE INSTALLED IN MASONRY AND MASONRY INSTALLED WALLS:
a. BENEATH JOINTED MASONRY WINDOW SILLS.
b. OVER THE BACK AND TOP OF PARAPET WALLS.
c. OVER THE HEAD OF GLASS BLOCK PANELS, BENEATH WEEP HOLES AND,
d. OVER THE HEAD OF WINDOW AND DOOR OPENINGS IN EXTERIOR WALLS WHEN THE VERTICAL DISTANCE BETWEEN THE TOP OF A WINDOW OR DOOR FRAME AND THE BOTTOM EDGE OF THE EAVES EXCEEDS 3/4 OF THE HORIZONTAL LEAVE OVERHANG.
2. THROUGHWALL FLASHING SHALL BE PROVIDED IN A MASONRY VENEER WALL SUCH THAT ANY MOISTURE WHICH ACCUMULATES IN THE AIR SPACE WILL BE DIRECTED TO THE EXTERIOR OF THE BUILDING.
9.20.0.2 EXTENSION OF FLASHING
1. A FLASHING MAY BE DELETED WHEN THE MASONRY AT THE SILL OF A WALL OPENING OR THE TOP OF A WALL IS PROTECTED BY AN IMPERVIOUS NON-JOINTED MASONRY COPING WHICH CONFORMS TO ARTICLE 9.20.13.12.
2. WHEN INSTALLED BENEATH JOINTED MASONRY WINDOW SILL AND JOINTED MASONRY COPINGS OR OVER THE HEADS OF OPENINGS, FLASHING SHALL EXTEND FROM THE FRONT EDGE OF THE MASONRY UP BEHIND THE SILL OR LINTEL
9.20.0.2 FLASHING FOR WEEP HOLES IN MASONRY VENEER/ MASONRY WALLS
1. FLASHING BENEATH WEEP HOLES IN CAVITY WALLS AND MASONRY VENEER/MASONRY BRICK-UP WALLS SHALL:
a) BE BEDDED NOT LESS THAN 25MM (1") IN THE INSIDE WYTHE,
b) EXTENDED TO NOT LESS THAN 5MM (3/16") BEYOND THE OUTER FACE OF THE BUILDING ELEMENT BELOW THE FLASHING, AND
c) BE INSTALLED WITH A NOMINALLY HORIZONTAL SLOPE TOWARDS THE OUTSIDE WYTHE.
2. FLASHING BENEATH WEEP HOLES IN MASONRY VENEER OVER WOOD-FRAME WALLS SHALL BE INSTALLED SO THAT IT EXTENDS FROM A POINT NOT LESS THAN 5MM (3/16") BEYOND THE OUTER FACE OF THE BUILDING ELEMENT BELOW THE FLASHING TO A POINT 150MM (5/8") UP TO WOOD FRAME WALL.
3. WHERE THE FRAME WALL IS SHEATHED WITH SHEATHING MEMBRANE, A NON-WOOD-BASED RIGID EXTERIOR INSULATING SHEATHING OR A SEMI-RIGID INSULATING SHEATHING WITH AN INTEGRAL SHEATHING MEMBRANE, THE FLASHING SHALL BE INSTALLED BEHIND THE SHEATHING MEMBRANE OR INSULATING SHEATHING.
4. FLASHING DESCRIBED IN SENTENCE (2) IS PERMITTED TO CONFORM TO THE REQUIREMENTS FOR CONCEALED FLASHING IN TABLE 9.20.13.1.

GLASS

9.6.1.2 TYPES OF GLASS AND PROTECTION OF GLASS
1. GLASS SIDELIGHTS GREATER THAN 500 mm WIDE THAT COULD BE MISTAKEN FOR DOORS, GLASS IN STORM DOORS AND GLASS IN SLIDING DOORS WITHIN OR AT EVERY ENTRANCE TO A DWELLING UNIT AND IN PUBLIC AREAS SHALL BE:
(a) SAFETY GLASS OF THE TEMPERED OR LAMINATED TYPE CONFORMING TO CAN/CGSB-12.1-M, "TEMPERED OR LAMINATED SAFETY GLASS", OR
(b) WIRED GLASS CONFORMING TO CAN/CGSB-12.11-M, "WIRED SAFETY GLASS".
2. EXCEPT AS PROVIDED IN SENTENCE (4), GLASS IN ENTRANCE DOORS TO DWELLING UNITS AND IN PUBLIC AREAS, OTHER THAN THE ENTRANCE DOORS DESCRIBED IN SENTENCE (1), SHALL BE SAFETY GLASS OR WIRED GLASS OF THE TYPE DESCRIBED IN SENTENCE (1) WHERE THE GLASS AREA EXCEEDS 0.5 m2 AND EXTENDS TO LESS THAN 900 mm FROM THE BOTTOM OF THE DOOR.
3. EXCEPT AS PROVIDED IN SENTENCE (4), TRANSPARENT PANELS THAT COULD BE MISTAKEN AS A MEANS OF EGRESS SHALL BE PROTECTED BY BARRIERS OR RAILINGS.
4. SLIDING GLASS PARTITIONS THAT SEPARATE A PUBLIC CORRIDOR FROM AN ADJACENT OCCUPANCY AND THAT ARE OPEN DURING NORMAL WORKING HOURS NEED NOT CONFORM TO SENTENCES (2), (3) AND (5), EXCEPT THAT SUCH PARTITIONS SHALL BE SUITABLY MARKED TO INDICATE THEIR EXISTENCE AND POSITION.
5. EXCEPT AS PROVIDED IN SENTENCE (4), EVERY GLASS OR TRANSPARENT DOOR ACCESSIBLE TO THE PUBLIC SHALL BE EQUIPPED WITH HARDWARE, BARS OR OTHER PERMANENT FIXTURES DESIGNED SO THAT THE EXISTENCE AND POSITION OF SUCH DOORS IS READILY APPARENT.
6. GLASS, OTHER THAN SAFETY GLASS, SHALL NOT BE USED FOR A SHOWER OR BATHTUB ENCLOSURE.

STAIRS

9.8.13 STAIR DIMENSION
9.8.13 STAIR WIDTH
1. REQUIRED EXIT STAIRS AND PUBLIC STAIRS SHALL HAVE A WIDTH, MEASURED BETWEEN WALL FACES OR GUARDS, OF NOT LESS THAN 900mm (2'-11").
2. AT LEAST ONE STAIRWAY BETWEEN EACH FLOOR LEVEL WITHIN A DWELLING UNIT, AND EXTERIOR STAIRS SERVING A SINGLE DWELLING UNIT EXCEPT REQUIRED EXIT STAIRS, SHALL HAVE A WIDTH OF NOT LESS THAN 860MM (2'-10")
9.8.0.1 HEIGHT OVER STAIRS
1. THE CLEAR HEIGHT OVER STAIRS MEASURED VERTICALLY FROM THE LINE DRAWN THROUGH THE LEADING EDGES OF THE TREADS, SHALL BE NOT LESS THAN,
a) 1,950mm (6'-5") FOR STAIRS WITHIN THE DWELLING UNIT AND
b) 2,050mm (6'-9") FOR STAIRS NOT WITHIN DWELLING UNITS
9.8.1 STEP DIMENSION
9.8.1.1 UNIFORMITY AND TOLERANCE FOR RISERS AND TREADS
1. EXCEPT AS PROVIDED IN SENTENCE (2), RISERS SHALL HAVE UNIFORM HEIGHT IN ANY ONE FLIGHT WITH A MAXIMUM TOLERANCE OF,
a) 6mm (1/4") BETWEEN ADJACENT TREADS OR LANDINGS, AND
b) 6mm (1/4") BETWEEN THE TALLEST AND SHORTEST RISERS IN A FLIGHT.
1. EXCEPT FOR REQUIRED EXIT STAIRS, WHERE THE TOP OR BOTTOM RISER IN A STAIR ADJOINS A SLOPING FINISHED WALKING SURFACE SUCH AS A GARAGE FLOOR, DRIVEWAY OR SIDEWALK, THE HEIGHT OF THE RISER ACROSS THE STAIR SHALL VARY BY NOT MORE THAN 1 IN 12.
2. TREADS SHALL HAVE UNIFORM RUN AND TREAD DEPTH, WITH A MAX. TOLERANCE OF,
a) 6mm (1/4") BETWEEN ADJACENT TREADS, AND
b) 6mm (1/4") BETWEEN THE DEEPEST AND SHALLOWEST RUNS AND TREADS IN A FLIGHT
1. WHERE ANGLED TREADS OR WINDERS ARE INCORPORATED INTO A STAIR, THE TREADS IN ALL SETS OF ANGLED TREADS OR WINDERS WITHIN A FLIGHT SHALL TURN IN THE SAME DIRECTION.
2. CROSS-SLOPE OF TREADS SHALL NOT EXCEED 1 IN 100

RAILINGS

STAIRS AND GUARDS:
9.8.7.1 HANDRAILS
9.8.7.1 REQUIRED HANDRAILS
1. EXCEPT AS PERMITTED IN SENTENCE (2) AND (3), A HANDRAIL SHALL BE PROVIDED ON:
a) AT LEAST ONE SIDE OF STAIRS LESS THAN 1.400MM (3'-7") IN WIDTH,
b) 2 SIDES OF CURVED STAIRS OR RAMPS OF ANY WIDTH, EXCEPT CURVED STAIRS WITHIN DWELLING UNITS, AND
c) 2 SIDES OF STAIRS OR RAMPS 1.100mm (3'-7") IN WIDTH OR GREATER.
1. HAND RAILS ARE NOT REQUIRED FOR,
a) INTERIOR STAIRS HAVING NOT MORE THAN 2 RISERS, AND SERVING A SINGLE DWELLING UNIT,
b) EXTERIOR STAIRS HAVING NOT MORE THAN 3 RISERS, AND SERVING NOT MORE THAN A SINGLE DWELLING UNIT.
9.8.0.1 CONTINUITY OF HANDRAILS (SEE APPENDIX A)
1. EXCEPT AS PROVIDED IN SENTENCE (2), AT LEAST ONE HANDRAIL SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIRWAY OR RAMP, INCLUDING LANDINGS, EXCEPT WHERE INTERRUPTED BY:
a) DOORWAYS, OR
b) NEVEL POSTS AT CHANGES IN DIRECTION
2. FOR STAIRS SERVING ONLY A SINGLE DWELLING UNIT, AT LEAST ONE HANDRAIL, SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIR OR RAMP, EXCEPT WHERE INTERRUPTED BY:
a) DOORWAYS,
b) LANDINGS, OR
c) NEVEL POSTS AT CHANGES IN DIRECTION
9.8.0.1 TERMINATION OF HANDRAILS
1. HANDRAILS SHALL BE TERMINATED IN A MANNER THAT WILL NOT OBSTRUCT PEDESTRIAN TRAVEL OR CREATE A HAZARD.
2. EXCEPT FOR STAIRS AND RAMPS SERVING A SINGLE DWELLING UNITS, AT LEAST ONE HANDRAIL AT THE SIDES OF A STAIR OR RAMP SHALL EXTEND HORIZONTALLY NOT LESS THAN 300MM (11 1/2") BEYOND THE TOP AND BOTTOM OF THE STAIRWAY OR RAMP.
9.8.0.1 HEIGHT OF HANDRAILS
1. HEIGHT OF HANDRAILS AND STAIRS AND RAMPS SHALL BE MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO,
a) A LINE DRAWN THROUGH THE LEADING EDGE OF THE STAIR TREADS SERVED BY THE HANDRAILS, OR
b) THE SURFACE OF THE RAMP, FLOOR OR LANDING SERVED BY THE HANDRAIL
2. EXCEPT AS PROVIDED IN SENTENCE (3), THE HEIGHT OF HANDRAILS ON STAIRS AND RAMPS SHALL BE:
a) NOT LESS THAN 800mm (2'-7"), AND
b) NOT MORE THAN 965mm (3'-2").
3. WHERE GUARDS ARE REQUIRED, HANDRAILS REQUIRED ON LANDINGS SHALL NOT BE MORE THAN 1,070mm (3'-6") IN HEIGHT.

MOISTURE PROTECTION

9.25.3.1 REQUIRE BARRIER TO AIR LEAKAGE
1. THERMALLY INSULATED WALL, CEILING AND FLOOR ASSEMBLIES SHALL BE CONSTRUCTED SO AS TO INCLUDE AN AIR BARRIER SYSTEM WHICH WILL PROVIDE A CONTINUOUS BARRIER TO AIR LEAKAGE;
a) FROM THE INTERIOR OF THE BUILDING INTO WALL, FLOOR, ATTIC OR ROOF SPACES SUFFICIENT TO PREVENT EXCESSIVE MOISTURE CONDENSATION IN SUCH SPACES DURING THE WINTER, AND
b) FROM THE EXTERIOR INWARD SUFFICIENT TO PREVENT MOISTURE CONDENSATION ON THE ROOM SIDE DURING WINTER.
9.25.3.3 CONTINUITY OF THE AIR BARRIER SYSTEM
1. WHERE THE AIR BARRIER SYSTEM CONSIST OF AN AIR IMPERMEABLE PANEL-TYPE MATERIAL, ALL JOINTS SHALL BE SEALED TO PREVENT AIR LEAKAGE.
2. WHERE THE AIR BARRIER SYSTEM CONSIST OF FLEXIBLE SHEET MATERIAL, ALL JOINTS SHALL BE:
a) SEALED OR
b) LAPPED NOT LESS THAN 100MM (4") AND CLAMPED, SUCH AS BETWEEN FURRING OR BLOCKING AND RIGID PANELS.
3. WHERE AN INTERIOR WALL MEETS AND EXTERIOR WALL, CEILING FLOOR OR ROOF REQUIRED TO BE PROVIDED WITH AN AIR BARRIER PROTECTION, THE AIR BARRIER SYSTEM SHALL EXTEND ACROSS THE INTERSECTION.
4. WHERE AN INTERIOR WALL PROJECTS THROUGH A CEILING OR EXTENDS TO BECOME AN EXTERIOR WALL, CONTINUITY OF THE AIR BARRIER SYSTEM SHALL BE MAINTAINED FROM THE ABUTTING WALLS ACROSS THE FLOOR ASSEMBLY.
5. WHERE AN INTERIOR FLOOR PROJECTS THROUGH AN EXTERIOR WALL OR EXTENDS TO BECOME AN EXTERIOR FLOOR, CONTINUITY OF THE AIR BARRIER SYSTEM SHALL BE MAINTAINED FROM THE ABUTTING WALLS ACROSS THE FLOOR ASSEMBLY.
6. PENETRATION OF THE AIR BARRIER SYSTEM, SUCH AS THOSE CREATED BY THE INSTALLATION OF DOORS, WINDOWS, ELECTRICAL WIRING, ELECTRICAL BOXES, PIPING OR DUCT WORK, SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE AIR BARRIER SYSTEM OVER THE ENTIRE SURFACE.
7. ACCESS HATCHES INSTALLED THROUGH ASSEMBLIES CONSTRUCTED WITH AN AIR BARRIER SYSTEM SHALL BE WEATHERSTRIPPED AROUND THEIR PERIMETERS TO PREVENT AIR LEAKAGE.
8. CLEARNESS BETWEEN CHIMNEYS OR GAS VENTS AND THE SURROUNDING CONSTRUCTION WHICH WOULD PERMIT AIR LEAKAGE FROM WITHIN THE BUILDING INTO A WALL OR ATTIC OR ROOF SPACE SHALL BE SEALED BY NONCOMBUSTIBLE MATERIAL TO PREVENT SUCH LEAKAGE.
9.25.4.1 REQUIRED BARRIER TO VAPOR DIFFUSION
1. THERMALLY INSULATED WALL, CEILING AND FLOOR ASSEMBLIES SHALL BE CONSTRUCTED WITH A VAPOUR BARRIER SUFFICIENT TO PREVENT CONDENSATION IN THE WALL SPACES, FLOOR SPACES OR ATTIC OR ROOF SPACES.
9.25.4.1 INSTALLATION OF VAPOUR BARRIERS
1. VAPOUR BARRIER SHALL BE INSTALLED TO PROTECT THE ENTIRE SURFACES OF THERMALLY INSULATED WALL, CEILING AND FLOOR ASSEMBLIES
2. VAPOUR BARRIERS SHALL BE INSTALLED SUFFICIENTLY CLOSE TO THE WARM SIDE OF INSULATION TO PREVENT CONDENSATION AT DESIGN CONDITIONS.

DRAINS

9.3.1.4.4 FLOOR DRAINS
1. A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT FORMING PART OF A DWELLING UNIT.

DOORS

9.7.5.2 RESISTANCE TO FORCED ENTRY DOORS
1. EXCEPT FOR EXTERIOR DOORS TO GARAGES AND TO OTHER ANCILLARY SPACES, THIS ARTICLE APPLIES TO,
a) SWINGING ENTRANCE DOORS TO DWELLING UNITS,
b) SWINGING DOORS BETWEEN DWELLING UNITS AND ATTACHED GARAGES OR OTHER ANCILLARY SPACES, AND
c) SWINGING DOORS THAT PROVIDE ACCESS DIRECTLY OR INDIRECTLY FROM A STORAGE GARAGE TO A DWELLING UNIT.
2. DOORS, FRAMES AND HARDWARE THAT CONFORM TO A SECURITY LEVEL OF AT LEAST GRADE 10 AS DESCRIBED IN THE ANNEX TO ASTM F476, "SECURITY OF SWINGING DOOR ASSEMBLIES", ARE NOT REQUIRED TO CONFORM TO SENTENCES (3) TO (7).
3. EXCEPT AS PROVIDED IN SENTENCE (2), WOOD DOORS DESCRIBED IN SENTENCE (1) SHALL:
a) BE SOLID CORE OR STILE-AND-RAIL TYPE,
b) BE NOT LESS THAN 45 mm THICK, AND
c) IF OF THE STILE-AND-RAIL PANEL TYPE, HAVE A PANEL THICKNESS OF NOT LESS THAN 19 mm, WITH A TOTAL PANEL AREA NOT MORE THAN HALF OF THE DOOR AREA.
4. EXCEPT AS PROVIDED IN SENTENCE (2), DOORS DESCRIBED IN SENTENCE (1) SHALL BE PROVIDED WITH,
a) A DEADBOLT LOCK WITH A CYLINDER HAVING NO FEWER THAN FIVE PINS, AND
b) A BOLT THROW NOT LESS THAN 25 mm LONG, PROTECTED WITH A SOLID OR HARDENED FREE-TURNING RING OR BEVELLED CYLINDER HOUSING.
5. EXCEPT AS PROVIDED IN SENTENCE (2), AN INACTIVE LEAF IN DOUBLE DOORS USED IN LOCATIONS SPECIFIED IN SENTENCE (1) SHALL BE PROVIDED WITH HEAVY-DUTY BOLTS TOP AND BOTTOM HAVING AN ENGAGEMENT OF NOT LESS THAN 15 mm.
6. EXCEPT AS PROVIDED IN SENTENCE (2), HINGES FOR DOORS DESCRIBED IN SENTENCE (1) SHALL BE FASTENED,
a) TO WOOD DOORS WITH WOOD SCREWS NOT LESS THAN 25 mm LONG AND TO WOOD FRAMES WITH WOOD SCREWS SUCH THAT AT LEAST TWO SCREWS PER HINGE PENETRATE NOT LESS THAN 30 mm INTO SOLID WOOD, OR
b) TO METAL DOORS AND METAL FRAMES WITH MACHINE SCREWS NOT SMALLER THAN No. 10 AND NOT LESS THAN 10 mm LONG.
7. EXCEPT AS PROVIDED IN SENTENCE (2), STRIKEPLATES FOR DEADBOLTS DESCRIBED IN SENTENCE (4) SHALL BE FASTENED,
a) TO WOOD FRAMES WITH WOOD SCREWS THAT PENETRATE NOT LESS THAN 30 mm INTO SOLID WOOD, OR
b) TO METAL FRAMES WITH MACHINE SCREWS NOT SMALLER THAN No. 8 AND NOT LESS THAN 10 mm LONG.
8. EXCEPT FOR STORM DOORS OR SCREEN DOORS, DOORS DESCRIBED IN SENTENCE (1) THAT SWING OUTWARD SHALL BE PROVIDED WITH HINGES OR PINS SO THAT THE DOORS CANNOT BE REMOVED WHEN THEY ARE IN THE CLOSED POSITION.
9. SOLID BLOCKING SHALL BE PROVIDED ON BOTH SIDES AT THE LOCK HEIGHT BETWEEN THE JAMBS FOR DOORS DESCRIBED IN SENTENCE (1) AND THE STRUCTURAL FRAMING SO THAT THE JAMBS WILL RESIST SPREADING BY FORCE.

ENTRANCE DOORS

1. A DOOR SHALL BE PROVIDED AT EACH ENTRANCE TO A DWELLING UNIT.
2. MAIN ENTRANCE DOORS TO DWELLING UNITS SHALL BE PROVIDED WITH,
a) A DOOR VIEWER OR TRANSPARENT GLAZING IN THE DOOR, OR
b) SIDELITE
9.20.13.1 FLASHING JOINTS
1. JOINTS IN FLASHING SHALL BE MADE WATERTIGHT.
9.20.13.1 REQUIRED WEEP HOLES
1. WEEP HOLES SPACED NOT MORE THAN 800MM (2'-7") APART SHALL BE PROVIDED AT THE BOTTOM OF:
a) CAVITIES IN CAVITY WALLS, AND
b) CAVITIES OR AIR SPACES IN MASONRY VENEER WALLS.
2. THE CAVITIES OR AIR SPACES DESCRIBED IN SENTENCE (1) SHALL INCLUDE THOSE ABOVE LINTELS OVER WINDOW AND DOOR OPENINGS REQUIRED TO BE FLASHED IN CONFORMANCE WITH ARTICLE 9.20.13.4.
3. THE WEEP HOLES REQUIRED IN SENTENCE (1) SHALL BE IN LOCATION SUCH THAT ANY WATER THAT COLLECTS IN THE CAVITY OR SPACE WILL BE DIRECTED TO THE EXTERIOR OF THE BUILDING.

FIREPLACES

9.22.1.1 MASONRY ON CONCRETE
1. EXCEPT AS OTHERWISE STATED IN THIS SECTION, UNIT MASONRY SHALL CONFORM TO SECTION 9.20. AND CONCRETE TO SECTION 9.3.
9.22.1.1 COMBUSTION AIR
1. EVERY SOLID FUEL-FIRED FIREPLACE, INCLUDING A FACTORY-BUILT FIREPLACE, SHALL HAVE A SUPPLY OF COMBUSTION AIR FROM OUTDOORS IN ACCORDANCE WITH SENTENCES (2) TO (7).
2. THE COMBUSTION AIR SHALL BE SUPPLIED BY A NONCOMBUSTIBLE AND CORROSION-RESISTANT SUPPLY DUCT.
3. THE SUPPLY DUCT SHALL HAVE
a) A DIAMETER OR NOT LESS THAN 100mm (4") OR EQUIVALENT AREA, AND
b) AN EXTERIOR INTAKE FOR ENTRY OF AIR FROM THE OUTDOORS.
4. THE SUPPLY DUCT SHALL CONTAIN A TIGHT-FITTING DAMPER THAT SHALL BE LOCATED CLOSE TO THE INTERIOR OUTLET AND BE OPERABLE FROM THE ROOM CONTAINING THE FIREPLACE.
5. THE OPERATING MECHANISM SHALL CLEARLY INDICATE THE ACTUAL POSITION OF THE DAMPER.
6. THE INTERIOR OUTLET WALL SHALL
a) BE LOCATED AS CLOSE AS POSSIBLE TO THE OPENING IN THE FACE OF THE FIREPLACE, AND
b) BE DESIGNED TO PREVENT EMBERS FROM ENTERING THE SUPPLY DUCT.
9.22.2 FIREPLACE LINERS
9.22.1.1 BRICK OR STEEL LINERS
1. EXCEPT WHERE FIREPLACE IS EQUIPPED WITH A STEEL LINER, EVERY FIREPLACE SHALL HAVE A FIREBRICK LINER.
9.22.0.1 FIREBRICK LINERS
1. FIREPLACE LINERS SHALL BE NOT LESS THAN
a) 50mm (2") THICK FOR THE SIDES AND BACK, AND
b) 25mm (1") THICK FOR THE FLOOR.
2. FIREBRICK LINERS SHALL BE LAID IN HIGH TEMPERATURE CEMENT MORTAR CONFORMING TO CAN.CGSB-10.3, "AIR SETTING REFRACTORY MORTAR".
3. JOINTS BETWEEN A FIREBRICK LINER AND THE ADJACENT BACK-UP MASONRY SHALL BE OFFSET.
9.22.0.1 STEEL LINERS
1. STEEL LINERS FOR FIREPLACES SHALL CONFORM TO CAN/ULC-S639mm, "STEEL LINER ASSEMBLIES FOR SOLID-FUEL BURNING MASONRY FIREPLACES", AND SHALL BE INSTALLED IN ACCORDANCE WITH THE INSULATION INSTRUCTIONS IN THAT STANDARD.

ABBREVIATION LIST

Table with 2 columns: Abbreviation and Full Name. Includes entries like AB ANCHOR BOLT, AC AIR CONDITIONING, ACST ACUSTIC TILE, ADT ADJUSTABLE, ADH ADHESIVE, etc.

ARCHITECTURAL SYMBOLS

Table with 4 columns: Symbol, Description, Symbol, Description. Includes symbols for EP ELECTRICAL/HYDRO/FUSE PANEL, CMA CARBON MONOXIDE DETECTOR, S SMOKE ALARM, etc.

ABBREVIATION LIST

Table with 2 columns: Abbreviation and Full Name. Includes entries like GYBD GYPSUM BOARD, HB HOSE BIBB, HVAC HEATING/VENTILATION/AIR/CON., HDWD HARDWOOD, etc.

ONTARIO BUILDING CODE NOTES - MULTIPLEX

DEFINITIONS
CONFORMING TO OBC DIV A PART 1 - 1.4.1.2
DWELLING UNIT: MEANS A SUITE OPERATED AS A HOUSEKEEPING UNIT, USED OR INTENDED TO BE USED BY ONE OR MORE PERSONS AND USUALLY CONTAINING COOKING, EATING, LIVING, SLEEPING AND SANITARY FACILITIES
HOUSE: MEANS A DETACHED HOUSE, SEMI-DETACHED HOUSE OR ROW HOUSE SPACING NOT MORE THAN TWO DWELLING UNIT. (I.E MAX IS A DUPLEX)
MEANS OF EGRESS: INCLUDES EXITS AND ACCESS TO EXITS AND MEANS OF A CONTINUOUS PATH OF TRAVEL PROVIDED FOR THE ESCAPE OF PERSONS FROM ANY POINT IN A BUILDING OR IN A CONTAINED OPEN SPACE TO,
(A) A SEPARATE BUILDING,
(B) AN OPEN PUBLIC THROUGHFARE, OR
(C) AN EXTERIOR OPEN SPACE THAT IS PROTECTED FROM FIRE EXPOSURE FROM THE BUILDING AND THAT HAS ACCESS TO AN OPEN PUBLIC THROUGHFARE.

ROOM SIZE CALCULATIONS

CONFORMING TO OBC 9.5.4 TO 9.5.8.

Table with 2 main sections: SINGLE AREAS and COMBINED AREAS. Each section has columns for ROOM, MINIMUM AREAS, and 1 BED / 2 or MORE BEDS with sub-columns for M2 and SQFT.

CEILING HEIGHTS

CONFORMING TO OBC 9.5.3.1

Table with 2 main sections: PART 9 (NEW BUILDS) and PART 11 (RENOVATION) - ANY ROOM. Each section has columns for ROOM, CEILING HEIGHT, and MINIMUM with sub-columns for CM, IN, CM, IN.

CEILING HEIGHTS

CONFORMING TO PART 11 C102

Table with 2 main sections: PART 11 (RENOVATION) - ANY ROOM. Each section has columns for MEANS OF EGRESS, 50%, and MINIMUM with sub-columns for CM, IN, CM, IN.

GLAZING AREAS FOR ROOMS

CONFORMING TO OBC TABLE 9.7.2.3.

Table with 2 main sections: PART 9 (NEW BUILDS) and PART 11 (RENOVATIONS). Each section has columns for ROOM, MIN. GLAZ. W/O ELECTRIC, and MIN. GLAZ. W ELECTRIC.

GLAZING AREAS FOR ROOMS

CONFORMING TO PART 11 C107

WHERE WINDOWS ARE USED AS MEANS OF EGRESS AND WHERE THEY DO NOT CONFLICT WITH VENTILATION REQUIREMENTS, THE MINIMUM GLASS AREAS AS SHOWN IN TABLE 9.7.2.3 MAY BE REDUCED BY 50%

Table with 2 main sections: PART 11 (RENOVATIONS). Each section has columns for ROOM, MIN. GLAZ. W/O ELECTRIC, and MIN. GLAZ. W ELECTRIC.

CITY ELECTRONIC STAMP:



GENERAL NOTES:
1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" x 36"
2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BORN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
5. USE LATEST REVISION DRAWINGS.
6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN INC. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT REID'S WRITTEN PERMISSION (REID ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE BORN NUMBER AND ORIGINAL SIGNATURE.)
8. BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

Table with 4 columns: NO., DATE, GENERAL DESCRIPTION, INITIALS. Includes entries for 01 2.AUG.2022 ISSUED FOR ENGINEERING JN and 02 15.AUG.2022 ISSUED FOR BUILDING PERMIT JN.

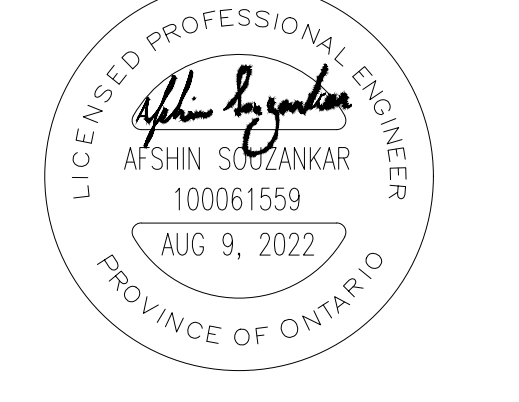
Table with 4 columns: NO., DATE, GENERAL DESCRIPTION, INITIALS. Includes entries for 01 2.AUG.2022 ISSUED FOR ENGINEERING JN and 02 15.AUG.2022 ISSUED FOR BUILDING PERMIT JN.

DESIGNER'S INFO
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF THE BUILDING CODE
HENRY M SILVA ROJAS 106163
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1 OF THE BUILDING CODE
ROJAS EMPIRE OF DESIGN INC 121589
FIRM NAME BCIN

STRUCTURAL ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:
AHMADI RESIDENCE
68 GILMOUR ROAD,
PUSLINCH, ON N0B 2J0

SHEET NAME:
PROPOSED GENERAL NOTES & OBC REQUIREMENTS
SCALE: AS NOTED

PROJECT NO. 2022-11 START DATE: 29.APR.2022
DRAWN BY: JONATHAN NETTA REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO.

A5.1

ARCHITECTURAL DRAWING INDEX

- A6.1 DRAWING NOTES, LEGENDS, AND SCHEDULES COVER PAGE
- A6.2 WALL TYPES - FOUNDATION WALLS AND INSULATION REQUIREMENTS
- A6.3 WALL TYPES - EXTERIOR WALLS
- A6.4 WALL TYPES - PARTITION TYPES & FURRING TYPES
- A6.5 FLOORING TYPES - SLABS, WOOD FRAMED FLOORS & FIRE RATED FLOORS
- A6.6 ROOF TYPES - PITCHED ROOF
- A6.7 ROOF TYPES - FLAT ROOF
- A6.8 ARCHITECTURAL HEX - FOUNDATION, FOOTINGS, SLABS, PORCH & GARAGE
- A6.9 ARCHITECTURAL HEX - MECHANICAL VENTILATION, FIREPLACES, STEEL, WOOD & CONCRETE IN CONTACT
- A6.10 ARCHITECTURAL HEX - STAIR, RAILINGS, INTERIOR & MISC. ITEMS
- A6.11 DOOR SCHEDULE - 80" HIGH SERIES
- A6.12 DOOR SCHEDULE - 96" HIGH SERIES
- A6.13 DOOR SCHEDULE - 90" HIGH SERIES



<small>DESIGNER'S INFO</small> <small>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER</small>		
<small>QUALIFICATION INFORMATION</small> <small>REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE</small>		
<small>NAME</small> HENRY M SILVA ROJAS	<small>SIGNATURE</small> 	<small>BCN</small> 106663
<small>REGISTRATION INFORMATION</small> <small>REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE</small>		
<small>FIRM NAME</small> ROJAS EMPIRE OF DESIGN INC	<small>BCN</small> 121689	

SHEET NAME:
**DRAWING NOTES, LEGENDS,
 AND SCHEDULES COVER PAGE**



LAST UPDATED
 DECEMBER 2021



DRAWN BY:
 JONATHAN NETTA


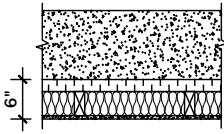
REVIEWED BY:
 HENRY M SILVA ROJAS


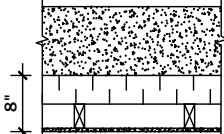
SHEET NO:



A6.1


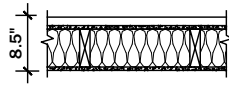

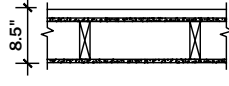

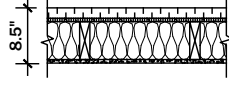



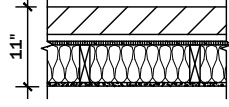

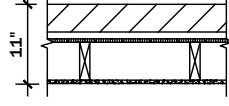

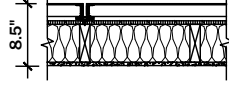



		<p>FOUNDATION WALL (9.15.)</p> <ul style="list-style-type: none"> POURED CONCRETE FOUNDATION WALL (SEE FOUNDATION PLAN STRUCTURAL NOTE FOR MPa STRENGTH, CONCRETE THICKNESS, AND REBAR REQUIREMENTS. PROVIDE SPRAY ON BITUMOUS DAMPPROOFING ON THE OUTSIDE OF THE FOUNDATION WALL BELOW GROUND LEVEL. (9.13.2.1) PROVIDE DRAINAGE LAYER (9.14.2.1): <ul style="list-style-type: none"> -3/4" (19mm) MINERAL FIBRE DRAINAGE LAYER, MINIMUM 57kg/m³ OR -MIN. 4" (100mm) OF FREE DRAINING GRANULAR BACKFILL MATERIAL IN LOCATIONS WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED. (9.13.3.) OMIT DAMPROOFING IF WATERPROOFING IS PROVIDED. PROVIDE PARING ON ALL EXPOSED CONCRETE ABOVE GRADE SEE HEX NOTE 1.1 FOR SILL PLATE DETAILS SEE HEX NOTE 1.2 FOR FLOOR HEADER DETAILS SEE HEX NOTE 1.3 FOR WEEPING TILE DETAILS SEE FOUNDATION PLAN STRUCTURAL NOTE FOR MINIMUM FOOTING DETAILS AND REQUIREMENTS. MIN FOOTING DEPTH TO BE 4'-0" BELOW GRADE 	<p>CITY ELECTRONIC STAMP:</p>
---	---	---	-------------------------------

		<p>FOUNDATION WALL - (PORCH & GARAGE)</p> <ul style="list-style-type: none"> POURED CONCRETE FOUNDATION WALL (SEE FOUNDATION PLAN STRUCTURAL NOTE FOR MPa STRENGTH, CONCRETE THICKNESS, AND REBAR REQUIREMENTS. PROVIDE SPRAY ON BITUMOUS DAMPPROOFING ON THE OUTSIDE OF THE FOUNDATION WALL BELOW GROUND LEVEL. (9.13.2.1) IN LOCATIONS WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED. (9.13.3.) OMIT DAMPROOFING IF WATERPROOFING IS PROVIDED. PROVIDE PARING ON ALL EXPOSED CONCRETE ABOVE GRADE SEE HEX NOTE 1.3 FOR WEEPING TILE DETAILS SEE FOUNDATION PLAN STRUCTURAL NOTE FOR MINIMUM FOOTING DETAILS AND REQUIREMENTS. MIN FOOTING DEPTH TO BE 4'-0" BELOW GRADE 	<p>TABLE OF CONTENTS</p> <ul style="list-style-type: none"> A6.1 DRAWING NOTES, LEGENDS, AND SCHEDULES COVER PAGE A6.2 WALL TYPES - FOUNDATION WALLS AND INSULATION REQUIREMENTS A6.3 WALL TYPES - EXTERIOR WALLS A6.4 WALL TYPES - PARTITION TYPES & FURRING TYPES A6.5 FLOORING TYPES - SLABS, WOOD FRAMED FLOORS & FIRE RATED FLOORS A6.6 ROOF TYPES - PITCHED ROOF A6.7 ROOF TYPES - FLAT ROOF A6.8 ARCHITECTURAL HEX - FOUNDATION WALL, FOOTING, SLABS, PORCH & GARAGE A6.9 ARCHITECTURAL HEX - MECHANICAL VENTILATION, FIREPLACES STEEL, WOOD & CONCRETE IN CONTACT A6.10 ARCHITECTURAL HEX - STAIR, RAILINGS, INTERIOR & MISCELLANEOUS ITEMS A6.11 INTERIOR DOOR SCHEDULE - 80" HIGH SERIES A6.12 INTERIOR DOOR SCHEDULE - 96" HIGH SERIES A6.13 INTERIOR DOOR SCHEDULE - 90" HIGH SERIES
---	---	--	---

		<p>BASEMENT INSULATION - OPTION 1 CONSTRUCTION</p> <ul style="list-style-type: none"> POURED CONCRETE FOUNDATION WALLS AS PER PLANS 2" THICK R10 CONTINUOUS INSULATION WRAP 2x4 SPF #2 WOOD STUDS @ 16" O.C. R14 MINERAL WOOL INSULATION IN STUD CAVITY 6 MIL POLY VAPOUR BARRIER, TAPE AND SEAL ALL JOINTS TO 3" ABOVE FLOOR IN BASEMENT 1/2" GYPSUM BOARD. TAPED AND MUD, PRIMED WITH MINIMUM 2 COATS OF PAINT (OMIT GYPSUM BOARD LAYER IF BASEMENT IS UNFINISHED) 	
---	--	---	--

		<p>BASEMENT INSULATION - OPTION 2 CONSTRUCTION</p> <ul style="list-style-type: none"> POURED CONCRETE FOUNDATION WALLS AS PER PLANS 4" THICK R20 CONTINUOUS INSULATION WRAP 2x4 SPF #2 WOOD STUDS @ 16" O.C. NO CAVITY INSULATION 6 MIL POLY VAPOUR BARRIER, TAPE AND SEAL ALL JOINTS TO 3" ABOVE FLOOR IN BASEMENT 1/2" GYPSUM BOARD. TAPED AND MUD, PRIMED WITH MINIMUM 2 COATS OF PAINT (OMIT GYPSUM BOARD LAYER IF BASEMENT IS UNFINISHED) 	
---	---	---	--

	<p>DESIGNER'S INFO THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER</p> <p>QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE</p> <p>HENRY M SILVA ROJAS  106663</p> <p>NAME SIGNATURE BCON</p> <p>REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE</p> <p>ROJAS EMPIRE OF DESIGN INC 121689</p> <p>FIRM NAME BCON</p>	<p>SHEET NAME: WALL TYPES - FOUNDATION WALLS AND INSULATION REQUIREMENTS</p>	<p>LAST UPDATED DECEMBER 2021</p> <p>DRAWN BY: JONATHAN NETTA</p> <p>REVIEWED BY: HENRY M SILVA ROJAS</p>	<p>SHEET NO: A6.2</p>
--	---	---	---	----------------------------------

		<p>EXTERIOR SIDING CONSTRUCTION</p> <ul style="list-style-type: none"> EXTERIOR SIDING AS PER ELEVATIONS SEE SIDING MANUFACTURER'S INSTRUCTIONS FOR REQUIRED FURRING. 1/2" (12.7mm) SPRUCE EXTERIOR PLYWOOD SHEATHING TYVEK (OR EQUAL) MOISTURE PROTECTION, LAYERS TO OVERLAP EACH OTHER 2x6 SPF #2 WOOD STUDS @ 16" o.c.; SINGLE SILL PLATE, DOUBLE TOP PLATE MINERAL WOOL INSULATION (R-VALUE AS PER HVAC) 6 MIL POLY VAPOUR BARRIER, TAPE & SEAL ALL JOINTS 1/2" (12.7mm) GYPSUM BOARD. TAPED, MUD PRIMED & MIN. 2 COATS PAINT 	<p>CITY ELECTRONIC STAMP:</p>
		<p>EXTERIOR SIDING CONSTRUCTION - (NO INSULATION)</p> <ul style="list-style-type: none"> SAME AS ABOVE <u>NO</u> MINERAL WOOL INSULATION 	
		<p>EXTERIOR STUCCO CONSTRUCTION</p> <ul style="list-style-type: none"> STUCCO APPLICATION AS PER MANUFACTURER 1" (25mm) RIGID INSULATION (R-5 MINIMUM) (SEE MANUF. REQUIREMENTS) "TYVEK" (OR EQUAL) MOISTURE PROTECTION, LAYERS TO OVERLAP EACH OTHER 1/2" (12.7mm) SPRUCE EXTERIOR PLYWOOD SHEATHING 2x6 SPF#2 WOOD STUDS @ 16" o.c.; SINGLE SILL PLATE, DOUBLE TOP PLATE FURR OUT AS REQUIRED BY MANUFACTURER MINERAL WOOL INSULATION (R-VALUE AS PER HVAC) 6 MIL POLY VAPOUR BARRIER, TAPE & SEAL ALL JOINTS 1/2" (12.7mm) GYPSUM BOARD. TAPED, MUD PRIMED & MIN. 2 COATS PAINT 	
		<p>EXTERIOR STUCCO CONSTRUCTION - (NO INSULATION)</p> <ul style="list-style-type: none"> SAME AS ABOVE <u>NO</u> MINERAL WOOL INSULATION 	<p>TABLE OF CONTENTS</p> <ul style="list-style-type: none"> A6.1 DRAWING NOTES, LEGENDS, AND SCHEDULES COVER PAGE A6.2 WALL TYPES - FOUNDATION WALLS AND INSULATION REQUIREMENTS A6.3 WALL TYPES - EXTERIOR WALLS A6.4 WALL TYPES - PARTITION TYPES & FURRING TYPES A6.5 FLOORING TYPES - SLABS, WOOD FRAMED FLOORS & FIRE RATED FLOORS A6.6 ROOF TYPES - PITCHED ROOF A6.7 ROOF TYPES - FLAT ROOF A6.8 ARCHITECTURAL HEX - FOUNDATION WALL, FOOTING, SLABS, PORCH & GARAGE A6.9 ARCHITECTURAL HEX - MECHANICAL VENTILATION, FIREPLACES STEEL, WOOD & CONCRETE IN CONTACT A6.10 ARCHITECTURAL HEX - STAIR, RAILINGS, INTERIOR & MISCELLANEOUS ITEMS A6.11 INTERIOR DOOR SCHEDULE - 80" HIGH SERIES A6.12 INTERIOR DOOR SCHEDULE - 96" HIGH SERIES A6.13 INTERIOR DOOR SCHEDULE - 90" HIGH SERIES
		<p>EXTERIOR STONE / BRICK CONSTRUCTION</p> <ul style="list-style-type: none"> 3" THICK LIMESTONE VENEER AS PER ELEVATIONS INSTALLED w/ GALVANIZED METAL TIES COLOUR TBD BY OWNER PRIOR TO CONSTRUCTION UNOBSTRUCTED WEEP SYSTEM @24" o.c. WITH MORTAR DRIP CONTROL IN 1" AIR SPACE 1" (25mm) RIGID INSULATION (R-5) w/ ALL SEAMS TAPED "TYVEK" (OR EQUAL) MOISTURE PROTECTION, LAYERS TO OVERLAP EACH OTHER 1/2" (12.7mm) SPRUCE EXTERIOR PLYWOOD SHEATHING 2x6 SPF #2 WOOD STUDS @ 16" o.c.; SINGLE SILL PLATE, DOUBLE TOP PLATE MINERAL WOOL INSULATION (R-VALUE AS PER HVAC) 6 MIL POLY VAPOUR BARRIER, TAPE & SEAL ALL JOINTS 1/2" (12.7mm) GYPSUM BOARD. TAPED, MUD PRIMED & MIN. 2 COATS PAINT 	
		<p>EXTERIOR STONE / BRICK CONSTRUCTION (NO INSULATION)</p> <ul style="list-style-type: none"> SAME AS ABOVE <u>NO</u> MINERAL WOOL INSULATION 	
		<p>EXTERIOR METAL SIDING CONSTRUCTION</p> <ul style="list-style-type: none"> METAL PANELS TO BE INSTALLED AS PER MANUFACTURER'S INSTALLATION METHODS "TYVEK" (OR EQUAL) MOISTURE PROTECTION, LAYERS TO OVERLAP EACH OTHER 1/2" (12.7mm) SPRUCE EXTERIOR PLYWOOD SHEATHING 2x6 SPF#2 WOOD STUDS @ 16" o.c.; SINGLE SILL PLATE, DOUBLE TOP PLATE + FURR OUT AS REQ'D MINERAL WOOL INSULATION (R-VALUE AS PER HVAC) 6 MIL POLY VAPOUR BARRIER, TAPE/SEAL ALL JOINTS 1/2" (12.7mm) GYPSUM BOARD. TAPED, MUD PRIMED & MIN. 2 COATS PAINT <p>REFER TO MANUFACTURER SPECIFICATION</p>	
		<p>EXTERIOR METAL SIDING CONSTRUCTION (NO INSULATION)</p> <ul style="list-style-type: none"> SAME AS ABOVE <u>NO</u> MINERAL WOOL INSULATION 	
	<p>EXPOSED BUILDING FACE W/ LIMITING DISTANCE <=3'-11" (1.20m) WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CAN/ULC-S702 AND HAVING A MASS OF NOT LESS THAN 1.22 kg/m2 OF WALL SURFACE AND 1/2" TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES AND CONFORMING TO O.B.C. (9.10.14. & 9.10.15.). REFER TO DETAILS FOR TYPE & SPECIFICATIONS.</p>		



DESIGNER'S INFO
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS  106663
NAME SIGNATURE BCN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC 121689
FIRM NAME BCN


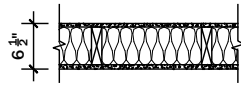

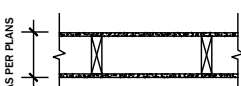



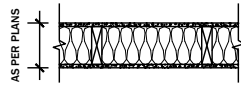







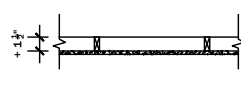

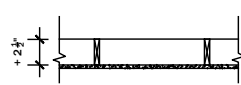

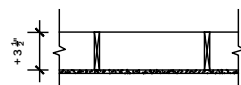


SHEET NAME:
WALL TYPES - EXTERIOR WALLS

LAST UPDATED
DECEMBER 2021

DRAWN BY:
JONATHAN NETTA

REVIEWED BY:
HENRY M SILVA ROJAS

SHEET NO:
A6.3

		<p>INTERIOR INSULATED WALL CONSTRUCTION (GARAGE)</p> <ul style="list-style-type: none"> • 1/2" GYPSUM BOARD WARM SIDE • 2x6 SPF #2 WOOD STUDS @ 16" o.c. • 1/2" GYPSUM BOARD ON COLD SIDE & CEILING • R31 SPRAY FOAM INSULATION IN WALLS AND IN CEILING (ENSURE 2 LBS DENSITY OR GREATER CLOSED CELL INSULATION) • TAPE AND SEAL ALL JOINTS IN ORDER TO BE GAS/FUMES TIGHT. • PRIMED & MIN. 2 COATS OF PAINT ON INTERIOR SIDE 	<p>CITY ELECTRONIC STAMP:</p>
		<p>INTERIOR WALL CONSTRUCTION (2x4, 2x6 or 2x8) (4 1/2", 6 1/2", 8 1/2")</p> <ul style="list-style-type: none"> • 1/2" GYPSUM BOARD EACH SIDE, TAPED & MUD PRIMED & MIN. 2 COATS OF PAINT • 2x4/2x6/2x8 (AS DIMENSIONED IN FLOOR PLAN) SPF #2 WOOD STUDS @ 16" o.c. • PROVIDE SINGLE BOTTOM PLATE & DOUBLE TOP PLATE. • PROVIDE 2x6 WOOD BLOCKING IN JOISTS BELOW AT 3'-11" O.C. MAX B/W FLOOR JOISTS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS 	<p>TABLE OF CONTENTS</p> <ul style="list-style-type: none"> A6.1 DRAWING NOTES, LEGENDS, AND SCHEDULES COVER PAGE A6.2 WALL TYPES - FOUNDATION WALLS AND INSULATION REQUIREMENTS A6.3 WALL TYPES - EXTERIOR WALLS A6.4 WALL TYPES - PARTITION TYPES & FURRING TYPES A6.5 FLOORING TYPES - SLABS, WOOD FRAMED FLOORS & FIRE RATED FLOORS A6.6 ROOF TYPES - PITCHED ROOF A6.7 ROOF TYPES - FLAT ROOF A6.8 ARCHITECTURAL HEX - FOUNDATION WALL, FOOTING, SLABS, PORCH & GARAGE A6.9 ARCHITECTURAL HEX - MECHANICAL VENTILATION, FIREPLACES STEEL, WOOD & CONCRETE IN CONTACT A6.10 ARCHITECTURAL HEX - STAIR, RAILINGS, INTERIOR & MISCELLANEOUS ITEMS A6.11 INTERIOR DOOR SCHEDULE - 80" HIGH SERIES A6.12 INTERIOR DOOR SCHEDULE - 96" HIGH SERIES A6.13 INTERIOR DOOR SCHEDULE - 90" HIGH SERIES
		<p>INTERIOR DECORATIVE VOID WALL (FURR.) CONSTRUCTION</p> <ul style="list-style-type: none"> • 1/2" GYPSUM BOARD EACH SIDE, TAPED & MUD PRIMED & MIN. 2 COATS OF PAINT • 2"x(#)" SPF #2 WOOD STUDS @ 16" o.c. (AS DIMENSIONED IN FLOOR PLAN) • PROVIDE SINGLE BOTTOM PLATE & DOUBLE TOP PLATE. • PROVIDE 2x6 WOOD BLOCKING IN JOISTS BELOW AT 3'-11" O.C. MAX B/W FLOOR JOISTS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS 	
		<p>INTERIOR NOISE CANCELING WALL CONSTRUCTION</p> <ul style="list-style-type: none"> • SAME AS P1 WITH ADDED SOUND PROOF INSULATION IN STUD CAVITY 	
		<p>INTERIOR FEATURE WALL CONSTRUCTION</p> <ul style="list-style-type: none"> • SPECIAL FINISH MATERIAL AS PER PLAN ON EACH SIDE • 1/2" GYPSUM BOARD EACH SIDE, TAPED & MUD PRIMED & MIN. 2 COATS OF PAINT • 2"x(#)" SPF #2 WOOD STUDS @ 16" o.c. (AS DIMENSIONED IN FLOOR PLAN) • PROVIDE SINGLE BOTTOM PLATE & DOUBLE TOP PLATE. • PROVIDE 2x6 WOOD BLOCKING IN JOISTS BELOW AT 3'-11" O.C. MAX B/W FLOOR JOISTS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS 	
		<p>OBC WALL ASSEMBLY : W4A FRR: 1HR STC: 51</p> <ul style="list-style-type: none"> • 1 LAYER 5/8" TYPE X GYPSUM BOARD ON ONE SIDE • MIN. 2x4 WOOD STUD SPACED 16" O.C W/ 3.5" THICK ABSORPTIVE MATERIAL • RESILIENT METAL CHANNELS SPACED 16" O.C • 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE 	
		<p>INTERIOR STUD FURRING</p> <ul style="list-style-type: none"> • ADD 1x1 @ 16" o.c. FURRING STRIPS APPLIED TO NOTED WALL CONSTRUCTION AS SUBSTRATE FOR FINISH MATERIAL. (ADDS 3/4" TO OVERALL WALL THICKNESS) 	
		<p>INTERIOR STUD FURRING</p> <ul style="list-style-type: none"> • ADD 1x2 @ 16" o.c. FURRING STRIPS APPLIED TO NOTED WALL CONSTRUCTION AS SUBSTRATE FOR FINISH MATERIAL. (ADDS 1 1/2" TO OVERALL WALL THICKNESS) 	
		<p>INTERIOR STUD FURRING</p> <ul style="list-style-type: none"> • ADD 1x3 @ 16" o.c. FURRING STRIPS APPLIED TO NOTED WALL CONSTRUCTION AS SUBSTRATE FOR FINISH MATERIAL. (ADDS 2 1/2" TO OVERALL WALL THICKNESS) 	
		<p>INTERIOR STUD FURRING</p> <ul style="list-style-type: none"> • ADD 1x4 @ 16" o.c. FURRING STRIPS APPLIED TO NOTED WALL CONSTRUCTION AS SUBSTRATE FOR FINISH MATERIAL. (ADDS 3 1/2" TO OVERALL WALL THICKNESS) 	
		<p>INTERIOR STUD FURRING</p> <ul style="list-style-type: none"> • ADD 1x6 @ 16" o.c. FURRING STRIPS APPLIED TO NOTED WALL CONSTRUCTION AS SUBSTRATE FOR FINISH MATERIAL. (ADDS 5 1/2" TO OVERALL WALL THICKNESS) 	



DESIGNER'S INFO
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS  106663
NAME SIGNATURE BORN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC. 121689
FIRM NAME BORN


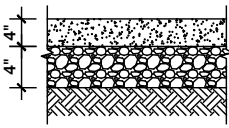

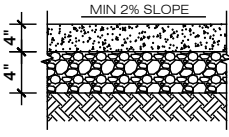

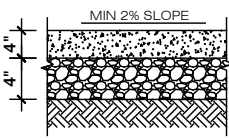

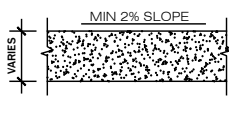


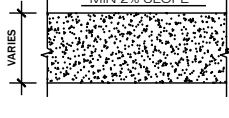

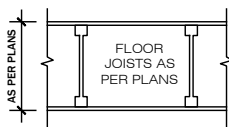

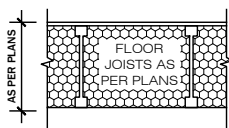

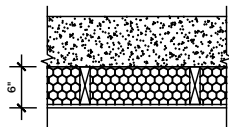
SHEET NAME:
WALL TYPES - PARTITION TYPES & FURRING TYPES

LAST UPDATED
DECEMBER 2021

DRAWN BY:
JONATHAN NETTA

REVIEWED BY:
HENRY M SILVA ROJAS


SHEET NO:
A6.4

		<p><u>BASEMENT FLOOR SLAB ON GRADE</u></p> <ul style="list-style-type: none"> 4" THICK, 25 MPa CONCRETE FLOOR SLAB ON 4" COARSE GRANULAR FILL WITH COMPACTED SUB-BASE WHERE APPLICABLE, PROVIDE MINIMUM 2% SLOPE TOWARDS DRAINS 	<p>CITY ELECTRONIC STAMP:</p>
		<p><u>GARAGE FLOOR SLAB ON GRADE (UNEXCAVATED BELOW)</u></p> <ul style="list-style-type: none"> 4" THICK, 32 MPa CONCRETE FLOOR SLAB WITH MINIMUM 2% SLOPE TOWARDS OUTDOORS (OR DRAINS IF PROVIDED) 5%-8% AIR ENTRAINMENT OPTIONAL 6x6xW2.9xW2.9 WIRE MESH PLACED NEAR MID-DEPTH OF SLAB. ON 4" COARSE GRANULAR FILL WITH COMPACTED SUB-BASE) 	
		<p><u>CONCRETE PORCH SLAB ON GRADE (UNEXCAVATED BELOW)</u></p> <ul style="list-style-type: none"> 4" THICK, 32 MPa CONCRETE FLOOR SLAB WITH MINIMUM 2% SLOPE TOWARDS OUTDOORS (OR DRAINS IF PROVIDED) 5%-8% AIR ENTRAINMENT OPTIONAL 6x6xW2.9xW2.9 WIRE MESH PLACED NEAR MID-DEPTH OF SLAB. ON 4" COARSE GRANULAR FILL WITH COMPACTED SUB-BASE) 	
		<p><u>ENGINEERED CONCRETE PORCH SLAB (REINFORCED SLAB)</u></p> <p>8" THK. CONC. SLAB WITH 15M@8" O/C BOTTOM REBARS BOTH WAYS & 15M@12" O/C TOP REBARS BOTH WAYS, 35 MPa CONC., 5% - 8% AIR ENTRAINMENT. ALSO INSTALL 15M@12" O/C PERIMETER TOP DOWELS AS SHOWN:</p> 	<p>TABLE OF CONTENTS</p>
		<p><u>COLD ROOM PORCH SLAB (SUSPENDED)</u></p> <ul style="list-style-type: none"> FOR MAX 8'-2" PORCH DEPTH, PROVIDE A 5" THICK, 32 MPa CONCRETE FLOOR SLAB WITH MINIMUM 2% SLOPE TOWARDS OUTDOORS. IF GREATER THAN 8'-2" DEPTH, SEE ENGINEER'S STRUCTURAL NOTES. REINFORCED w/ 10M BARS AT 7 7/8" (200mm) O.C. EACH DIRECTION w/ 1 1/4" CLEAR COVER FROM THE BOTTOM OF SLAB TO THE FIRST LAYER OF BARS, & THE SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF THE LOWER LAYER IN THE OPPOSITE DIRECTION. (OBC 9.39) 5%-8% AIR ENTRAINMENT 	<p>A6.1 DRAWING NOTES, LEGENDS, AND SCHEDULES COVER PAGE</p> <p>A6.2 WALL TYPES - FOUNDATION WALLS AND INSULATION REQUIREMENTS</p> <p>A6.3 WALL TYPES - EXTERIOR WALLS</p> <p>A6.4 WALL TYPES - PARTITION TYPES & FURRING TYPES</p> <p>A6.5 FLOORING TYPES - SLABS, WOOD FRAMED FLOORS & FIRE RATED FLOORS</p> <p>A6.6 ROOF TYPES - PITCHED ROOF</p> <p>A6.7 ROOF TYPES - FLAT ROOF</p> <p>A6.8 ARCHITECTURAL HEX - FOUNDATION WALL, FOOTING, SLABS, PORCH & GARAGE</p> <p>A6.9 ARCHITECTURAL HEX - MECHANICAL VENTILATION, FIREPLACES STEEL, WOOD & CONCRETE IN CONTACT</p> <p>A6.10 ARCHITECTURAL HEX - STAIR, RAILINGS, INTERIOR & MISCELLANEOUS ITEMS</p> <p>A6.11 INTERIOR DOOR SCHEDULE - 80" HIGH SERIES</p> <p>A6.12 INTERIOR DOOR SCHEDULE - 96" HIGH SERIES</p> <p>A6.13 INTERIOR DOOR SCHEDULE - 90" HIGH SERIES</p>
		<p><u>WOOD FLOOR CONSTRUCTION AT TYPICAL ASSEMBLY</u></p> <ul style="list-style-type: none"> 5/8" T&G SPRUCE PLYWOOD SHEATHING SUBFLOOR GLUED AND NAILED TO WOOD FLOOR JOISTS 11-7/8" ENGINEERED FLOOR JOISTS AS PER LUMBER DRAWINGS 2x2 CROSS BRIDGING @ MAXIMUM 7'-0" SPACING THIS NOTE TO BE READ IN CONJUNCTION WITH THE LUMBER DRAWINGS. ENSURE MIN. 600mm CLEARANCE PROVIDED BELOW JOISTS (9.3.2.9.). 6 MIL POLY VAPOUR BARRIER, TAPE & SEAL ALL JOINTS. IF 2LB OR GREATER CLOSED CELL INSULATION IS INSTALLED THEN A VAPOUR BARRIER IS NOT REQUIRED <p>*IF FL1 IS BEING INSTALLED ABOVE AN UNHEATED GARAGE SPACE, ENSURE REQUIRED INSULATION IS PROVIDED IN CEILING (R-VALUE AS PER HVAC PACKAGE) AND TAPE AND SEAL ALL JOINTS GAS TIGHT.</p>	
		<p><u>WOOD FLOOR CONSTRUCTION AT PIER TYPE FOUNDATION SYSTEM</u></p> <ul style="list-style-type: none"> 5/8" T&G SPRUCE PLYWOOD SHEATHING SUBFLOOR GLUED AND NAILED TO WOOD FLOOR JOISTS 11-7/8" ENGINEERED FLOOR JOISTS AS PER LUMBER DRAWINGS 2x2 CROSS BRIDGING @ MAXIMUM 7'-0" SPACING THIS NOTE TO BE READ IN CONJUNCTION WITH THE LUMBER DRAWINGS. PROVIDE R31 SPRAY FOAM INSULATION IN JOIST CAVITY ENSURE MIN. 600mm CLEARANCE PROVIDED BELOW JOISTS (9.3.2.9.). 6 MIL POLY VAPOUR BARRIER, TAPE & SEAL ALL JOINTS. IF 2LB OR GREATER CLOSED CELL INSULATION IS INSTALLED THEN A VAPOUR BARRIER IS NOT REQUIRED 	
		<p><u>CEILING JOISTS BELOW SUSPENDED SLAB TO HOLD INSULATION</u></p> <ul style="list-style-type: none"> 2x6 @ 16" o.c. CEILING JOISTS (NON-STRUCTURAL) INSTALLED BELOW SLAB TO HOLD REQUIRED INSULATION. SUPPORT JOISTS FROM SLAB AT MIDSPAN FOR ADDITIONAL SUPPORT PROVIDE R31 2LB OR GREATER CLOSED CELL SPRAY FOAM INSULATION IN THE JOIST CAVITY. 1/2" GYPSUM BOARD. TAPED & MUD, PRIMED & MIN. 2 COATS OF PAINT (DO NOT ADD GYPSUM BOARD TO BASEMENT CEILING IF UNFINISHED) 	



DESIGNER'S INFO
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS  106623
NAME SIGNATURE BORN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC. 121689
FIRM NAME BORN


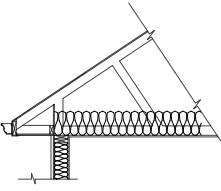

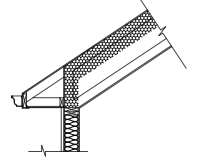

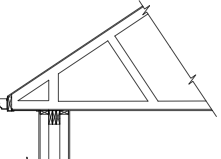

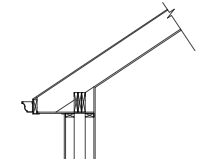
SHEET NAME:
FLOORING TYPES - SLABS, WOOD FRAMED FLOORS & FIRE RATED FLOORS




LAST UPDATED
DECEMBER 2021

DRAWN BY:
JONATHAN NETTA

REVIEWED BY:
HENRY M SILVA ROJAS

SHEET NO:
A6.5

	 <p>*OMIT INSULATION, VAPOUR BARRIER & GYPSUM BOARD IF BEING INSTALLED AT GARAGE LOCATION</p>	<p><u>PITCHED ROOF ABOVE HEATED SPACE WITH ATTIC (VENTED)</u></p> <ul style="list-style-type: none"> • ROOF FINISH AS PER ELEVATIONS WITH ROOFING UNDERLAYMENT / EAVES PROTECTION. APPROVED EAVES PROTECTION TO EXTEND 3'-0" FROM EDGE OF ROOF AND MIN. 12" BEYOND INNER FACE OF EXTERIOR WALL • PRE-FINISHED ALUMINUM EAVESTROUGH, DOWNSPOUT, FASCIA AND VENTED SOFFIT • 3/4" EXTERIOR GRADE PLYWOOD SHEATHING WITH "H" CLIPS ON • APPROVED WOOD TRUSSES OR ROOF FRAMING AS PER PLANS • PROVIDE ATTIC VENTILATION 1/300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES AND MIN. 25% AT THE TOP OF THE SPACE • MINERAL WOOL INSULATION (R-VALUE AS PER HVAC PACKAGE) • 6 MIL POLY VAPOUR BARRIER, TAPE & SEAL ALL JOINTS. • 1/2" GYPSUM BOARD CEILING, TAPED & MUD, PRIMED & MIN. 2 COATS OF PAINT 	<p>CITY ELECTRONIC STAMP:</p>
	 <p>*OMIT INSULATION, VAPOUR BARRIER & GYPSUM BOARD IF BEING INSTALLED AT GARAGE LOCATION</p>	<p><u>PITCHED ROOF ABOVE HEATED SPACE WITH CATHEDRAL CEILING CONDITION (UNVENTED)</u></p> <ul style="list-style-type: none"> • ROOF FINISH AS PER ELEVATIONS WITH ROOFING UNDERLAYMENT / EAVES PROTECTION. APPROVED EAVES PROTECTION TO EXTEND 3'-0" FROM EDGE OF ROOF AND MIN. 12" BEYOND INNER FACE OF EXTERIOR WALL • PRE-FINISHED ALUMINUM EAVESTROUGH, DOWNSPOUT, FASCIA AND UNVENTED SOFFIT • 3/4" EXTERIOR GRADE PLYWOOD SHEATHING WITH "H" CLIPS ON • APPROVED WOOD TRUSSES OR ROOF FRAMING AS PER PLANS • SPRAY FOAM INSULATION (R-VALUE AS PER HVAC PACKAGE) • 6 MIL POLY VAPOUR BARRIER, TAPE & SEAL ALL JOINTS. • 1/2" GYPSUM BOARD CEILING, TAPED & MUD, PRIMED & MIN. 2 COATS OF PAINT 	<p>TABLE OF CONTENTS</p>
		<p><u>PITCHED ROOF ABOVE UNHEATED SPACE WITH ATTIC (VENTED)</u></p> <ul style="list-style-type: none"> • SAME AS R1 • OMIT INSULATION • OMIT 1/2" DRYWALL CEILING AND REPLACE WITH PREFINISHED ALUMINUM VENTED SOFFIT 	<p>A6.1 DRAWING NOTES, LEGENDS, AND SCHEDULES COVER PAGE</p>
		<p><u>PITCHED ROOF ABOVE UNHEATED SPACE WITH CATHEDRAL CEILING CONDITION (VENTED)</u></p> <ul style="list-style-type: none"> • SAME AS R2 • OMIT INSULATION • OMIT 1/2" DRYWALL CEILING AND REPLACE WITH PREFINISHED ALUMINUM VENTED SOFFIT 	<p>A6.2 WALL TYPES - FOUNDATION WALLS AND INSULATION REQUIREMENTS</p>

-  **EAVESTROUGHS**
5" WIDE ALUMINIUM / PREFINISHED ALUMINIUM EAVESTROUGH (COLOUR TO BE DETERMINED). SLOPE EAVESTROUGH TOWARDS DOWNSPOUT.
-  **DOWNSPOUTS**
3" x 4" PRE-FINISHED ALUMINIUM DOWNSPOUT (DOWNPIPE ROUTING TO BE DISCUSSED w/ CONTRACTOR PRIOR TO INSTALLATION) DOWNSPOUT TO EXPEL WATER TO EXTERIOR USING A SPLASH PAD ON GRADE. NO CONNECTION TO STORM OR SEWER.
-  **ICE & WATER SHIELD**
PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (150). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (300).

TYPICAL ROOF NOTES

NOTE 1:

- REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.
- CONTRACTOR NOT TO ORDER TRUSSES FROM MANUFACTURER UNTIL ALL EXISTING SITE MEASUREMENTS HAVE BEEN VERIFIED AGAINST THE TRUSS LAYOUT AND MEMBER CALCULATION SHEETS. TRUSS MANUFACTURER TO PAY A SITE VISIT TO MEASURE PRIOR TO ORDERING.
- ALL LIGHTING LOCATIONS AND FIXTURE TYPES TO BE DETERMINED BEFORE CONSTRUCTION BETWEEN OWNER AND GENERAL CONTRACTOR

NOTE 2: ROOF FRAMING INFORMATION

- ALL GIRDER TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY STRUCTURAL P.ENG. REFER TO P. ENG SPEC SHEETS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON TRUSS PLANS.

NOTE 3:

- FOR TRUSSES WITH A SPAN GREATER THAN 40' FEET, WALLS TO BE 2"x6" @ 12" O/C W/ DOUBLE TOP PLATE AND 4 LINES OF SOLID BRIDGING FOR MAIN AND SECOND FLOOR.**

A6.3 WALL TYPES - EXTERIOR WALLS

A6.4 WALL TYPES - PARTITION TYPES & FURRING TYPES

A6.5 FLOORING TYPES - SLABS, WOOD FRAMED FLOORS & FIRE RATED FLOORS

A6.6 ROOF TYPES - PITCHED ROOF

A6.7 ROOF TYPES - FLAT ROOF

A6.8 ARCHITECTURAL HEX - FOUNDATION WALL, FOOTING, SLABS, PORCH & GARAGE



A6.9 ARCHITECTURAL HEX - MECHANICAL VENTILATION, FIREPLACES STEEL, WOOD & CONCRETE IN CONTACT

A6.10 ARCHITECTURAL HEX - STAIR, RAILINGS, INTERIOR & MISCELLANEOUS ITEMS

A6.11 INTERIOR DOOR SCHEDULE - 80" HIGH SERIES

A6.12 INTERIOR DOOR SCHEDULE - 96" HIGH SERIES

A6.13 INTERIOR DOOR SCHEDULE - 90" HIGH SERIES

	<p><small>DESIGNER'S INFO</small> THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER</p> <p><small>QUALIFICATION INFORMATION</small> REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE</p> <p>HENRY M SILVA ROJAS  206623</p> <p>NAME SIGNATURE BCN</p> <p><small>REGISTRATION INFORMATION</small> REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE</p> <p>ROJAS EMPIRE OF DESIGN INC 121689</p> <p>FIRM NAME BCN</p>	<p>SHEET NAME: ROOF TYPES - PITCHED ROOF</p>	<p>LAST UPDATED DECEMBER 2021</p> <p>DRAWN BY: JONATHAN NETTA</p> <p>REVIEWED BY: HENRY M SILVA ROJAS</p>	<p>SHEET NO: A6.6</p>
--	--	---	---	----------------------------------

1.0 FOUNDATION WALLS, FOOTING, SLABS

CITY ELECTRONIC STAMP:

1.1 SILL PLATES (9.23.7)

2"x6" (38x140) SILL PLATE WITH 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 7'-10" (2400) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED

1.2 HEADER CONSTRUCTION

PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (150) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 6" (150) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED. INSTALL R31 INSULATION AROUND HEADER PERIMETER ONLY.

1.3 WEEPING TILE (9.14.3)

4" (100) Ø CORRUGATED PLASTIC WEEPING TILE TO BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB AND SHALL BE COVERED WITH FILTER CLOTH WRAP AND 6" (150) CRUSHED STONE. WEEPING TILE SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH OR SUMP PUMP.

1.4 STEP FOOTING (9.15.3.9)

MIN HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).

1.5 UNSUPPORTED FOUNDATION WALLS (9.15.4.2)

SEE BASEMENT PLAN STRUCTURAL NOTES FOR REQUIRED REINFORCING AT UNSUPPORTED STAIRS WALL
SEE BASEMENT PLAN STRUCTURAL NOTES FOR REQUIRED REINFORCING AROUND BASEMENT WINDOWS

1.6 FOUNDATION REDUCTION IN THICKNESS FOR MASONRY

WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING, THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7 7/8" (200) VERTICAL AND 2'-11" (900) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3))

1.7 FOUNDATION REDUCTION IN THICKNESS FOR JOISTS

WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1))

1.8 WINDOW WELLS (9.17.14)

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.7.1.4., 9.14.6.3.)

TABLE OF CONTENTS

A6.1	DRAWING NOTES, LEGENDS, AND SCHEDULES COVER PAGE
A6.2	WALL TYPES - FOUNDATION WALLS AND INSULATION REQUIREMENTS
A6.3	WALL TYPES - EXTERIOR WALLS
A6.4	WALL TYPES - PARTITION TYPES & FURRING TYPES
A6.5	FLOORING TYPES - SLABS, WOOD FRAMED FLOORS & FIRE RATED FLOORS
A6.6	ROOF TYPES - PITCHED ROOF
A6.7	ROOF TYPES - FLAT ROOF
A6.8	ARCHITECTURAL HEX - FOUNDATION WALL, FOOTING, SLABS, PORCH & GARAGE
A6.9	ARCHITECTURAL HEX - MECHANICAL VENTILATION, FIREPLACES STEEL, WOOD & CONCRETE IN CONTACT
A6.10	ARCHITECTURAL HEX - STAIR, RAILINGS, INTERIOR & MISCELLANEOUS ITEMS
A6.11	INTERIOR DOOR SCHEDULE - 80" HIGH SERIES
A6.12	INTERIOR DOOR SCHEDULE - 96" HIGH SERIES
A6.13	INTERIOR DOOR SCHEDULE - 90" HIGH SERIES

2.0 PORCH & GARAGE

2.1 GARAGE & PORCH PRE-CAST STEPS

PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. SEE ARCHITECTURAL NOTE 5.1 FOR STAIRS REQUIREMENTS. FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

2.2 GARAGE DOOR TO HOUSE (9.10.9.16, 9.10.13.10, 9.10.13.15)

DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING.

GARAGE DOOR SIZING:

PROVIDE A 3'-0" WIDE x 1 3/4" THICK INSULATED MIN. R4 (RSI 0.7) SOLID CORE. HEIGHT TO BE CONSISTENT WITH THE REST OF THE INTERIOR DOORS ON THE SAME FLOOR LEVEL.



DESIGNER'S INFO THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER	
QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE	
HENRY M SILVA ROJAS	106623
NAME	SIGNATURE
REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE	
ROJAS EMPIRE OF DESIGN INC	121689
FIRM NAME	BCN

SHEET NAME:
**ARCHITECTURAL HEX NOTES 1
FOUNDATION WALL, FOOTING, SLAB
& GARAGE NOTES**

LAST UPDATED
DECEMBER 2021

DRAWN BY:
JONATHAN NETTA

REVIEWED BY:
HENRY M SILVA ROJAS

SHEET NO:

A6.8

3.0 MECHANICAL VENTILATION & FIREPLACE

CITY ELECTRONIC STAMP:

3.1 MECHANICAL LOCATION
LOCATION OF FURNACE, HOT WATER TANK, H.R.V., WATER DRAIN, SUMP PUMP, AND ELECTRICAL PANEL IS APPROXIMATE

3.2 FURNACE VENTING (9.32)
DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 6'-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE. ON EXTERIOR, PROVIDE A METAL GRILLE WITH INSECT SCREEN TO SUIT EXHAUST REQUIREMENTS.

3.3 MECHANICAL VENTILATION (9.32.1.3)
MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. ON EXTERIOR, PROVIDE A METAL GRILLE WITH INSECT SCREEN TO SUIT EXHAUST REQUIREMENTS.

3.4 DRYER EXHAUST (9.32)
CAPPED DRYER EXHAUST VENTED TO EXTERIOR. CONFORMING TO PART 6. ON EXTERIOR, PROVIDE A METAL GRILLE WITH INSECT SCREEN TO SUIT EXHAUST REQUIREMENTS.

3.5 RANGE HOODS & RANGE-TOP FANS (9.32.3.9, 9.32.3.10)
DUCTWORK FOR RANGE HOODS AND RANGE-TOP FANS SHALL BE OF NON-COMBUSTIBLE, CORROSION RESISTANT MATERIAL, INSTALLED WITH A GREASE FILTER AT THE INTAKE AND SHALL LEAD DIRECTLY TO THE OUTDOORS WITHOUT CONNECTION TO OTHER EXHAUST FANS OR DUCTS. ON EXTERIOR, PROVIDE A METAL GRILLE WITH INSECT SCREEN TO SUIT EXHAUST REQUIREMENTS.

3.6 FIREPLACE VENTING (9.32.3)
DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (300) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE. ON EXTERIOR, PROVIDE A METAL GRILLE WITH INSECT SCREEN TO SUIT EXHAUST REQUIREMENTS.

3.7 FIREPLACE CHIMNEYS
TOP OF FIREPLACE CHIMNEY SHALL BE 2'-11" (900) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2'-0" (600) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3000) FROM THE CHIMNEY.

TABLE OF CONTENTS

- A6.1 DRAWING NOTES, LEGENDS, AND SCHEDULES COVER PAGE
- A6.2 WALL TYPES - FOUNDATION WALLS AND INSULATION REQUIREMENTS
- A6.3 WALL TYPES - EXTERIOR WALLS
- A6.4 WALL TYPES - PARTITION TYPES & FURRING TYPES
- A6.5 FLOORING TYPES - SLABS, WOOD FRAMED FLOORS & FIRE RATED FLOORS
- A6.6 ROOF TYPES - PITCHED ROOF
- A6.7 ROOF TYPES - FLAT ROOF
- A6.8 ARCHITECTURAL HEX - FOUNDATION WALL, FOOTING, SLABS, PORCH & GARAGE
- A6.9 ARCHITECTURAL HEX - MECHANICAL VENTILATION, FIREPLACES STEEL, WOOD & CONCRETE IN CONTACT
- A6.10 ARCHITECTURAL HEX - STAIR, RAILINGS, INTERIOR & MISCELLANEOUS ITEMS
- A6.11 INTERIOR DOOR SCHEDULE - 80" HIGH SERIES
- A6.12 INTERIOR DOOR SCHEDULE - 96" HIGH SERIES
- A6.13 INTERIOR DOOR SCHEDULE - 90" HIGH SERIES

4.0 STEEL, WOOD & CONCRETE IN CONTACT

4.1 STEEL COLUMN @ FOUNDATION WALL BY P.ENG
STEEL COLUMN SIZED AS PER PLANS WITH STEEL TOP & BOTTOM PLATE. BASE PLATE WITH HOOK ANCHORS, FIELD WELD COLUMN TO BASE PLATE & STEEL BEAM REINFORCING AS PER ENGINEERS SPEC & STEEL SHOP DRAWINGS.

4.2 STEEL BASEMENT COLUMN & PIER FOOTING BY P.ENG
STEEL COLUMN SIZED AS PER PLANS w/ STEEL TOP & BOTTOM PLATE. FIELD WELD BASEMENT COLUMN CONNECTION. CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING REQUIRED MIN. PRESSURE. REINFORCING AS PER PLANS

4.3 DROPPED BEAM BEARING @ FOUNDATION WALL
BEAM POCKET, MIN. BEARING 4" (100). ENSURE THE POCKET HEIGHT IS SUFFICIENT FOR THE BEAM HEIGHT SIZED IN PLANS.

4.4 WOOD JOISTS BEARING ON DROPPED STEEL BEAM
• FOR DROPPED BEAMS, PROVIDE A 2x6 / 2x8 / 2x10 / 2x12 (DEPENDING ON BEAM WIDTH) SILL PLATE ON TOP OF THE STEEL BEAM. SILL PLATE TO BE ANCHORED TO THE BEAM WITH SIMPSON TB1475S @ 12" o.c STAGGERED ALONG THE BEAM LENGTH


4.5 BUILT-UP WOOD POST @ FOOTING
BUILT-UP WOOD POST SIZED AS PER PLANS ON METAL BASE SHOE ON A CONCRETE FOOTING SIZED AS PER PLANS. METAL BASE SHOE TO BE ANCHORED TO CONCRETE WITH 1/2" (12.7) DIAMETER BOLT. THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY.

4.6 LOAD BEARING WALL IN BASEMENT
2x6 (38x160) @ 12" (304.8) o.c. WOOD STUD WALL, DOUBLE 2x6 (38x140) TOP PLATE & SINGLE 2x6 (38x140) SILL PLATE ON DAMPROOFING MATERIAL OR 2 MIL POLYETHYLENE FILM, 1/2" (12.7) DIA. ANCHOR BOLTS, 8" (200) LONG EMBEDDED 4" (100) MIN. INTO CONCRETE @ 7'-11" (2400) o.c. ADD HORIZONTAL BLOCKING AT MID-HEIGHT OF WALL. PROVIDE 5.5" WIDE x 10" HIGH CONCRETE CURB UNDER THE BEARING WALL. PROVIDE 18" WIDE x 8" HIGH CONCRETE STRIP FOOTING.



DESIGNER'S INFO
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS  106663

NAME SIGNATURE BCN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC 121689

FIRM NAME BCN

SHEET NAME:
**ARCHITECTURAL HEX
MECHANICAL, VENTILATION
& FIREPLACES**

LAST UPDATED
DECEMBER 2021

DRAWN BY:
JONATHAN NETTA

REVIEWED BY:
HENRY M SILVA ROJAS

SHEET NO:

A6.9

5.0 STAIRS, RAILINGS, & INTERIOR MISCELLANEOUS

CITY ELECTRONIC STAMP:

5.1	MAXIMUM RISE	7 7/8" (200 mm)	MINIMUM RISE	4 7/8" (125 mm)	MAXIMUM TOLERANCE: 5mm BETWEEN ADJACENT TREADS & 10mm BETWEEN THE TALLEST & SHORTEST RISERS IN A FLIGHT
	MAXIMUM RUN	13 7/8" (355 mm)	MINIMUM RUN	10" (255 mm)	
	MAXIMUM NOSING	1" (25 mm)	MINIMUM HEADROOM	6'-9" (2050 mm)	
	MINIMUM TREAD DEPTH	NO LESS THAN IT'S RUN	MAXIMUM TREAD DEPTH	NO MORE THAN IT'S RUN + 1" (25mm)	
	MINIMUM STAIR WIDTH	2'-11 1/2" (900 mm)			

5.2 INTERIOR & EXTERIOR GUARDS (9.8.8)

FINISHED NON-CLIMBABLE GUARD/RAILING CONFORMING TO OBC 9.8.8. & SB-7 (4" TO 35" ABOVE FLOOR) WITH 4" (100) O.C. MAXIMUM SPACING BETWEEN PICKETS.

THE MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE TOP OF EVERY REQUIRED GUARD SHALL BE:

- i) A UNIFORM LOAD OF 113 lb/ft OR CONCENTRATED LOAD OF 225 lbs.
- ii) A VERTICAL LOAD OF 168 lb/ft, WHICH NEED NOT ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD.
- iii) INDIVIDUAL ELEMENTS ARE TO BE DESIGNED FOR A CONCENTRATED LOAD OF 113 lbs AT ANY MOMENT.

GUARD HEIGHTS - O.B.C. 9.8.8.3.

INTERIOR GUARDS: 2'-11 1/2" (900 mm) MIN.

EXTERIOR GUARDS: 2'-11 1/2" (900 mm) MIN. (IF LESS THAN 5'-11" TO GRADE)
3'-6 1/8" (1070 mm) MIN. (IF MORE THAN 5'-11" TO GRADE)

PORCH GUARDS:

PORCH SLABS HIGHER THAN 23 5/8" ABOVE FINISHED GRADE SHALL BE PROTECTED WITH

5.3 INTERIOR STUD BATHROOM REINFORCEMENT

PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO 3.8.3.8.(1)(d) FOR WATER CLOSETS AND 3.8.3.13.(1)(f) FOR SHOWERS OR BATHTUBS. (9.5.2.3.)

5.4 FLAT ARCH

FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.
FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 8'-0" (2438) A.F.F.
FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-0" (2438) A.F.F.

5.5 LINEN CLOSET

PROVIDE 4 SHELVES MIN. 14" (350) DEEP. MILLWORK DESIGNER TO SITE MEASURE BEFORE ORDERING & INSTALLATION.

5.6 CLOSET MILLWORK

PROVIDE CLOSET WIRE SHELVES w/ METAL HANGER RODS TO BE SELECTED BY OWNER. MILLWORK DESIGNER TO SITE MEASURE BEFORE ORDERING & INSTALLATION.

5.7 CUSTOM MILLWORK

CUSTOM MILLWORK BY OTHERS. AS PER SPEC. MILLWORK DESIGNER TO SITE MEASURE BEFORE ORDERING & INSTALLATION.

5.8 ATTIC ACCESS

ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHERSTRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.52) ([SB-12] 2.1.1.7.(1))

5.9 CARBON MONOXIDE ALARM (CMA) REFER TO OBC 9.33.4.

WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A SUITE OF RESIDENTIAL OCCUPANCY, A CARBON MONOXIDE ALARM (CMA) SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA IN THE SUITE.

CMA THE CMA SHALL BE PERMANENTLY CONNECTED TO AN ELECTRICAL CIRCUIT AND SHALL HAVE NO DISCONNECT SWITCH BETWEEN THE OVER CURRENT DEVICE AND THE CMA . IT SHALL BE WIRED SO THAT ITS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE ALARMS WITHIN THE SUITE OF RESIDENTIAL OCCUPANCY AND BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED. THEY SHALL CONFORM TO :

- i) CAN/CGA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" OR
- ii) UL 2034, "SINGLE AN MULTIPLE STATION CARBON MONOXIDE ALARMS" AND BE MECHANICALLY FIXED AT THE MANUFACTURER'S RECOMMENDED HEIGHT OR ON OR NEAR THE CEILING.

5.10 SMOKE ALARM (SA) REFER TO OBC 9.10.19.4.

S PROVIDE 1 PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND HAVE A BATTERY BACKUP, INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS. PROVIDE 1 PER BEDROOM. SMOKE ALARMS SHALL HAVE A VISUAL SIGNAL.

5.11 SHOWER/TOILET ENCLOSURE

TEMPERED GLASS ENCLOSURE C/W 24"x72" TEMPERED GLASS DOOR, 4" CURB AND CERAMIC TILE WALLS AND CEILING, UNLESS OTHERWISE NOTED.

5.12 HOSE BIBS

CAULK ALL PENETRATIONS IN GAS-PROOFED WALL SUCH AS HOSE BIBS WITH ACOUSTICAL SEALANT. LOCATION ON PLAN TO BE CONFIRMED WITH OWNER PRIOR TO INSTALL.

TABLE OF CONTENTS

- A6.1 DRAWING NOTES, LEGENDS, AND SCHEDULES COVER PAGE
- A6.2 WALL TYPES - FOUNDATION WALLS AND INSULATION REQUIREMENTS
- A6.3 WALL TYPES - EXTERIOR WALLS
- A6.4 WALL TYPES - PARTITION TYPES & FURRING TYPES
- A6.5 FLOORING TYPES - SLABS, WOOD FRAMED FLOORS & FIRE RATED FLOORS
- A6.6 ROOF TYPES - PITCHED ROOF
- A6.7 ROOF TYPES - FLAT ROOF
- A6.8 ARCHITECTURAL HEX - FOUNDATION WALL, FOOTING, SLABS, PORCH & GARAGE
- A6.9 ARCHITECTURAL HEX - MECHANICAL VENTILATION, FIREPLACES STEEL, WOOD & CONCRETE IN CONTACT
- A6.10 ARCHITECTURAL HEX - STAIR, RAILINGS, INTERIOR & MISCELLANEOUS ITEMS
- A6.11 INTERIOR DOOR SCHEDULE - 80" HIGH SERIES
- A6.12 INTERIOR DOOR SCHEDULE - 96" HIGH SERIES
- A6.13 INTERIOR DOOR SCHEDULE - 90" HIGH SERIES



DESIGNER'S INFO THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER	
QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE	
HENRY M SILVA ROJAS	206623
NAME	SIGNATURE
ROJAS EMPIRE OF DESIGN INC	121689
FIRM NAME	BCIN

SHEET NAME:
ARCHITECTURAL HEX STAIRS, RAILINGS, INTERIOR & MISCELLANEOUS ITEMS

LAST UPDATED
DECEMBER 2021
DRAWN BY:
JONATHAN NETTA
REVIEWED BY:
HENRY M SILVA ROJAS

SHEET NO:

A6.10

DOOR #	NO. OF PANELS	DOOR PANEL WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR MATERIAL	CORE	FRAME MATERIAL
PANEL TYPE: A - SINGLE FLUSH PANEL							
D1	1	24"	80"	1 3/8"	MDF	HOLLOW	MDF
D2	1	26"	80"	1 3/8"	MDF	HOLLOW	MDF
D3	1	28"	80"	1 3/8"	MDF	HOLLOW	MDF
D4	1	30"	80"	1 3/8"	MDF	HOLLOW	MDF
D5	1	32"	80"	1 3/8"	MDF	HOLLOW	MDF
D6	1	34"	80"	1 3/8"	MDF	HOLLOW	MDF
D7	1	36"	80"	1 3/8"	MDF	HOLLOW	MDF
PANEL TYPE: B - DOUBLE FLUSH PANEL							
D11	2	48"	80"	1 3/8"	MDF	HOLLOW	MDF
D12	2	60"	80"	1 3/8"	MDF	HOLLOW	MDF
D13	2	72"	80"	1 3/8"	MDF	HOLLOW	MDF
D14	2	84"	80"	1 3/8"	MDF	HOLLOW	MDF
D15	2	96"	80"	1 3/8"	MDF	HOLLOW	MDF
PANEL TYPE: C - POCKET PANEL							
D21	1	24"	80"	1 3/8"	MDF	HOLLOW	MDF
D22	1	26"	80"	1 3/8"	MDF	HOLLOW	MDF
D23	1	28"	80"	1 3/8"	MDF	HOLLOW	MDF
D24	1	30"	80"	1 3/8"	MDF	HOLLOW	MDF
D25	1	32"	80"	1 3/8"	MDF	HOLLOW	MDF
D26	1	34"	80"	1 3/8"	MDF	HOLLOW	MDF
D27	1	36"	80"	1 3/8"	MDF	HOLLOW	MDF
PANEL TYPE: D - GLASS PANEL							
D31	1	24"	80"	1 3/8"	GLASS	HOLLOW	MDF
D32	1	26"	80"	1 3/8"	GLASS	HOLLOW	MDF
D33	1	28"	80"	1 3/8"	GLASS	HOLLOW	MDF
D34	1	30"	80"	1 3/8"	GLASS	HOLLOW	MDF
D35	1	32"	80"	1 3/8"	GLASS	HOLLOW	MDF
D36	1	34"	80"	1 3/8"	GLASS	HOLLOW	MDF
D37	1	36"	80"	1 3/8"	GLASS	HOLLOW	MDF

CITY ELECTRONIC STAMP:



TABLE OF CONTENTS

A6.1 DRAWING NOTES, LEGENDS, AND SCHEDULES COVER PAGE
A6.2 WALL TYPES - FOUNDATION WALLS AND INSULATION REQUIREMENTS
A6.3 WALL TYPES - EXTERIOR WALLS
A6.4 WALL TYPES - PARTITION TYPES & FURRING TYPES
A6.5 FLOORING TYPES - SLABS, WOOD FRAMED FLOORS & FIRE RATED FLOORS
A6.6 ROOF TYPES - PITCHED ROOF
A6.7 ROOF TYPES - FLAT ROOF
A6.8 ARCHITECTURAL HEX - FOUNDATION WALL, FOOTING, SLABS, PORCH & GARAGE
A6.9 ARCHITECTURAL HEX - MECHANICAL VENTILATION, FIREPLACES STEEL, WOOD & CONCRETE IN CONTACT
A6.10 ARCHITECTURAL HEX - STAIR, RAILINGS, INTERIOR & MISCELLANEOUS ITEMS
A6.11 INTERIOR DOOR SCHEDULE - 80" HIGH SERIES
A6.12 INTERIOR DOOR SCHEDULE - 96" HIGH SERIES
A6.13 INTERIOR DOOR SCHEDULE - 90" HIGH SERIES

NOTES:

- ALL FIRE RATED DOORS TO HAVE SELF-CLOSING DEVICES. CONFORMING TO 9.10.13.10 (1). ADDITIONALLY, LOCK SETS TO BE INSTALLED.
- ALL HINGES TO BE 3 1/2" X 3 1/2" SQUARE CORNER STAINLESS STEEL. MINIMUM 3 PER PANEL.
- PROVIDE SMOKE SEALS AT ALL FIRE RATED DOORS
- FINISHED FLOOR TO UNDERSIDE OF DOOR TO BE A CONSISTENT HEIGHT UP TO A MAXIMUM OF 1/4" FOR BEDROOMS AND 1/2" FOR BATHROOMS.
- ALL INTERIOR DOORS ARE 1 3/8" THICK. SPRAYED TOP AND UNDERSIDE OF DOOR PANEL.
- CONTRACTOR TO ADD TRANSITION STRIP UNDERNEATH MIDDLE OF DOOR WHERE MATERIAL CHANGES IN ALL LOCATION (TYP.)
- ALL NEW DOORS BETWEEN UNITS TO HAVE A MINIMUM 20 MIN FIRE RATING

*GC TO SITE VERIFY DOOR HEIGHT AND WIDTH

	<small>DESIGNER'S INFO</small> THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER <small>QUALIFICATION INFORMATION</small> REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.5.1. OF THE BUILDING CODE HENRY M SILVA ROJAS  106663 <small>NAME SIGNATURE BORN</small>	<small>SHEET NAME:</small> INTERIOR DOOR SCHEDULE 80" HIGH SERIES	<small>LAST UPDATED</small> DECEMBER 2021 <small>DRAWN BY:</small> JONATHAN NETTA <small>REVIEWED BY:</small> HENRY M SILVA ROJAS	<small>SHEET NO.:</small> <h1>A6.11</h1>
	<small>REGISTRATION INFORMATION</small> REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.5.1. OF THE BUILDING CODE ROJAS EMPIRE OF DESIGN INC 121689 <small>FIRM NAME BORN</small>			

DOOR #	NO. OF PANELS	DOOR PANEL WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR MATERIAL	CORE	FRAME MATERIAL
PANEL TYPE: A - SINGLE FLUSH PANEL							
D41	1	24"	96"	1 3/8"	MDF	HOLLOW	MDF
D42	1	26"	96"	1 3/8"	MDF	HOLLOW	MDF
D43	1	28"	96"	1 3/8"	MDF	HOLLOW	MDF
D44	1	30"	96"	1 3/8"	MDF	HOLLOW	MDF
D45	1	32"	96"	1 3/8"	MDF	HOLLOW	MDF
D46	1	34"	96"	1 3/8"	MDF	HOLLOW	MDF
D47	1	36"	96"	1 3/8"	MDF	HOLLOW	MDF
PANEL TYPE: B - DOUBLE FLUSH PANEL							
D51	2	48"	96"	1 3/8"	MDF	HOLLOW	MDF
D52	2	60"	96"	1 3/8"	MDF	HOLLOW	MDF
D53	2	72"	96"	1 3/8"	MDF	HOLLOW	MDF
D54	2	84"	96"	1 3/8"	MDF	HOLLOW	MDF
D55	2	96"	96"	1 3/8"	MDF	HOLLOW	MDF
PANEL TYPE: C - POCKET PANEL							
D61	1	24"	96"	1 3/8"	MDF	HOLLOW	MDF
D62	1	26"	96"	1 3/8"	MDF	HOLLOW	MDF
D63	1	28"	96"	1 3/8"	MDF	HOLLOW	MDF
D64	1	30"	96"	1 3/8"	MDF	HOLLOW	MDF
D65	1	32"	96"	1 3/8"	MDF	HOLLOW	MDF
D66	1	34"	96"	1 3/8"	MDF	HOLLOW	MDF
D67	1	36"	96"	1 3/8"	MDF	HOLLOW	MDF
PANEL TYPE: D - GLASS PANEL							
D71	1	24"	96"	1 3/8"	GLASS	HOLLOW	MDF
D72	1	26"	96"	1 3/8"	GLASS	HOLLOW	MDF
D73	1	28"	96"	1 3/8"	GLASS	HOLLOW	MDF
D74	1	30"	96"	1 3/8"	GLASS	HOLLOW	MDF
D75	1	32"	96"	1 3/8"	GLASS	HOLLOW	MDF
D76	1	34"	96"	1 3/8"	GLASS	HOLLOW	MDF
D77	1	36"	96"	1 3/8"	GLASS	HOLLOW	MDF

CITY ELECTRONIC STAMP:



TABLE OF CONTENTS

A6.1 DRAWING NOTES, LEGENDS, AND SCHEDULES COVER PAGE
A6.2 WALL TYPES - FOUNDATION WALLS AND INSULATION REQUIREMENTS
A6.3 WALL TYPES - EXTERIOR WALLS
A6.4 WALL TYPES - PARTITION TYPES & FURRING TYPES
A6.5 FLOORING TYPES - SLABS, WOOD FRAMED FLOORS & FIRE RATED FLOORS
A6.6 ROOF TYPES - PITCHED ROOF
A6.7 ROOF TYPES - FLAT ROOF
A6.8 ARCHITECTURAL HEX - FOUNDATION WALL, FOOTING, SLABS, PORCH & GARAGE
A6.9 ARCHITECTURAL HEX - MECHANICAL VENTILATION, FIREPLACES STEEL, WOOD & CONCRETE IN CONTACT
A6.10 ARCHITECTURAL HEX - STAIR, RAILINGS, INTERIOR & MISCELLANEOUS ITEMS
A6.11 INTERIOR DOOR SCHEDULE - 80" HIGH SERIES
A6.12 INTERIOR DOOR SCHEDULE - 96" HIGH SERIES
A6.13 INTERIOR DOOR SCHEDULE - 90" HIGH SERIES

NOTES:

- ALL FIRE RATED DOORS TO HAVE SELF-CLOSING DEVICES. CONFORMING TO 9.10.13.10 (1). ADDITIONALLY, LOCK SETS TO BE INSTALLED.
- ALL HINGES TO BE 3 1/2" X 3 1/2" SQUARE CORNER STAINLESS STEEL. MINIMUM 3 PER PANEL.
- PROVIDE SMOKE SEALS AT ALL FIRE RATED DOORS
- FINISHED FLOOR TO UNDERSIDE OF DOOR TO BE A CONSISTENT HEIGHT UP TO A MAXIMUM OF 1/4" FOR BEDROOMS AND 1/2" FOR BATHROOMS.
- ALL INTERIOR DOORS ARE 1 3/8" THICK. SPRAYED TOP AND UNDERSIDE OF DOOR PANEL.
- CONTRACTOR TO ADD TRANSITION STRIP UNDERNEATH MIDDLE OF DOOR WHERE MATERIAL CHANGES IN ALL LOCATION (TYP.)
- ALL NEW DOORS BETWEEN UNITS TO HAVE A MINIMUM 20 MIN FIRE RATING

*GC TO SITE VERIFY DOOR HEIGHT AND WIDTH

	<small>DESIGNER'S INFO</small> THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER <small>QUALIFICATION INFORMATION</small> REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.5.1. OF THE BUILDING CODE HENRY M SILVA ROJAS  106663 <small>NAME SIGNATURE BORN</small>	<small>SHEET NAME:</small> INTERIOR DOOR SCHEDULE 96" HIGH SERIES	<small>LAST UPDATED</small> DECEMBER 2021 <small>DRAWN BY:</small> JONATHAN NETTA <small>REVIEWED BY:</small> HENRY M SILVA ROJAS	<small>SHEET NO.:</small> <h1>A6.12</h1>
	<small>REGISTRATION INFORMATION</small> REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.5.1. OF THE BUILDING CODE ROJAS EMPIRE OF DESIGN INC 121689 <small>FIRM NAME BORN</small>			

DOOR #	NO. OF PANELS	DOOR PANEL WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR MATERIAL	CORE	FRAME MATERIAL
PANEL TYPE: A - SINGLE FLUSH PANEL							
D81	1	24"	90"	1 3/8"	MDF	HOLLOW	MDF
D82	1	26"	90"	1 3/8"	MDF	HOLLOW	MDF
D83	1	28"	90"	1 3/8"	MDF	HOLLOW	MDF
D84	1	30"	90"	1 3/8"	MDF	HOLLOW	MDF
D85	1	32"	90"	1 3/8"	MDF	HOLLOW	MDF
D86	1	34"	90"	1 3/8"	MDF	HOLLOW	MDF
D87	1	36"	90"	1 3/8"	MDF	HOLLOW	MDF
PANEL TYPE: B - DOUBLE FLUSH PANEL							
D91	2	48"	90"	1 3/8"	MDF	HOLLOW	MDF
D92	2	60"	90"	1 3/8"	MDF	HOLLOW	MDF
D93	2	72"	90"	1 3/8"	MDF	HOLLOW	MDF
D94	2	84"	90"	1 3/8"	MDF	HOLLOW	MDF
D95	2	96"	90"	1 3/8"	MDF	HOLLOW	MDF
PANEL TYPE: C - POCKET PANEL							
D101	1	24"	90"	1 3/8"	MDF	HOLLOW	MDF
D102	1	26"	90"	1 3/8"	MDF	HOLLOW	MDF
D103	1	28"	90"	1 3/8"	MDF	HOLLOW	MDF
D104	1	30"	90"	1 3/8"	MDF	HOLLOW	MDF
D105	1	32"	90"	1 3/8"	MDF	HOLLOW	MDF
D106	1	34"	90"	1 3/8"	MDF	HOLLOW	MDF
D107	1	36"	90"	1 3/8"	MDF	HOLLOW	MDF
PANEL TYPE: D - GLASS PANEL							
D111	1	24"	90"	1 3/8"	GLASS	HOLLOW	MDF
D112	1	26"	90"	1 3/8"	GLASS	HOLLOW	MDF
D113	1	28"	90"	1 3/8"	GLASS	HOLLOW	MDF
D114	1	30"	90"	1 3/8"	GLASS	HOLLOW	MDF
D115	1	32"	90"	1 3/8"	GLASS	HOLLOW	MDF
D116	1	34"	90"	1 3/8"	GLASS	HOLLOW	MDF
D117	1	36"	90"	1 3/8"	GLASS	HOLLOW	MDF

CITY ELECTRONIC STAMP:



TABLE OF CONTENTS

- A6.1 DRAWING NOTES, LEGENDS, AND SCHEDULES COVER PAGE
- A6.2 WALL TYPES - FOUNDATION WALLS AND INSULATION REQUIREMENTS
- A6.3 WALL TYPES - EXTERIOR WALLS
- A6.4 WALL TYPES - PARTITION TYPES & FURRING TYPES
- A6.5 FLOORING TYPES - SLABS, WOOD FRAMED FLOORS & FIRE RATED FLOORS
- A6.6 ROOF TYPES - PITCHED ROOF
- A6.7 ROOF TYPES - FLAT ROOF
- A6.8 ARCHITECTURAL HEX - FOUNDATION WALL, FOOTING, SLABS, PORCH & GARAGE
- A6.9 ARCHITECTURAL HEX - MECHANICAL VENTILATION, FIREPLACES STEEL, WOOD & CONCRETE IN CONTACT
- A6.10 ARCHITECTURAL HEX - STAIR, RAILINGS, INTERIOR & MISCELLANEOUS ITEMS
- A6.11 INTERIOR DOOR SCHEDULE - 80" HIGH SERIES
- A6.12 INTERIOR DOOR SCHEDULE - 96" HIGH SERIES
- A6.13 INTERIOR DOOR SCHEDULE - 90" HIGH SERIES

NOTES:

1. ALL FIRE RATED DOORS TO HAVE SELF-CLOSING DEVICES. CONFORMING TO 9.10.13.10 (1). ADDITIONALLY, LOCK SETS TO BE INSTALLED.
2. ALL HINGES TO BE 3 1/2" X 3 1/2" SQUARE CORNER STAINLESS STEEL. MINIMUM 3 PER PANEL.
3. PROVIDE SMOKE SEALS AT ALL FIRE RATED DOORS
4. FINISHED FLOOR TO UNDERSIDE OF DOOR TO BE A CONSISTENT HEIGHT UP TO A MAXIMUM OF 1/4" FOR BEDROOMS AND 1/2" FOR BATHROOMS.
5. ALL INTERIOR DOORS ARE 1 3/8" THICK. SPRAYED TOP AND UNDERSIDE OF DOOR PANEL.
6. CONTRACTOR TO ADD TRANSITION STRIP UNDERNEATH MIDDLE OF DOOR WHERE MATERIAL CHANGES IN ALL LOCATION (TYP.)
7. ALL NEW DOORS BETWEEN UNITS TO HAVE A MINIMUM 20 MIN FIRE RATING

*GC TO SITE VERIFY DOOR HEIGHT AND WIDTH

	<p>DESIGNER'S INFO THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER</p> <p>QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.5.1. OF THE BUILDING CODE</p> <p>HENRY M SILVA ROJAS  106663</p> <p>NAME SIGNATURE BORN</p> <p>REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.5.1. OF THE BUILDING CODE</p> <p>ROJAS EMPIRE OF DESIGN INC 121689</p> <p>FIRM NAME BORN</p>	<p>SHEET NAME: INTERIOR DOOR SCHEDULE 90" HIGH SERIES</p>	<p>LAST UPDATED DECEMBER 2021</p> <p>DRAWN BY: JONATHAN NETTA</p> <p>REVIEWED BY: HENRY M SILVA ROJAS</p>
			<p>SHEET NO: A6.13</p>

STANDARD DEVELOPMENT NOTES

GENERAL NOTES

- THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
- ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
- ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
- MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
- ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
- CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
- ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE WELLINGTON COUNTY.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
- PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 100 mm OF TOPSOIL AND N° 1 NURSURY SOD, VERIFY FOOTING DEPTH AND NUMBER OF STAIRS WITH STRUCTURAL/ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
- DRIVEWAY GRADES SHOULD BE NOT LESS THAN 2.0% AND NOT GREATER THAN 7.0%.
- LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 0.5% AND A MAXIMUM SLOPE OF 5.0%.
- WHERE GRADES IN EXCESS OF 5% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1.
- ALL WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT COUNTY OF WELLINGTON AND MOECC.
- SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE OPSD STANDARDS.
- ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

TREE PROTECTION NOTE

- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITH THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF BUILDING MATERIAL AND EQUIPMENT.
- NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
- THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
- WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
- WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
- OBTAIN TREE REMOVAL PERMISSION FROM WELLINGTON COUNTY WHEN AS REQUIRED

MUNICIPAL RIGHT-OF-WAY NOTES

- ALL WORKS WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE CARRIED TO THE SATISFACTION OF WELLINGTON COUNTY PUBLIC WORKS. ADDITIONAL PERMITS MAY BE REQUIRED.

DRIVEWAY PAVEMENT NOTES

- ASPHALT: 50mm HL8 (2 LIFTS OF 25mm EACH) WITH 150mm GRANULAR A OR
- CONCRETE: 150mm PORTLAND CEMENT CONCRETE WITH 150mm GRANULAR A

MUNICIPAL ENGINEER CONSULTANT

CONSULTANT:

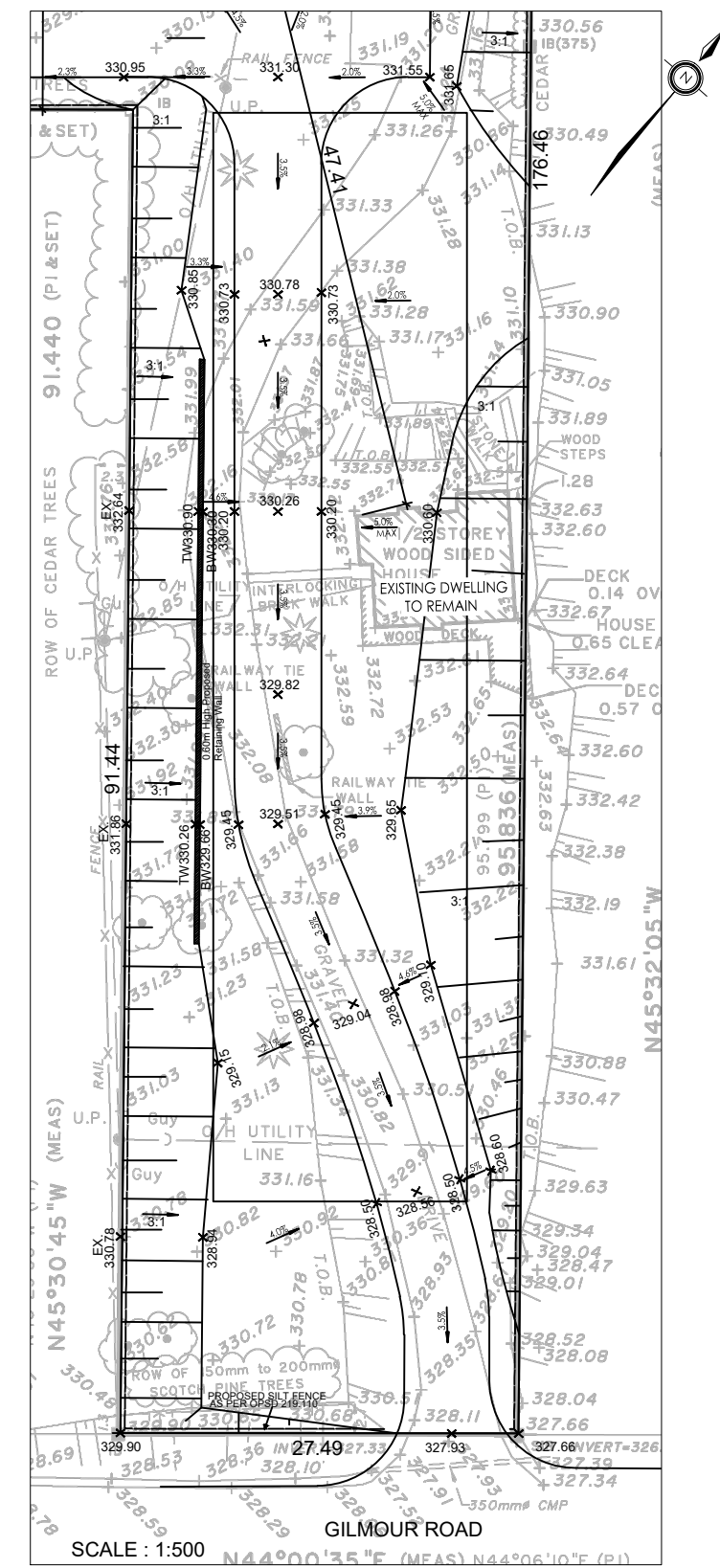
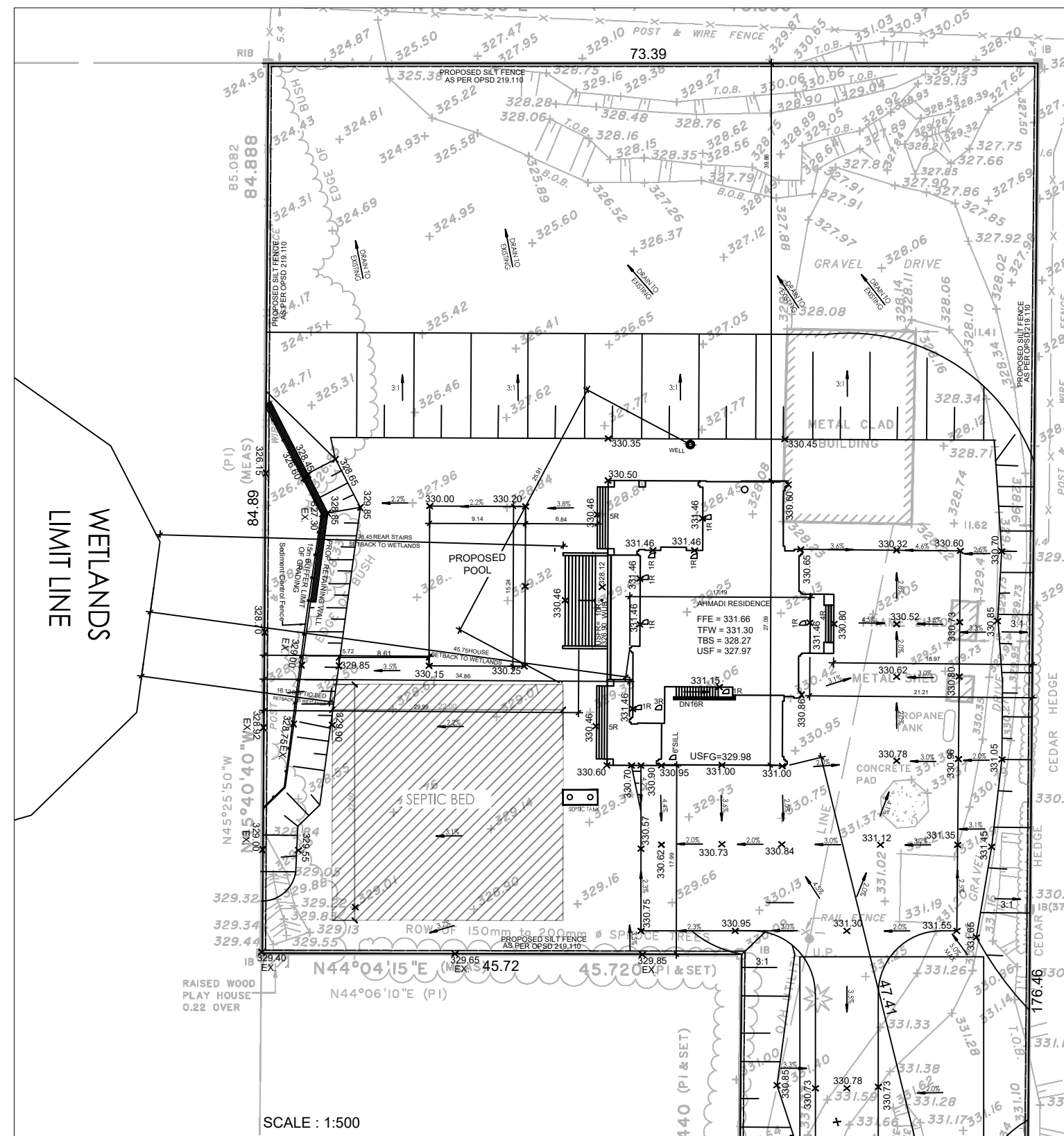
MAYDAN
MUNICIPAL ENGINEERING
10 Milner Business Court, Suite 504
Toronto, Ontario M1B 3C6
maydanme.ca

STAMP:

AHMADI RESIDENCE
68 GILMOUR RD
GUELPH, ONTARIO

Drafted by: M. Ahmadi
Date: JULY 03, 2022
Scale: AS PER PLAN

Sheet #: **S1**
Project Number: 2203



SCALE : 1:500

SCALE : 1:500

Legend:

— LOT LINE	FFE - FINISHED FLOOR ELEVATION	— SLOPE DIRECTION
- - - INTERIOR LOT LINE	TWF - TOP OF FOUNDATION WALL	LOB - LOOKOUT BASEMENT
— EXTERIOR WALL LINE	TBS - TOP OF BASEMENT SLAB	#R - RISERS TO GRADE
— INTERIOR WALL LINE	USF - UNDERSIDE OF FOOTING	● RESIDENTIAL WELL
○ TEMPLATE WINDOW	USFR - UNDERSIDE OF FOOTING REAR	
◻ TEMPLATE DOOR	USFG - UNDERSIDE OF FOOTING GARAGE	
STREET STREET NAME	000.00 - PROPOSED ELEVATION	
0.00 DIMENSION	00.00 - DIMENSION	

SITE STATISTICS

REG. PLAN #	XXXX	LOT COVERAGE (%)	5.9 %
ZONE	AGRICULTURE (A)	# OF STOREYS	2 STOREYS
LOT NUMBER	EAST HALF OF LOT 23	MEAN HEIGHT	XXXX
LOT AREA (m2)	8737.67 m2	PEAK HEIGHT (m2)	10.00 m
BLDG AREA (m2)	514.96 m2	BLDG AREA (m2)	XXXX



REV #	REVISION COMMENTS:	DATE:
1.	ISSUED FOR REVIEW	JUL. 03, 2022
2.	REVISE FRONT GRADING AS PER ARCH	JUL. 19, 2022
3.	REVISE GRADING AS PER CLIENT REQUEST ISSUED FOR REVIEW	AUG. 22, 2022
4.	ADD SEPTIC BED AS PER SEPTIC DESIGN ISSUED FOR REVIEW	SEP. 16, 2022
5.	REVISED AS PER ENGINEER COMMENTS	SEP. 25, 2022
6.	UPDATED FOR MINOR VARIANCE FOR REVIEW	SEP. 26, 2023

Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the Building Code Act.

For use by Principal Authority			
Application number:		Permit number (if different):	
Date received:		Roll number:	
Application submitted to: <u>PUSLINCH TOWNSHIP</u> (Name of municipality, upper-tier municipality, board of health or conservation authority)			
A. Project information			
Building number, street name		Unit number	Lot/con.
<u>68 GILMOUR RD</u>			<u>23 ELS</u>
Municipality	Postal code	Plan number/other description	
<u>PUSLINCH</u>	<u>N0B 2J0</u>		
Project value est. \$	Area of work (m ²)		
<u>80,000 -</u>	<u>500m²</u>		
B. Purpose of application			
<input checked="" type="checkbox"/> New construction <input type="checkbox"/> Addition to an existing building <input type="checkbox"/> Alteration/repair <input type="checkbox"/> Demolition <input type="checkbox"/> Conditional Permit			
Proposed use of building		Current use of building	
<u>S.F.D</u>		<u>N/A</u>	
Description of proposed work			
<u>ONSITE SEWAGE SYSTEM TO SERVICE NEW RESIDENCE</u>			
C. Applicant			
Applicant is: <input type="checkbox"/> Owner or <input type="checkbox"/> Authorized agent of owner			
Last name	First name	Corporation or partnership	
Street address		Unit number	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number ()	Fax ()	Cell number ()	
D. Owner (if different from applicant)			
Last name	First name	Corporation or partnership	
Street address		Unit number	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number ()	Fax ()	Cell number ()	

E. Builder (optional)				
Last name	First name	Corporation or partnership (if applicable)		
Street address		Unit number	Lot/con.	
Municipality	Postal code	Province	E-mail	
Telephone number ()	Fax ()	Cell number ()		
F. Tarion Warranty Corporation (Ontario New Home Warranty Program)				
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
iii. If yes to (ii) provide registration number(s): _____				
G. Required Schedules				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.				
H. Completeness and compliance with applicable law				
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
iv) The proposed building, construction or demolition will not contravene any applicable law.		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
I. Declaration of applicant				
I _____ declare that:				
(print name)				
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.				
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.				
_____		_____		
Date		Signature of applicant		

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information			Unit no.	Lot/con. <u>25 E 1/2 8</u>
Building number, street name <u>08 GILMOUR RD</u>				
Municipality <u>PUSUNCH</u>	Postal code <u>N0B2J0</u>	Plan number/ other description		
B. Individual who reviews and takes responsibility for design activities				
Name <u>ANDREW HAMILTON</u>		Firm <u>HAM-CON EXCAVATING LTD.</u>		
Street address <u>BOX 123</u>			Unit no.	Lot/con.
Municipality <u>ORANGEVILLE</u>	Postal code <u>L9W2Z5</u>	Province <u>ONT.</u>	E-mail <u>HAMCON1979@GMAIL.COM</u>	
Telephone number () ()		Fax number () ()	Cell number <u>(519) 827 8418</u>	
C. Design activities undertaken by individual identified in Section B. [Building Code Table 2.20.2.1]				
<input type="checkbox"/> House <input type="checkbox"/> Small Buildings <input type="checkbox"/> Large Buildings <input type="checkbox"/> Complex Buildings <input type="checkbox"/> HVAC – House <input type="checkbox"/> Building Services <input type="checkbox"/> Detection, Lighting and Power <input type="checkbox"/> Fire Protection <input type="checkbox"/> Building Structural <input type="checkbox"/> Plumbing – House <input type="checkbox"/> Plumbing – All Buildings <input checked="" type="checkbox"/> On-site Sewage Systems				
Description of designer's work <u>DESIGN AND INSTALLATION OF ON-SITE SEWAGE SYSTEMS</u>				
D. Declaration of Designer				
I <u>ANDREW HAMILTON</u> declare that (choose one as appropriate): (print name)				
<input checked="" type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual BCIN: <u>11622</u> Firm BCIN: <u>17016 + 109471</u>				
<input type="checkbox"/> I review and take responsibility for the design work and am qualified in the appropriate category as an "other designer" under subsection 2.17.5. of the Building Code. Individual BCIN: _____ Basis for exemption from registration: _____				
<input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____				
I certify that:				
1. The information contained in this schedule is true to the best of my knowledge.				
2. I have authority to bind the corporation or partnership (if applicable).				
<u>AUG 31/22</u>		<u>[Signature]</u>		
Date		Signature of Designer		

*For the purposes of this form, "individual" means the "person" referred to in Clause 2.17.4.7.(1)(d), Article 2.17.5.1. and all other persons who are exempt from qualification under Subsections 2.17.4. and 2.17.5.

NOTE:

1. Firm and Individual BCIN numbers are not required for building permit applications submitted prior to January 1, 2006
2. Schedule 1 does not need to be completed by architects, or holders of a Certificate of Practice or a Temporary License under the *Architects Act*.

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information			
Building number, street name <i>68 GILMOUR RD</i>		Unit no.	Lot/con. <i>23E 1/8</i>
Municipality <i>PUSLICH</i>	Postal code <i>NB2 2D</i>	Plan number/ other description	
B. Individual who reviews and takes responsibility for design activities			
Name <i>ANDREW HAMILTON</i>		Firm <i>HAM-CON EXCAVATING LTD.</i>	
Street address <i>BOX 123</i>		Unit no.	Lot/con.
Municipality <i>ORANGEVILLE</i>	Postal code <i>L9W 2Z5</i>	Province <i>ONT.</i>	E-mail <i>HAMCON1979@GMAIL.COM</i>
Telephone number () ()	Fax number () ()	Cell number <i>(519) 827 8418</i>	
C. Design activities undertaken by individual identified in Section B. [Building Code Table 2.20.2.1]			
<input type="checkbox"/> House <input type="checkbox"/> Small Buildings <input type="checkbox"/> Large Buildings <input type="checkbox"/> Complex Buildings		<input type="checkbox"/> HVAC – House <input type="checkbox"/> Building Services <input type="checkbox"/> Detection, Lighting and Power <input type="checkbox"/> Fire Protection	
		<input type="checkbox"/> Building Structural <input type="checkbox"/> Plumbing – House <input type="checkbox"/> Plumbing – All Buildings <input checked="" type="checkbox"/> On-site Sewage Systems	
Description of designer's work <i>DESIGN AND INSTALLATION OF ON-SITE SEWAGE SYSTEMS</i>			
D. Declaration of Designer			
I <u><i>ANDREW HAMILTON</i></u> declare that (choose one as appropriate): (print name)			
<input checked="" type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual BCIN: <u><i>11622</i></u> Firm BCIN: <u><i>17016 + 109471</i></u>			
<input type="checkbox"/> I review and take responsibility for the design work and am qualified in the appropriate category as an "other designer" under subsection 2.17.5. of the Building Code. Individual BCIN: _____ Basis for exemption from registration: _____			
<input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. I have authority to bind the corporation or partnership (if applicable).			
<u><i>AUG 31/22</i></u> Date		<u><i>[Signature]</i></u> Signature of Designer	

*For the purposes of this form, "individual" means the "person" referred to in Clause 2.17.4.7.(1)(d), Article 2.17.5.1. and all other persons who are exempt from qualification under Subsections 2.17.4. and 2.17.5.

NOTE:

1. Firm and Individual BCIN numbers are not required for building permit applications submitted prior to January 1, 2006
2. Schedule 1 does not need to be completed by architects, or holders of a Certificate of Practice or a Temporary License under the *Architects Act*.

HAM-CON EXCAVATING LTD
 P.O BOX 123
 ORANGEVILLE, ON
 PHONE : 519-827-8418

HAM-CON EXCAVATING LTD BCIN 17016
 HAM-CON EXCAVATING LTD BCIN 109471
 ANDREW HAMILTON BCIN 11622

Qualified person who takes responsibility for design
 under the 3.2.5 Div C of the O.B.C.

Name: Andrew Hamilton
 Signature: [Signature]
 DATE: Aug 31/22

ONSITE SEWAGE SYSTEM DESIGN

FOR: NAJIB AHMADI
68 GILMOUR RD
PUSLINCH ON.

DESIGN CRITERIA FOR RESIDENTIAL OCCUPANCY

TOTAL DAILY DESIGN FLOW AS PER O.B.C TABLE 8.2.1.3.A 5 BEDROOM 2500 L/D

ADDITIONAL FLOW

i) BEDROOMS > 5 2 X500 1000 L/D N/A

ii) TOTAL FINISHED AREAS 5671 sq 525 m²

TOTAL FINISHED AREAS > 200m	200	X10	2000	L/D
TOTAL FINISHED AREAS > 400m	125	X7.5	938	L/D
TOTAL FINISHED AREAS > 600m		X5		L/D

FIXTURE UNITS TABLE 7.4.9.3

4 PC BATH	3	x7.5	22.5	
3 PC BATH	6	x6	36	
2 PC BATH		x5.5		
CLOTHS WASHER	2	x1.5	3	
BASINS & SINKS	8	x1.5	12	
FLOOR DRAIN				
OTHER				
TOTAL FIXTURE UNITS			73.5	
iii) FIXTURE UNITS > 20			53.5	x50

2675 L/D N/A

TOTAL DAILY DESIGN FLOW 5438 L/D
 + 1100 L/D
 6538 L/D

DESIGN PERCOLATION TIME (T) 30 min/cm
 DEPTH TO GROUND WATER OR BEDROCK > 2 m

COMMENTS: IN CONSIDERATION THERE MAY BE A 2 BEDROOM IN
 LAW SUITE ADDED TO PROPERTY, I PROPOSE ADDING
 AN ADDITIONAL 1100 L/D PAGE 1

HAM-CON EXCAVATING LTD
P.O BOX 123
ORANGEVILLE, ON
PHONE : 519-827-8418

HAM-CON EXCAVATING LTD BCIN 17016
HAM-CON EXCAVATING LTD BCIN 109471
ANDREW HAMILTON BCIN 11622

Qualified person who takes responsibility for design
under the 3.2.5 Div C of the O.B.C.

Name: ANDREW HAMILTON
Signature: [Signature]

SYSTEM SPECIFICATIONS MEETING O.B.C PART 8
RESIDENTIAL SEPTIC TANK VOLUME OBC.8.2.2.3.(1) (a)
2X DAILY FLOW
THEREFORE 2X 6538 L/D

13076 L RECOMMEND 13620 L 3000GAL

TREATMENT UNIT AND/OR DISPOSAL SYSTEM TYPE

ENVIROSEPTIC SYSTEM

LENGTHS OF ENVIROSEPTIC PIPE $L = Q / 126 L/P/D$

$$\therefore L = \frac{6538 L/D}{126 L/PIPE}$$

$L = 52$ LENGTHS OF PIPE

RECOMMEND 8 RUNS OF 7 LENGTHS (70')

SYSTEM SAND AREA $A = QT / 400$

$$\therefore A = \frac{6538 L/D \times 30 \text{ mm/cm}}{400}$$

$$A = 490 \text{ m}^2$$



CMT Engineering Inc.
1011 Industrial Crescent, Unit 1
St. Clements, Ontario N0B 2M0
Tel: 519-699-5775
Fax: 519-699-4664
www.cmtinc.net

August 29, 2022

14-186.R147

Ham-Con Excavating Ltd.
Box 123
Orangeville, Ontario
L9W 2Z5

Attention: Mr. Andy Hamilton

Dear Sir:

**Re: Laboratory Test Results
Grain Size Analysis and T-Time Determination
Najib Ahmadi
68 Gilmar Road, Puslinch, Ontario**


As requested, CMT Engineering Inc. (CMT Inc.) has performed a gradation analysis on a sample obtained from the above-referenced site and submitted to the CMT Inc. laboratory in St. Clements, Ontario on August 23, 2022.

The sample can be classified as ML using the Unified Soil Classification System. The corresponding soil percolation rate, as referenced to Section 6 of the Supplementary Guidelines to the Ontario Building Code 2012 (amended in 2019), would be $T = 30$ min/cm. The grain size analysis is attached (Figure 1).

It should be noted that these test results are based on a single sample delivered to our laboratory and do not constitute as a guarantee for the entire site. Additional test samples should be obtained and tested if there is a variation observed at any time.

We trust this information meets with your present requirements. Should you have any questions, please do not hesitate to contact our office.

Yours very truly,

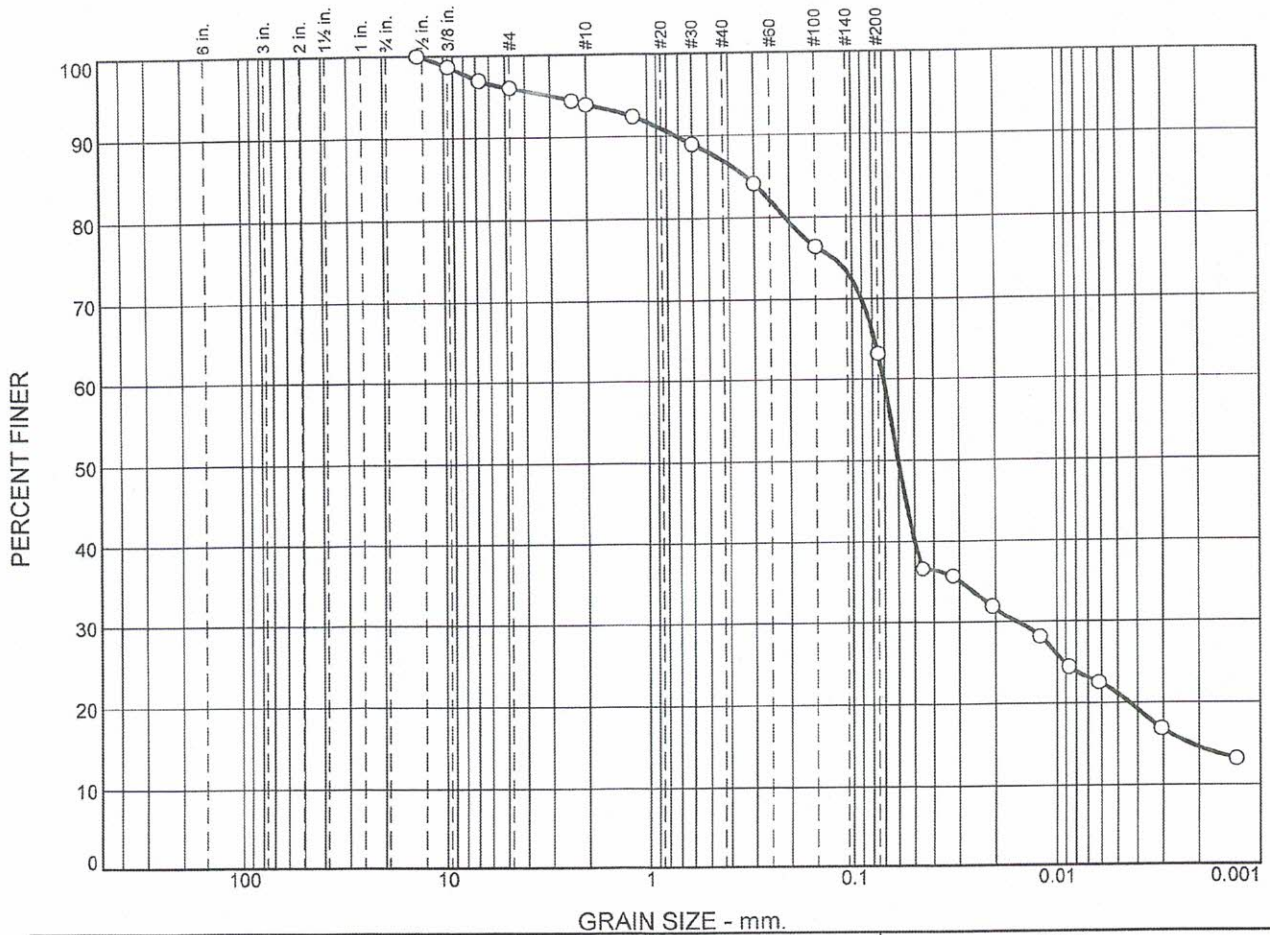

Marci Smith, C. Tech.
Laboratory Manager

Encl. Grain Size Analysis



Nathan Chortos, P. Eng.

Particle Size Distribution Report



	GRAIN SIZE - mm.							
	% Cobbles	% Gravel		% Sand			% Fines	
		Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
○	0.0	0.0	4.0	2.1	6.9	23.9	48.6	14.5

SOIL DATA					
SYMBOL	SOURCE	SAMPLE NO.	DEPTH (ft.)	Material Description	USCS
○	Client	1		Najib Ahmadi - 68 Gilmar Road, Puslinch, Ontario	ML
				sandy silt, some clay, trace gravel	
				Estimated Percolation Rate; T = 30 min/cm	
				Sample received in Lab August 23, 2022	
				Tested by JM of CMT Engineering Inc., August 24, 2022	

CMT Engineering Inc.
St. Clements, ON

Client: Ham-Con Excavating Ltd.
Project: Miscellaneous Lab Testing
Project No.: 14-186

Figure 1



Administration Centre: 400 Clyde Road, P.O. Box 729 Cambridge, ON N1R 5W6

Phone: 519-621-2761 Toll free: 1-866-900-4722 Fax: 519-621-4844 www.grandriver.ca

October 17, 2022

Najib Ahmadi
68 Gilmour Road
Puslinch, ON N0B 2J0

Re: Application for Permission No. 775/22, Pursuant to Ontario Regulation 150/06

The Grand River Conservation Authority approved your application on October 12, 2022. The permit and attached schedules are enclosed. The schedules form part of the permit and describe the work as approved by the Grand River Conservation Authority. Any changes to these plans must be reviewed and approved by Grand River Conservation Authority staff.

Please note that this permission is based on existing information, policies, and practices, and does not bind nor imply that any other permission will be forthcoming. Please review when the permit expires (maximum is 2 years) and keep a copy of the permit on-site.

If you have questions regarding this letter or the conditions described on the permit, please contact Chris Lorenz, Resource Planner, at (519) 621-2763 Extension 2236.

Encl.

c.c. Clerk, Township of Puslinch
Building Inspector, Township of Puslinch
Johnathan Nettla, Rojas Empire Design Incorporated.



Grand River Conservation Authority

Under Ontario Regulation 150/06 made under the Conservation Authorities Act, R.S.O. 1990, Chapter C.27, permission is granted to:

Najib Ahmadi

Whose address for purposes pertaining to this project is:

68 Gilmour Road
Puslinch, ON
N0B 2J0

To execute proposed works in accordance with the following particulars and conditions:

Location of Work: 68 Gilmour Road
Township of Puslinch

Purpose of Work: To grade, construct a new dwelling, install a pool and a retaining wall and replace a septic system.

This permit is valid from: **October 12, 2022**

And expires on: **October 12, 2024**

The attached Schedules form parts of this permit describing the approved work and must be implemented in order so that the true intent of the permit can be achieved.

The Permittee, by acceptance and in consideration of the issuance of this permit, agrees to the conditions listed on the reverse side of Schedule "A".

Dated at Cambridge, Ontario, this 12th day of October, 2022

GRAND RIVER CONSERVATION AUTHORITY

Samantha Lawson,
Chief Administrative Officer



Grand River Conservation Authority

Administration Office:
400 Clyde Road, P.O. Box 729, Cambridge, Ontario N1R 5W6
Telephone: 519-621-2761 Fax: (519) 621-4945

**GRCA USE ONLY
APPLICATION NUMBER**

775/22

Schedule "A" - Application for Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Permit (Pursuant to Ontario Regulation 150/06)

Please read, complete each section as required, attach fee and sign and date this application.

Owner's name: Najib Ahmadi E-mail: 1smartstep@gmail.com

Mailing address: 68 Gilmour Road City/Town: Puslinch Postal Code: N0B 2J0

Telephone: Bus. _____ Res. 647-521-8581 Fax _____

Agent's name (Consultant/Contractor): Rojas Empire of Design Inc (Jonathan Netta)

Mailing address: 1115 City/Town: Mississauga Postal Code: L5T 1E8

Telephone: Bus. 416-821-6533 Fax. _____ Email: jonathannetta@rojasempire.com

Location of proposed work:

Lot No. _____ Concession No. _____ Township _____

Municipal address of property: 68 Gilmour Road, Puslinch

City/Town/Village: TOWNSHIP OF PUSLINCH County/Region: WELLINGTON COUNTY

(Circle One)

Application is hereby made for:

For examples of Minor, Standard and Major applications please refer to the Fee Schedule on pages 3 and 4.

- Minor Development
- Minor Interference with Wetlands, Alteration to Shorelines & Watercourses
- Standard Development
- Standard Interference with Wetlands, Alteration to Shorelines & Watercourses
- Major Development
- Major Interference with Wetlands, Alteration to Shorelines & Watercourses

Description of proposed work: New residence, Replace residence, New septic, Replace septic, Porches, decks and

New 2-storey single family custom home complete with attached garage, covered porches, basement walk-up, and finished basement

This application must include four (4) FOLDED copies of each appropriate plan(s) showing the proposed work.

Land Use: Present Residential Proposed change (if any) _____

I declare that I have read and agree to the General Conditions of Permit on the reverse of this form and that all information provided is true.

October 4, 2022

Signature of Owner

Date

Signature of Agent

January 1, 2020

GENERAL CONDITIONS OF PERMIT

1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - (a) to indemnify and save harmless, the Grand River Conservation Authority and its officers, employees, or agents, from and against all damage, injury, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the permittee or of any of his agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - (b) that this permit shall not release the permittee from any legal liability or obligation and remains in force subject to all limitations, requirements and liabilities imposed by law.
 - (c) that all complaints arising from the proposed works authorized under this permit shall be reported immediately by the permittee to the Grand River Conservation Authority. The permittee shall indicate any action which has been taken, or is planned to be taken, with regard to each complaint.
 - (d) to provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Grand River Conservation Authority will be granted entry at any time into lands and buildings which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
4. The Grand River Conservation Authority may cancel this permit or may change any of the conditions at any time and without prior notice if it is determined that:
 - (a) the works are not in conformance to the intent of the permission granted;
 - (b) the information presented to obtain a permit is false;
 - (c) the works or method of construction have detrimental impacts on the environment.
5. This permit shall not be assigned (non-transferable).
6. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.
7. The Grand River Conservation Authority may make copies of Schedule A, as required, for the purposes of assessing the proposal and, where approved, to form part of the permit issued.

NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act, 1989, the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1980, c85, as amended. This information is used to assess applications for and, where approved, issue the Permit. Information on this form may be disclosed to Government and Municipal Agencies for review and comment. The name of the applicant, location of the work and a description of the project may be published in GRCA documents including agendas, reports and meeting minutes which are posted on the GRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Co-ordinator, Administration Division, Grand River Conservation Authority, 400 Clyde Road, P.O. Box 729, Cambridge, Ontario, N1R 5W6, (519) 621-2761.



SCHEDULE B

Legend

- Regulation Limit (GRCA)
- Regulated Watercourse (GRCA)
- Regulated Waterbody (GRCA)
- Wetland (GRCA)
- Floodplain (GRCA)
 - Engineered
 - Estimated
 - Approximate
 - Special Policy Area
- Slope Valley (GRCA)
 - Steep
 - Oversteep
 - Steep
- Slope Erosion (GRCA)
 - Oversteep
 - Toe
- Lake Erie Flood (GRCA)
- Lake Erie Shoreline Reach (GRCA)
- Lake Erie Dynamic Beach (GRCA)
- Lake Erie Erosion (GRCA)
- Parcel - Assessment (MPAC/MNRF)

This legend is static and may not fully reflect the layers shown on the map. The text of Ontario Regulation 150/06 supercedes the mapping as represented by these layers.

Copyright Grand River Conservation Authority, 2022.
Disclaimer: This map is for illustrative purposes only. Information contained herein is not a substitute for professional review or a site survey and is subject to change without notice. The Grand River Conservation Authority takes no responsibility for, nor guarantees, the accuracy of the information contained on this map. Any interpretations or conclusions drawn from this map are the sole responsibility of the user.
The source for each data layer is shown in parentheses in the map legend. For a complete listing of sources and citations go to: <https://maps.grandriver.ca/Sources-and-Citations.pdf>



STANDARD DEVELOPMENT NOTES

- GENERAL NOTES**
- THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
 - ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF DIRECTED TOWARDS THE REAR WHERE POSSIBLE AND TO THE ROAD.
 - ROOF DOWNSPOUT IS LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
 - MAINTAIN EXISTING GRADES IN AREA AROUND TREES TO BE PRESERVED.
 - ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
 - CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
 - ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE WELLINGTON COUNTY.
 - THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
 - BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
 - PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 100 mm OF TOPSOIL AND N° 1 NURSURY SOD. VERIFY FOOTING DEPTH AND NUMBER OF STAIRS WITH STRUCTURAL/ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
 - NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
 - DRIVEWAY GRADES SHOULD BE NOT LESS THAN 2.0% AND NOT GREATER THAN 7.0%.
 - LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 0.5% AND A MAXIMUM SLOPE OF 5.0%.
 - WHERE GRADES IN EXCESS OF 5% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1.
 - ALL WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT COUNTY OF WELLINGTON AND MOECC.
 - SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER THE OPSD STANDARDS.
 - ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD.

- TREE PROTECTION NOTE**
- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITH THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF BUILDING MATERIAL AND EQUIPMENT.
 - NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
 - THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
 - WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
 - WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
 - OBTAIN TREE REMOVAL PERMISSION FROM WELLINGTON COUNTY WHEN AS REQUIRED.

- MUNICIPAL RIGHT-OF-WAY NOTES**
- ALL WORKS WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE CARRIED TO THE SATISFACTION OF WELLINGTON COUNTY PUBLIC WORKS. ADDITIONAL PERMITS MAY BE REQUIRED.

- DRIVEWAY PAVEMENT NOTES**
- ASPHALT: 50mm HL8 (2 LIFTS OF 25mm EACH) WITH 150mm GRANULAR A OR
 - CONCRETE: 150mm PORTLAND CEMENT CONCRETE WITH 150mm GRANULAR A

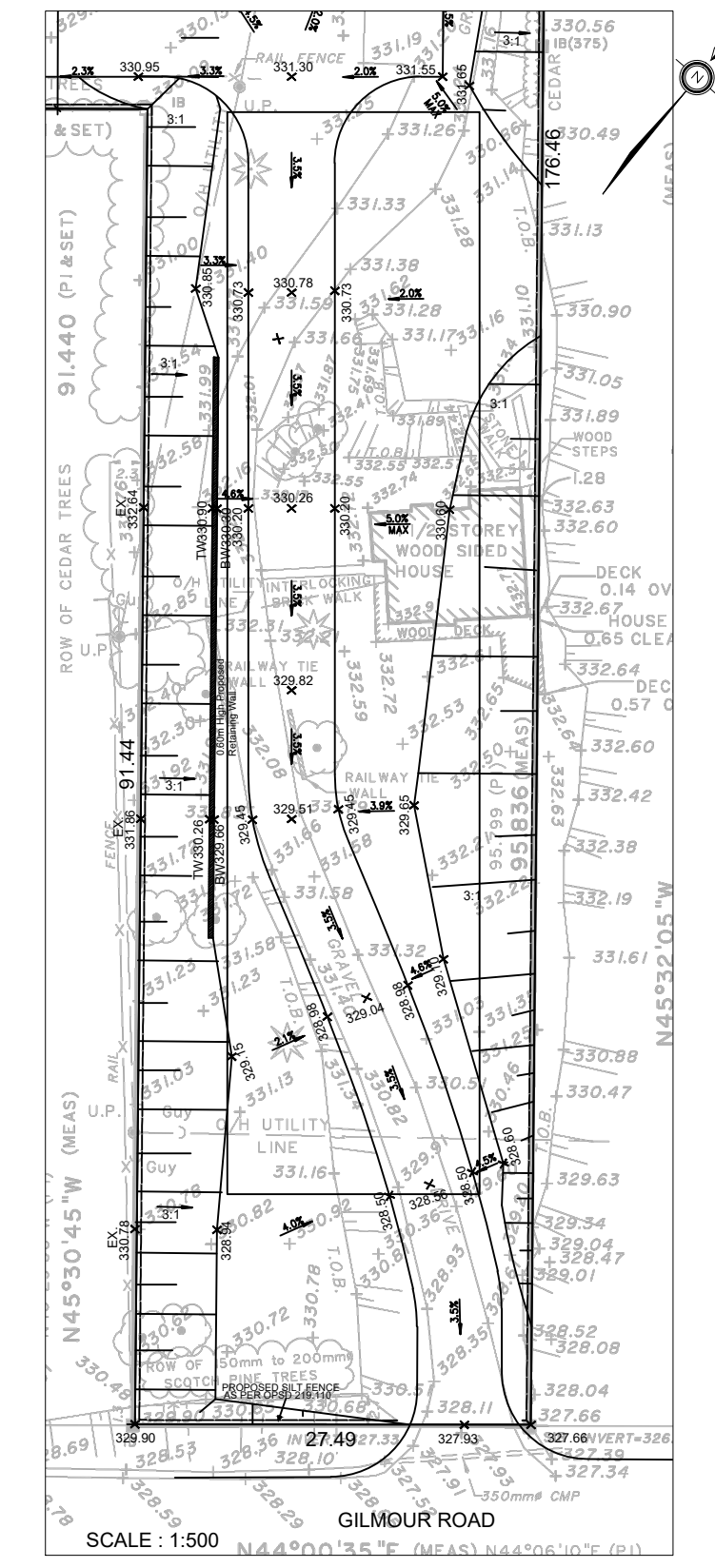
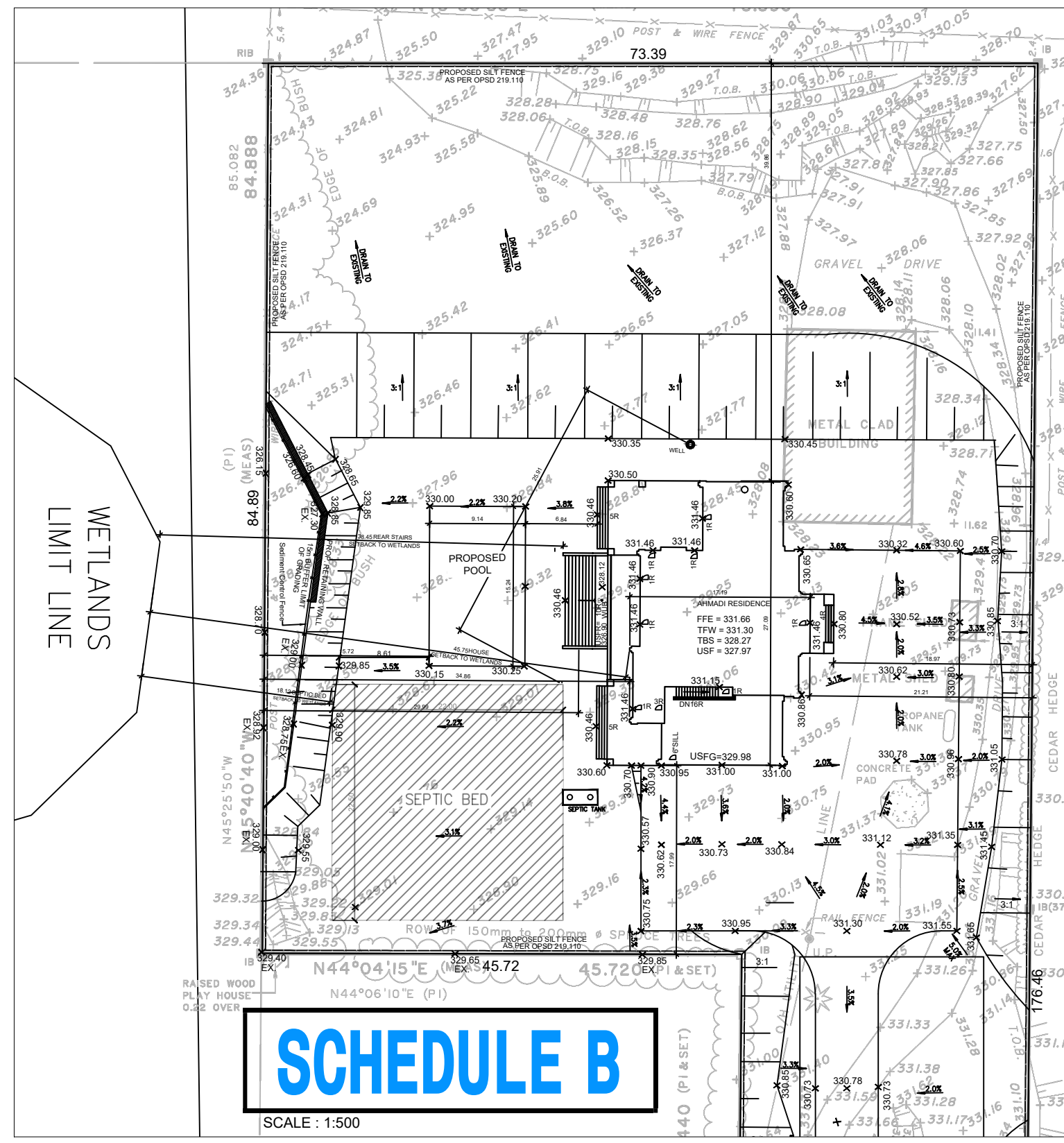
MUNICIPAL ENGINEER CONSULTANT

CONSULTANT:

MAYDAN
MUNICIPAL ENGINEERING

10 Milner Business Court, Suite 504
Toronto, Ontario M1B 3C6
maydanme.ca

STAMP:



Legend:

— LOT LINE	FFE - FINISHED FLOOR ELEVATION	— SLOPE DIRECTION
- - - INTERIOR LOT LINE	TWF - TOP OF FOUNDATION WALL	LOB - LOOKOUT BASEMENT
— EXTERIOR WALL LINE	TBS - TOP OF BASEMENT SLAB	#R - RISERS TO GRADE
— INTERIOR WALL LINE	USF - UNDERSIDE OF FOOTING	● RESIDENTIAL WELL
○ TEMPLATE WINDOW	USFR - UNDERSIDE OF FOOTING REAR	
◻ TEMPLATE DOOR	USFG - UNDERSIDE OF FOOTING GARAGE	
STREET STREET NAME	000.00 - PROPOSED ELEVATION	
0.00 DIMENSION	00.00 - DIMENSION	

SITE STATISTICS

REG. PLAN #	XXXX	LOT COVERAGE (%)	5.9 %
ZONE	AGRICULTURE (A)	# OF STOREYS	2 STOREYS
LOT NUMBER	EAST HALF OF LOT 23	MEAN HEIGHT	XXXX
LOT AREA (m2)	8737.67 m2	PEAK HEIGHT (m2)	10.00 m
BLDG AREA (m2)	514.96 m2	BLDG AREA (m2)	XXXX



REV #	REVISION COMMENTS:	DATE:
1.	ISSUED FOR REVIEW	JUL. 03, 2022
2.	REVISE FRONT GRADING AS PER ARCH	JUL. 19, 2022
3.	REVISE GRADING AS PER CLIENT REQUEST ISSUED FOR REVIEW	AUG. 22, 2022
4.	ADD SEPTIC BED AS PER SEPTIC DESIGN ISSUED FOR REVIEW	SEP. 16, 2022
5.	REVISED AS PER ENGINEER COMMENTS	SEP. 25, 2022

AHMADI RESIDENCE
68 GILMOUR RD
GUELPH, ONTARIO

Drafted by: M. Ahmadi
Date: JULY 03, 2022
Scale: AS PER PLAN

Sheet #: **S1**
Project Number: 2203

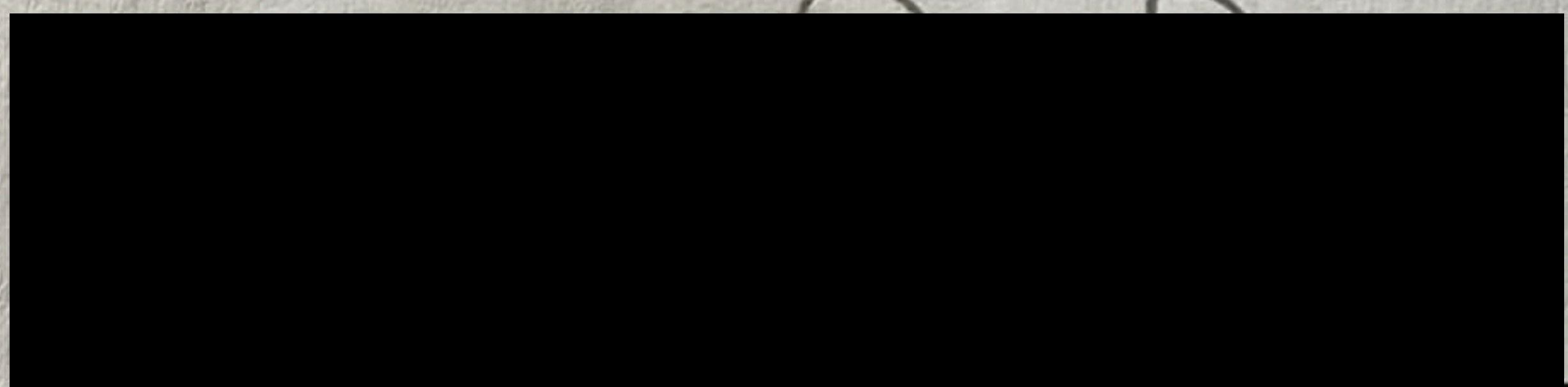
Committee of Adjustment
Township of Puslinch
7404 Wellington Road 34
Puslinch, ON NOB 2J0

Re: Minor Variance Application: 68 Gilmour Road, Puslinch, ON, NOB 2J0

To whom it may concern,

I/We have reviewed the drawings/plans provided to me/us for the upcoming Minor Variance Application at the City of Mississauga. I/We have NO objections to this application and would like to provide our full support.

Sincerely,



Signature(s)

RACHAEL SILVERTHORN-LEACHMAN

Print Name(s)

Homeowner(s) of:

10 Gilmour Rd.

Date:

sep 25/23

Committee of Adjustment

Township of Puslinch

7404 Wellington Road 34

Puslinch, ON NOB 2J0

Re: Minor Variance Application: 68 Gilmour Road, Puslinch, ON, NOB 2J0

To whom it may concern,

I/We have reviewed the drawings/plans provided to me/us for the upcoming Minor Variance Application at the City of Mississauga. I/We have NO objections to this application and would like to provide our full support.

Sincerely,

Nancy Dawson
Signature(s)

Nancy Dawson
Print Name(s)

Homeowner(s) of: 66 GILMOUR RD

Date: Sept 25/23



October 31, 2023

via email

GRCA File: D13-AHM – 68 Gilmour Road

Lynne Banks
Township of Puslinch
7404 Wellington Road 34
Puslinch, ON N0B 2J0

Dear Ms. Banks,

Re: Minor Variance Application D13/AHM
68 Gilmour Road, Township of Puslinch
Owner: Najib Ahmadi
Agent: Jonathan Netta

Grand River Conservation Authority (GRCA) staff has reviewed the above-noted minor variance application to maintain and repurpose an existing dwelling as an Additional Residential Unit (ARU).

Recommendation

The Grand River Conservation Authority (GRCA) has no objection to the proposed minor variance application.

GRCA Comments

GRCA has reviewed this application under the Mandatory Programs and Services Regulation (Ontario Regulation 686/21), including acting on behalf of the Province regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS, 2020), as a regulatory authority under Ontario Regulation 150/06, and as a public body under the *Planning Act* as per our CA Board approved policies.

Information currently available at this office indicates that the subject property contains the regulated allowance adjacent to a wetland. A copy of our resource mapping is attached.

Due to the presence of the above-noted feature, the majority of the property is regulated by the GRCA under Ontario Regulation 150/06 - Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Regulation. Any future development or other alteration within the regulated area will require prior written approval from GRCA in the form of a permit pursuant to Ontario Regulation 150/06.

The minor variance application requests permission to allow an increased maximum ARU floor area, reduced lot line setback and increased distance to the principal dwelling. It is the opinion of GRCA staff that these requests will not impact on the

natural hazard adjacent the property and therefore GRCA has no objection to this minor variance application.

Consistent with GRCA's 2023 approved fee schedule, this application is considered a *minor*, minor variance application and the applicant will be invoiced in the amount of \$300 for the GRCA's review.

For Municipal Consideration

Please be advised that on January 1, 2023, a new Minister's regulation (Ontario Regulation 596/22: Prescribed Acts – Subsections 21.1.1 (1.1) and 21.1.2 (1.1) of the Conservation Authorities Act) came into effect. As a result, non-mandatory technical review services that the GRCA formerly provided under agreement with some municipalities (e.g., technical reviews related to natural heritage and select aspects of stormwater management) will no longer be provided.

Should you have any questions, please contact me at 519-621-2763 ext. 2236 or clorenz@grandriver.ca.

Sincerely,

A handwritten signature in black ink, appearing to read 'Chris Lorenz', is written over a light grey rectangular background.

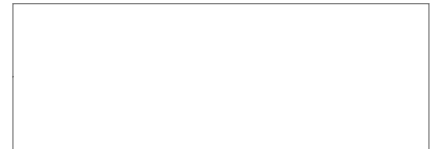
Chris Lorenz, M.Sc.
Resource Planner
Grand River Conservation Authority

Enclosed: GRCA Mapping

Copy: Najib Ahmadi (via email)
Jonathan Netta (via email)



68 Gilmour Road, Puslinch

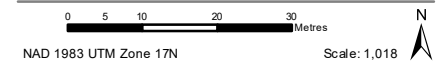


Legend

- Regulation Limit (GRCA)
- Regulated Watercourse (GRCA)
- Regulated Waterbody (GRCA)
- Wetland (GRCA)
- Floodplain (GRCA)
 - Engineered
 - Estimated
 - Approximate
 - Special Policy Area
- Slope Valley (GRCA)
 - Steep
 - Oversteep
 - Steep
- Slope Erosion (GRCA)
 - Oversteep
 - Toe
- Lake Erie Flood (GRCA)
- Lake Erie Shoreline Reach (GRCA)
- Lake Erie Dynamic Beach (GRCA)
- Lake Erie Erosion (GRCA)
- Parcel - Assessment (MPAC/MNRF)

This legend is static and may not fully reflect the layers shown on the map. The text of Ontario Regulation 150/06 supercedes the mapping as represented by these layers.

Copyright Grand River Conservation Authority, 2023.
Disclaimer: This map is for illustrative purposes only. Information contained herein is not a substitute for professional review or a site survey and is subject to change without notice. The Grand River Conservation Authority takes no responsibility for, nor guarantees, the accuracy of the information contained on this map. Any interpretations or conclusions drawn from this map are the sole responsibility of the user.
The source for each data layer is shown in parentheses in the map legend. For a complete listing of sources and citations go to: <https://maps.grandriver.ca/Sources-and-Citations.pdf>





PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department

MEETING DATE: November 14, 2023
TO: Lynne Banks, Secretary-Treasurer
 Township of Puslinch
FROM: Asavari Jadhav, Planner
 Zach Prince, Senior Planner
 County of Wellington
SUBJECT: **MINOR VARIANCE APPLICATION D13/AHM (Najib Ahmadi)**
68 Gilmour Road
Concession 8, Rear Part Lot 263
ATTACHMENTS: 1. Site Plan
 2. Architectural Plans

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

Planning Opinion

The variance requested would facilitate conversion of an existing primary dwelling of 153 m² (1,647ft²) into an Accessory Residential Unit (ARU). A new primary residential dwelling of 524 m² (5,640ft²) is being proposed on the subject lands. The applicant requires relief from Section 4.2.a.i to permit an ARU with maximum area of 153 m², whereas a maximum of 130 m² is permitted. Further, the variance would also permit the ARU to have reduced side yard setback of 0.14m (0.46 ft), where as Section 4.2.c.ii requires a minimum of 3m. The ARU is proposed to be 47 m from the principal dwelling unit on the lot, whereas Section 4.2.c.iii of the By-law requires that the ARU be within the building cluster and located within 40 m of the principal dwelling unit on the lot.

The minor variance application would maintain the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property provided any concerns of the Building and Public Works Departments are addressed. We consider the request minor and have no concerns with the application.

Proposal:

Regulation	By-law Section	Required	Proposed	Relief Requested
Additional Residential Unit – Maximum Total Floor Area	4.2.a.i	Maximum total floor area of an Additional Residential Unit shall not exceed 45 percent of the total floor area of the principal unit up to a maximum of 130 m ² .	153 m ²	23 m ²

Additional Residential Unit – Detached, yard requirements	4.2.c.ii	The Additional Residential Unit must be located a minimum of 3m from the interior side yard. In accordance with the yard standards of the zone.	0.14 m	2.86 m
Additional Residential Unit – Detached, Distance from the Principal Dwelling	4.2.c.iii	The additional residential unit shall be within the existing building cluster and located within 40m of the principal dwelling unit.	47 m from the proposed principal dwelling unit.	7 m



Figure 1 - Subject property

Our discussion of this application relative to the four tests under the *Planning Act* is as follows:

Four Tests	Discussion
That the requested variance is minor in nature	<ul style="list-style-type: none"> The subject property is approximately 0.86 ha (2.12 ac) in size and contains an existing dwelling and accessory structures. The applicant is proposing to construct a new principal dwelling of 524 m² and convert the existing dwelling of an ARU. The proposed ARU has total floor area of 153 m² in size and is 29.19% of the total floor area of the proposed primary dwelling.

	<ul style="list-style-type: none"> • The By-law requires that the ARU shall comply with the minimum required side yard setback of 3 m, whereas the existing dwelling has deck with side yard setback of 0.14 m from the lot line. This relief recognizes this existing situation. • Further, the proposed ARU is located at a distance of 47 m from the principal dwelling, whereas the Section 4.2.c.iii requires that the ARU shall be within the existing building cluster and located within 40 m of the principal dwelling unit.
<p>That the intent and purpose of the Zoning By-law is maintained</p>	<ul style="list-style-type: none"> • The subject property is zoned Agricultural (A) and a portion of the subject lands are located within Environmental Protection Overlay. • Within the A Zone, a detached dwelling and an additional residential unit are permitted uses. • The applicant is proposing to construct a new principal dwelling and convert the existing residential dwelling to an ARU. Planning staff note that the Township will enter into an agreement with the applicant for conversion of the existing dwelling into an ARU. • The intent of providing a maximum floor area cap for an ARU is to ensure that the unit remains subordinate in use, scale, and function to the main dwelling. • Although the proposed ARU exceeds the maximum floor area cap, it meets the maximum total floor area percentage 45%. • The proposed ARU has an existing side yard setback of 0.14 m for the existing deck and 0.65 m for the dwelling from the lot line. • It is noted that the subject property was subject to Minor Variance application (A1/93 and A5/94) in the year 1993 and 1994 to recognise the reduced side yard setback of 0.65m for the dwelling and 0.14 m for the deck. However, within the Notice of Decision for MV application A5/94 it was identified the existing deck was demolished. It is to our understand that over the time due to change of ownership of the subject property, the deck was rebuilt. Therefore, relief from Section 4.2.c.ii will recognize the existing deck with reduced side yard setback of 0.14 m. • The intent of requiring a minimum side yard setback is to provide adequate space for maintenance and access between yards on the subject property, to provide privacy and separation between abutting properties, and to ensure grading and drainage can be adequately addressed on the subject property. • The proposed ARU is located at a distance of 47 m from the proposed primary dwelling, whereas Section 4.2.c.iii requires an ARU to be within the existing building cluster and located within 40 m of the principal dwelling unit. • It is understood the proposed distance between the primary dwelling and ARU is due to the flag shape of the subject property. • The proposed ARU meets the other setback requirements for an ARU within the A Zone. • The applicant has indicated the existing accessory building on the

	<p>subject property are demolished.</p> <ul style="list-style-type: none"> • Table 5.2 requires one parking space for the ARU and two parking spaces are required for the existing detached dwelling for a total of three required parking spaces. The proposed garage and existing parking area provide adequate space to accommodate the required parking spaces. • MDS has been reviewed and Planning Staff are satisfied the setback requirements have been met. • The proposed septic for the proposed primary dwelling appears to be located outside of the NE Zone and EP Overlay, however Section 4.31 of the By-law requires a 30 m setback for buildings or structure, including sewage treatment system and associated tile weeping beds to the NE Zone. • The By-law allows the 30 m setback from the NE Zone to be reduced if supported by the Conservation Authority. The applicant has submitted a permit from GRCA for the reduced setback for proposed septic. • The driveway access to the ARU is shared with the principal dwelling. • All other provisions of the By-law are met.
<p>That the general intent and purpose of the Official Plan is maintained</p>	<ul style="list-style-type: none"> • The subject property is designated as Secondary Agricultural and Greenlands in the County Official Plan. The property is also within the Paris Galt Moraine Policy Area. • Natural features on the subject property include Significant Wooded Area. • Single detached homes and ARU are permitted uses within the Secondary Agriculture designation. • The proposed principal dwelling and the proposed ARU are located completely within Secondary Agriculture designation. • Section 4.4.6.2 of the Official Plan directs that an Additional Residential Unit may be permitted as a separate standalone ancillary building or as part of an ancillary building.
<p>That the variance is desirable for the appropriate development and use of the land, building or structure</p>	<ul style="list-style-type: none"> • The subject lands are bounded by rural residential uses and Agricultural uses. • The intent of the application is to facilitate construction of primary dwelling and conversion of an existing dwelling into an ARU that exceeds the maximum, permitted floor area cap of 130 m² and is located at a distance of 47 m from the principal dwelling. • The application also permits the proposed ARU to have a minimum side yard setback of 0.14 m. • Although the proposed ARU exceeds the total floor area cap it meets the maximum percentage floor area cap of 45%. • The property is serviced by existing private septic and water services. The adequacy of the services will be reviewed as part of the Building Permit application. • The proposed ARU appears to be partially visually screened from

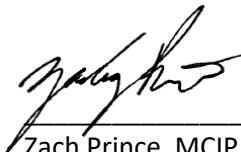
	<p>the trees on the subject property.</p> <ul style="list-style-type: none">• The Committee should consider comments received from the Public Works Department and Building Department regarding any concerns regarding site grading or drainage or servicing.
--	--

In conclusion, planning staff is of the opinion that the requested variance application **meets the four tests** of the *Planning Act* provided that the Building and Public Works Departments have no concerns regarding servicing, as well as grading and drainage. I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee’s decision with respect to this application.

Respectfully submitted,
County of Wellington Planning and Development Department



Asavari Jadhav
Planner



Zach Prince, MCIP RPP
Senior Planner



TOWNSHIP OF

PUSLINCH

EST. 1850

Township of Puslinch
7404 Wellington Road 34
Puslinch, ON, N0B 2J0
T: (519) 763 – 1226
F: (519) 763 – 5846
www.puslinch.ca

Minor Variance or Permission Application

General Information:

1. Applicant Information:

Registered Owner's Name(s): Vicki Madden

Address: 31 Farnham RD

City: Puslinch

Postal Code: N1H 6H8

E-mail Address: chrisvickimadden@yahoo.com

Telephone Number: (519) 591-5294

Fax: _____

Applicant (Agent) Name(s): Ryan Doucette

Address: 1176 Victoria St N

City: Kitchener

Postal Code: N2B 3C9

E-mail Address: RDoucette@pioneerpools.com

Telephone Number: (519) 580-5175

Fax: _____

Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property.

Chris Madden, 31 Farnham rd Pustinch }
Vikki Madden, 31 Farnham rd Pustinch } 519-591-5294

Send correspondence to: Owner: Agent: Other: _____

2. Provide a description of the "entire" property:

Municipal address: 31 Farnham RD Pustinch

Concession: _____ Lot: 131

Registered Plan Number: 2301000008163900000

Area: _____ ha Depth: 65.227m Frontage: 30.48 m
.49 ac _____ ft _____ ft

Width of road allowance (if known): _____

Reason for Application:

3. Please indicate the Section of the Planning Act under which this application is being made. Select one:

- Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.); or
- Section 45(2) relates to a change to or expansion of an existing legal non-conforming use.

4. What is the nature and extent of the relief that is being applied for? (please specifically indicate on sketch).

The pool equipment was placed 1.5m from property line instead of 2m. I spoke with the neighbour about it being 1.5m closer and he doesn't have a problem with it.

**5. Why is it not possible to comply with the provisions of the by-law?
(please specifically indicate on sketch).**

After speaking with Angie, she told me to apply for a variance for the equipment.

6. What is the current Official Plan and zoning status?

Official Plan Designation: _____

Zoning Designation: A

7. What is the access to the subject property?

Provincial Highway:

Continually maintained municipal road:

Seasonally maintained municipal road:

Other: (please specify below)

8. What is the name of the road or street that provides access to the subject property?

Farnham Road, house is in middle

9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

N/A

Existing and Proposed Service:

10. Indicate the applicable water supply and sewage disposal:

Water Supply/Sewage Disposal:	Existing:	Proposed:
Municipal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Private Well:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Water Supply:	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Private Septic:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Sewage Disposal:	<input type="checkbox"/>	<input type="checkbox"/>

11. How is storm drainage provided?

Storm Sewers:

Ditches:

Swales:

Other means: (explain below)

Existing Subject and Abutting Property Land Uses, Buildings and their Locations:

12. What is the existing use of:

The subject property? _____

The abutting properties? _____

13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)

Type of Building(s)/ structures				
Main Building height	m	ft.	m	ft.
*Percentage lot coverage	m	ft.	m	ft.
*Number of parking spaces				
*Number of loading spaces				
Number of floors				
Total floor area	m ²	ft ²	m ²	ft ²
Ground floor area (exclude basement)	m ²	ft ²	m ²	ft ²

14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)

Pool equipment

Front Yard	m	ft.	m	ft.
Rear Yard	m	ft.	m	ft.
Side Yards	1.5 m	ft.	m	ft.

15. What are the dates of acquisition and construction of subject property and building property?

Date of acquisition of subject property: _____

Date of construction of buildings property: _____

16. How long have the existing uses continued on the subject property? ____

17. Has the owner previously applied for relief in respect of the subject property?

Yes No

If the answer is yes, please indicate the file number and describe briefly:

Other Related Planning Applications:

18. Has an application for any of the following on the subject lands?

Planning Application:	Yes:	No:	File Number:	Approval Authority:	Subject Lands	Purpose:	Status:
Official Plan Amendment	<input type="checkbox"/>	<input type="checkbox"/>					
Zoning By-Law Amendment	<input type="checkbox"/>	<input type="checkbox"/>					
Plan of Subdivision	<input type="checkbox"/>	<input type="checkbox"/>					
Consent (Severance)	<input type="checkbox"/>	<input type="checkbox"/>					
Site Plan	<input type="checkbox"/>	<input type="checkbox"/>					
Minor Variance	<input type="checkbox"/>	<input type="checkbox"/>					

Agreement to Post Sign and Permit Site Visits:

A form is included in the Zoning By-law Amendment application to agree to erect a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits.

The applicant is required to erect and maintain a sign on the proposed lands within one week of the application being deemed complete by staff and to remove the sign when the application has been given final approval. The sign shall be a minimum of 1.2 x 1.2 metres on posts 0.5 metres above grade and include the following wording to be approved by Township staff:

A PROPOSAL HAS BEEN MADE
ON THIS SITE FOR: (50 mm text height)
A ZONING BY-LAW AMENDMENT TO xxx (100 mm text height)
FOR FURTHER INFORMATION
PLEASE CONTACT THE TOWNSHIP OF PUSLINCH 7404 WELLINGTON ROAD 34
(519) 763 - 1226 (30-50 mm text height)

For Administrative Purposes Only:

Application fee of \$ _____ received by the municipality

Date Fee Received: _____

Date Application Filed: _____

File Number: _____

Application deemed complete:

Signature of Municipal Employee

Date


Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.

Authorization for Agent/Solicitor to act for Owner:

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

I (we) Vikki Madden + Chris Madden of the
_____ of _____ County/Region of
_____ do hereby authorize
_____ to act as my agent in this application


Signature of Owner(s)


October 8, 2023
Date

Affidavit:

I (we) Ryan Douette of the
Township of ~~Puslinch~~ Puslinch County/Region of
Wellington solemnly declare that all the statements

contained in this application are true, and I, (we), make this solemn declaration
conscientiously believing it to be true, and knowing that it is of the same force and effect
as if made under oath and by virtue of the CANADA EVIDENCE ACT. DECLARED

before me at the Township of Puslinch in the
County/Region of Wellington this 16 day of
October, 20 23


Signature of Owner or authorized
solicitor or agent

Oct 10th, 2023
Date


Signature of Commissioner

Oct 16 / 2023
Date

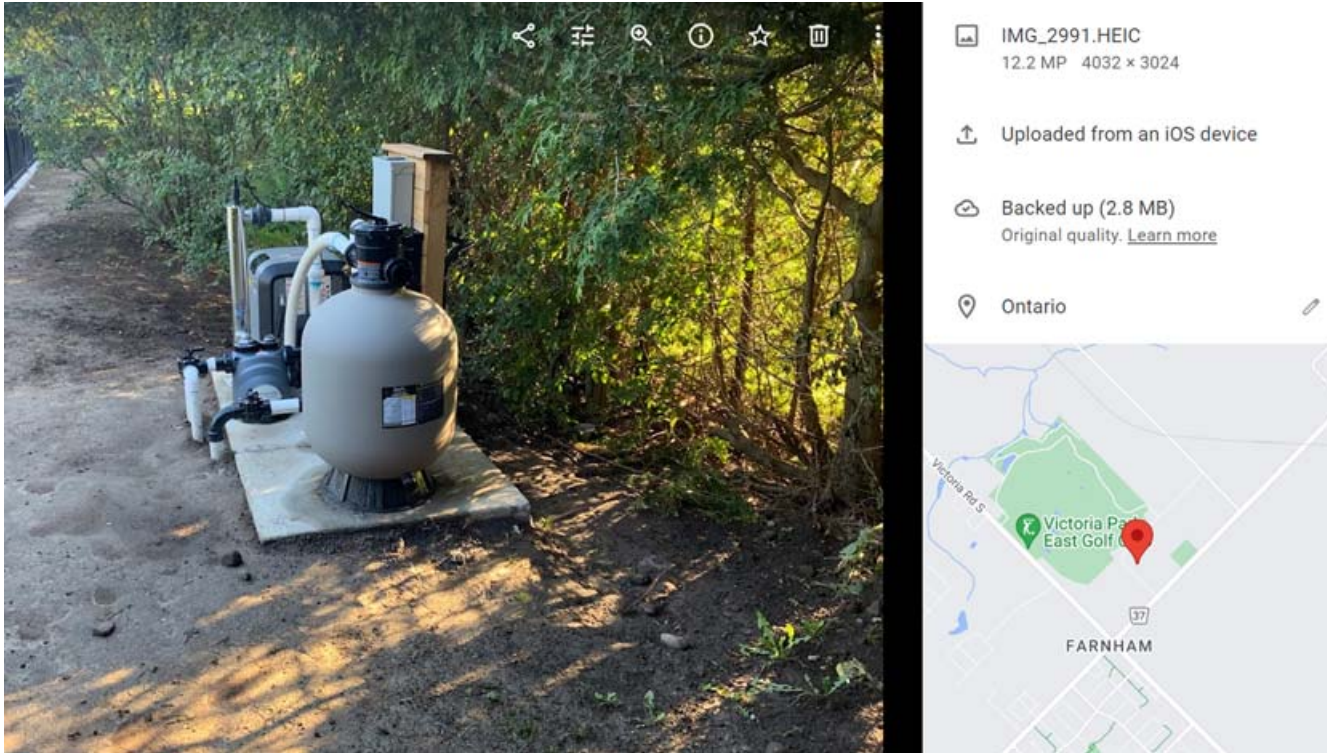
Justine Loubert Brotherston, a Commissioner, etc.,
Province of Ontario, for the Corporation of the
Township of Puslinch.
Expires August 21, 2024.

Lynne Banks

From: Andrew Hartholt
Sent: Monday, October 23, 2023 10:44 AM
To: Lynne Banks
Subject: RE: Notice of Public Meeting - Minor Variance Application - 31 Farnham Rd

Sensitivity: Confidential

Just the equipment. See below for a picture from the site visit.



Andrew Hartholt, CBCO/CRBO
Chief Building Official
Township of Puslinch
7404 Wellington Rd. 34, Puslinch, ON N0B 2J0
P: 519-763-1226 ext. 229/Fax: 519-763-5846 www.puslinch.ca

My work hours may not match yours, and I do not expect you to respond outside your working hours

From: Lynne Banks <lbanks@puslinch.ca>
Sent: Monday, October 23, 2023 10:40 AM
To: Andrew Hartholt <ahartholt@puslinch.ca>
Subject: RE: Notice of Public Meeting - Minor Variance Application - 31 Farnham Rd
Sensitivity: Confidential

Hey Andrew, just a quick question, is the pool equipment in a shed or out in the open?



**PLANNING REPORT
for the TOWNSHIP OF PUSLINCH**

Prepared by the County of Wellington Planning and Development Department in our capacity as planning consultants for the Township

MEETING DATE: November 14, 2023
TO: Lynne Banks, Development and Legislative Coordinator
 Township of Puslinch
FROM: Asavari Jadhav, Planner
 Zach Prince, Senior Planner
 County of Wellington
SUBJECT: **MINOR VARIANCE APPLICATION D13/MAD (Vikki Madden)**
31 Farnham Road
Part Lot 5 Plan 131 being Part 1 on Reference Plan 61R-3484
ATTACHMENTS: 1 – Submitted Site Plan

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

Planning Opinion

The proposed variance would provide relief from Section 4.27.1 (c), of the Zoning By-law to permit existing pool equipment to be 1.5 m from the lot line as opposed to minimum required 2m from the lot line.

The minor variance application would maintain the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property provided any concerns of the Building and Public Works Departments are addressed including adequate servicing, as well as drainage and grading. We consider the request minor and have no concerns with the application.

Section of the By-law	Required	Proposed	Relief Requested
Section 4.27.1 (c), Outdoor Swimming Pools	The by-law requires an outdoor swimming pool pumps, filters and heaters, or any accessory building or structure containing such equipment must be set back a minimum of 2m (6.6 ft) from any lot line.	1.5 m (4.92 ft)	0.5 m (1.64 ft)

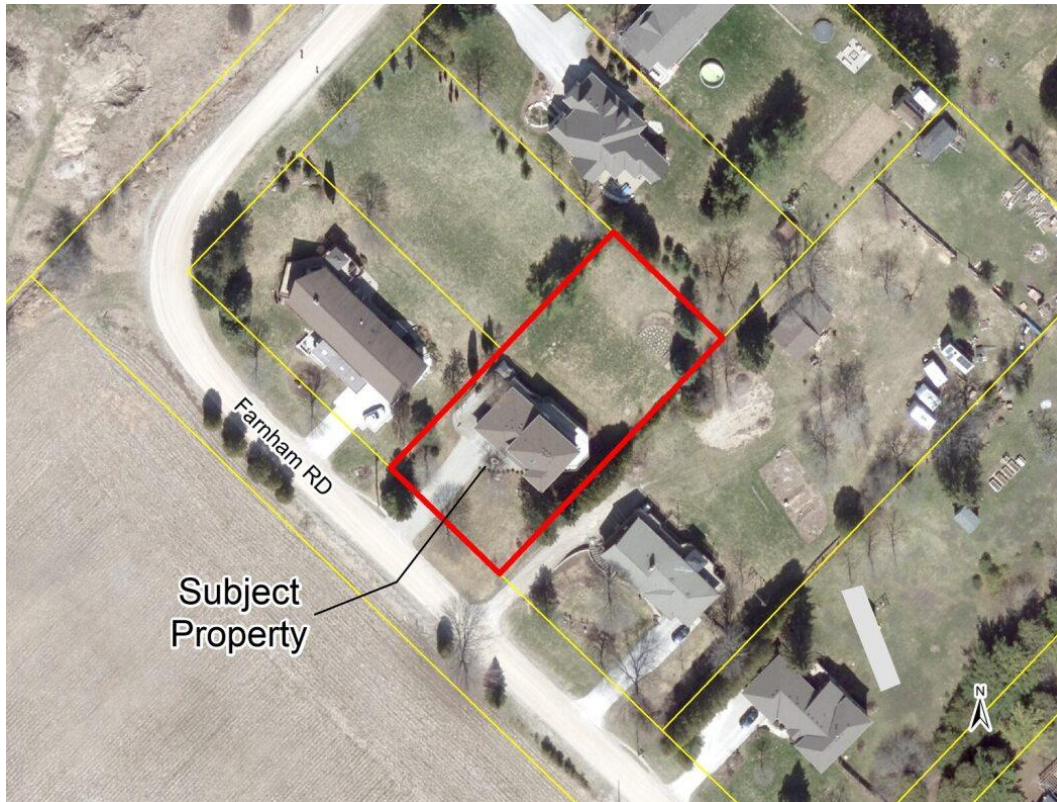


Figure 1: Subject Property

Our discussion of this application relative to the four tests under the Planning Act is as follows:

Four Tests	Discussion
That the requested variance is minor in nature	<ul style="list-style-type: none"> • The relief is requested to permit existing pool equipment to be 1.5 m from the lot line. • The parcel includes an existing dwelling, in-ground pool and pool equipment. • The applicant has indicated that the existing pool equipment is located in the interior setback and proposes to maintain interior side yard setback of 1.5 m. • The pool equipment appears to be partially visually screened from trees on the subject property.
That the intent and purpose of the Zoning By-law is maintained	<ul style="list-style-type: none"> • The subject property is located entirely within Agricultural (A) Zone. • A single detached dwelling is a permitted use within the A Zone. • Section 4.27.1 (c) of the Zoning By-law requires an outdoor swimming pool pumps, filters and heaters, or any accessory building or structure containing such equipment must be set back a minimum of 2 m from any lot line. • The applicant is proposing an interior side yard setback of 1.5 m to permit existing pool equipment. • The intent of requiring a minimum side yard setback is to provide adequate space for maintenance and access between yards on the subject property, to provide privacy and separation between abutting properties, and to ensure grading and drainage can be adequately addressed on the subject property.

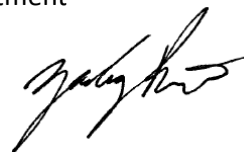
<p>That the general intent and purpose of the Official Plan is maintained</p>	<ul style="list-style-type: none"> • The subject property is designated as Prime Agriculture. The property is also located in Special Policy Area PA7-4. • Special Policy Area PA7-4 contains policies acknowledging the mixture of livestock operations and non-farm uses within this area and provides policy regarding livestock operations and permitted uses. • Single detached homes are permitted within the Secondary Agricultural Designation.
<p>That the variance is desirable and appropriate development and use of the land, building or structure</p>	<ul style="list-style-type: none"> • The subject lands are immediately surrounded by rural residential uses. • Typically, one interior side is with a smaller setback, and one with a larger interior side yard setback to provide access between the yards. Although the proposed interior yard setback (east) is 1.22 m, the other interior side yard setback (west) is larger and provides access between the yards. • The proposed reduction in the interior side yard will still maintain a sufficient setback for access for the maintenance of the property and around the pool equipment. • Setback requirements for all the other sides of the pool equipment have been met. • The existing pool equipment is located a substantial distance from the buildings on the abutting property and is partially visually screened by trees on the subject property. • The Committee should consider comments received from the Public Works Department and Building Department regarding any concerns regarding site grading or drainage or servicing.

In conclusion, planning staff is of the opinion that the requested variance application **meets the four tests** of the *Planning Act* provided that the Building and Public Works Departments have no concerns regarding servicing, as well as grading and drainage. I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee’s decision with respect to this application.

Respectfully submitted,
County of Wellington Planning and Development Department



Asavari Jadhav
Planner



Zach Prince, MCIP RPP
Senior Planner

ATTACHMENT 1: Submitted Site Plan

