



PLANNING & DEVELOPMENT ADVISORY COMMITTEE  
VIRTUAL MEETING BY ELECTRONIC PARTICIPATION &  
IN-PERSON AT THE PUSLINCH COMMUNITY CENTRE –  
23 BROCK RD S, PUSLINCH  
SEPTEMBER 12, 2023  
7:00 p.m.

Register in advance:

[https://us02web.zoom.us/webinar/register/WN\\_417bAWBIR0us8y8Dv8d4xA](https://us02web.zoom.us/webinar/register/WN_417bAWBIR0us8y8Dv8d4xA)

Or join by phone:

Dial (for higher quality, dial a number based on your current location):

Canada: +1 613 209 3054

or +1 647 374 4685

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or +1 778 907 2071

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or +1 587 328 1099

Webinar ID: 836 5578 5354

Passcode: 486321

International numbers available: <https://us02web.zoom.us/j/83655785354>

## **AGENDA**

### **COMMITTEE OF ADJUSTMENT:**

**≠ Denotes resolution prepared**

- 1. Call the Meeting to Order (Opening Remarks)**
- 2. Roll Call**
- 3. Moment of Reflection**
- 4. Confirmation of Agenda ≠**
- 5. Disclosure of Conflict of Interest**
- 6. Approval of Minutes ≠**
  - 6.1 August 8, 2023**
- 7. Application for Minor Variance or Permission under section 45 of the Planning Act to be heard by the Committee this date:**
  - 7.1 Minor Variance Application D13-MAS – Christine and Gary Mason – 4668 Sideroad 20 N., Front Part Lot 20, Concession 4, Township of Puslinch. ≠**



PLANNING & DEVELOPMENT ADVISORY COMMITTEE  
VIRTUAL MEETING BY ELECTRONIC PARTICIPATION &  
IN-PERSON AT THE PUSLINCH COMMUNITY CENTRE –  
23 BROCK RD S, PUSLINCH  
SEPTEMBER 12, 2023  
7:00 p.m.

Requesting relief of New Comprehensive Zoning By-law # 23-2018, as amended, from Section 11.3, Table 11.2.

The purpose and effect is to provide relief from Section 11.3. Table 11.2 to permit a reduced lot frontage along Forestell Rd is to be 10m instead of 120m as required.

**7.2 Minor Variance Application D13-GOD – Krista and Paul Godinho – 6911 Wellington Road 34, Concession 2, Rear Part Lot 16, Township of Puslinch. #**

Requesting relief of New Comprehensive Zoning By-Law #23-2018, as amended, from Section 4.4.2 , Table 4.1

The purpose and effect is to provide relief from:

1. Section 4.4.2, Table 4.1 to permit the accessory building to have a maximum lot coverage of 225m<sup>2</sup> instead of 200m<sup>2</sup>, for a lot area less than 1.0ha; and
2. Section 4.4.2, Table 4.1 to permit the accessory building to have a height of 6.1m (20ft) instead of 5m as permitted.

**8. New Business**

**9. Adjournment of Committee of Adjustment #**



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH  
AUGUST 8, 2023 COMMITTEE OF ADJUSTMENT MEETING  
IN-PERSON AND VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

**MINUTES**

**DATE:** August 8, 2023

**MEETING:** 7:00 p.m.

The August 8, 2023 Committee of Adjustment Meeting was held on the above date and called to order at 7:00 p.m. via electronic participation and in-person at 23 Brock Rd S, Puslinch.

**1. CALL THE MEETING TO ORDER**

**2. ROLL CALL**

**ATTENDANCE:**

**PRESENT:**

Councillor John Sepulis, Chair  
Paul Sadhra  
Jeffrey Born  
Dennis O'Connor  
Chris Pickard

**ABSENT:**

None

**STAFF IN ATTENDANCE:**

Lynne Banks, Secretary/Treasurer  
Courtenay Hoytfox, Municipal Clerk  
Zachary Prince, Senior Planner, County of Wellington  
Asavari Jadhav, Junior Planner, County of Wellington

**3. MOMENT OF REFLECTION**

**4. CONFIRMATION OF THE AGENDA**

**Resolution No. 2023-063:**

Moved by Committee Member Dennis O'Connor and  
Seconded by Committee Member Chris Pickard



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH  
AUGUST 8, 2023 COMMITTEE OF ADJUSTMENT MEETING  
IN-PERSON AND VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

**That the Committee approves the August 8, 2023 Agenda as circulated.**

**CARRIED.**

**5. DISCLOSURE OF CONFLICT OF INTEREST:**

None

**6. APPROVAL OF MINUTES**

**6.1 Approval of the Minutes**

6.1.1 July 11, 2023

**Resolution No. 2023-064:**

Moved by Committee Member Jeff Born and  
Seconded by Committee Member Paul Sadhra

**That the Committee of Adjustment approves the Minutes from the meeting held July 11, 2023.**

**CARRIED.**

**7. APPLICATIONS FOR MINOR VARIANCE OR PERMISSION** under section 45 of the Planning Act to be heard by the Committee this date:

**7.1 Minor Variance Application D13-DUA – Lisa and Nelson Duarte – 7737 Wellington Rd 34, Concession 10, Part Lot 21, Township of Puslinch. ≠**

Requesting relief of New Comprehensive Zoning By-Law #23-2018, as amended, from Sections 4.2.1 c. Outdoor Swimming Pools to permit existing pool equipment to have a reduced setback to be 0.76m (2.5 ft) from the lot line.

- Lisa Duarte, owner of the property, provided an overview of the application.
- Lynne Banks read out a written comment received from a neighbouring property owner in support of the application.
- There were no questions or comments from the public.
- Chris Pickard asked if the propane tank will be relocated.
- Lisa Duarte advised that they can move it if it is necessary.
- Dennis O'Connor noted that it is the responsibility of the propane company for proper placement of the tank in relation to property lines and buildings.



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH  
AUGUST 8, 2023 COMMITTEE OF ADJUSTMENT MEETING  
IN-PERSON AND VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

- There were no further questions or comments from the Committee.

**Resolution No. 2023-065:**

Moved by Committee Member Dennis O'Connor and  
Seconded by Committee Member Chris Pickard

**That the Committee approve Minor Variance Application D13-DUA with the following Conditions:**

That any concerns of the Building and Public Works Departments are addressed including adequate servicing, as well as drainage and grading.

**CARRIED.**

**7.2 Minor Variance Application D13-CHA – Michel Lorenzo Chartrand and Victoria Lynn Chartrand – 90 Gilmour Rd, Concession 8, Rear Part Lot 23, Township of Puslinch. #**

Requesting relief of New Comprehensive Zoning By-Law #23-2018, as amended, from Sections 4.16.1 a. - New Non-Farm Uses to permit a reduced MDS I setback to be 217m rather than the 255m as required from the barn at 76 Gilmour Rd.

- Nancy Shoemaker, agent for the applicant provided an overview of the application.
- There were no questions or comments from the public.
- There were no questions or comments from the Committee.

**Resolution No. 2023-066:**

Moved by Committee Member Paul Sadhra and  
Seconded by Committee Member Dennis O'Connor

**That the Committee approve Minor Variance Application D13-CHA with no Conditions**

**CARRIED.**

**8. New Business**

John Sepulis advised the other members of the Committee that the Sub-Committee meetings will be held either before or after the Committee of Adjustment meeting.

**9. ADJOURNMENT**



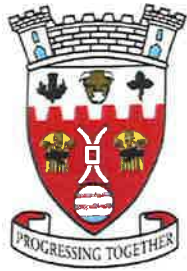
THE CORPORATION OF THE TOWNSHIP OF PUSLINCH  
AUGUST 8, 2023 COMMITTEE OF ADJUSTMENT MEETING  
IN-PERSON AND VIRTUAL MEETING BY ELECTRONIC PARTICIPATION

**Resolution No. 2023-067:**

Moved by Committee Member Paul Sadhra and  
Seconded by Committee Member Dennis O'Connor

**That the Committee of Adjustment hereby adjourns at 7:23 p.m.**

**CARRIED.**



**Township of Puslinch**  
7404 Wellington Road #34  
Guelph, ON, N1H 6H9  
T: (519) 763 – 1226  
F: (519) 763 – 5846  
www.puslinch.ca

## Minor Variance or Permission Application

### General Information:

#### 1. Applicant Information:

**Registered Owner's Name(s):** Christine Rose MASON & Gary Allan MASON

**Address:** 4668 Sideroad 20 North

**City:** Guelph, ON

**Postal Code:** N1H 6J3

**E-mail Address:** [REDACTED]

**Telephone Number:** [REDACTED]

**Fax:** \_\_\_\_\_

**Applicant (Agent) Name(s):** Jeff Buisman of Van Harten Surveying Inc.

**Address:** 2106 Gordon Street

**City:** Guelph

**Postal Code:** N1L 1G6

**E-mail Address:** [REDACTED]

**Telephone Number:** [REDACTED]

**Fax:** \_\_\_\_\_

Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property.

Send correspondence to: Owner:  Agent  Other: \_\_\_\_\_

**2. Provide a description of the "entire" property:**

Municipal address: 4668 Sideroad 20 North

Concession: 4 Lot: 20

Registered Plan Number: Part 1, 61R-7103

<b>Severed</b>	Area: <u>0.43ha</u> ha	Depth: <u>65.0m</u> m	Frontage: <u>65.4m</u> m
	<b>Retained</b> <u>7.2ha</u> ac	<u>280m</u> ft	<u>10m &amp; 260m</u> ft

Width of road allowance (if known): 25.0m and 20.12m

**Reason for Application:**

**3. Please indicate the Section of the Planning Act under which this application is being made. Select one:**

- Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.); or
- Section 45(2) relates to a change to or expansion of an existing legal non-conforming use.

**4. What is the nature and extent of the relief that is being applied for? (please specifically indicate on sketch).**

The following variance is being requested:

A) To permit a reduced lot frontage of the Retained Parcel along Forestell Road to be 10.0m instead of 120m as required in Table 11.2 of the of the Zoning By-law.



**5. Why is it not possible to comply with the provisions of the by-law?  
(please specifically indicate on sketch).**

A Minor Variance request is being made for the Retained Parcel of Severance Application B13-23. This application has been approved subject to conditions including the requirement of Zoning Compliance (Condition 6).

Please see covering letter for more information.

**6. What is the current Official Plan and zoning status?**

Official Plan Designation: Secondary Agricultural and Core Greenlands

Zoning Designation: Agricultural and Natural Environment

**7. What is the access to the subject property?**

Provincial Highway:

Continually maintained municipal road:

Seasonally maintained municipal road:

Other:  (please specify below)

**8. What is the name of the road or street that provides access to the subject property?**

Forestell Road and Sideroad 20 North

**9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.**

N/A

**Existing and Proposed Service:**

**10. Indicate the applicable water supply and sewage disposal:**

Water Supply/Sewage Disposal:	Retained Parcel	Severed Parcel
	Existing:	Proposed:
Municipal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Private Well:	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Other Water Supply:	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Private Septic:	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Other Sewage Disposal:	<input type="checkbox"/>	<input type="checkbox"/>

**11. How is storm drainage provided?**

Storm Sewers:

Ditches:

Swales:

Other means:  (explain below)

**Existing Subject and Abutting Property Land Uses, Buildings and their Locations:**

**12. What is the existing use of:**

The subject property? Rural Residential / Agricultural

The abutting properties? Rural Residential / Agricultural

**13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)**

**See sketch for details**

<b>Building Details:</b>	<b>Existing:</b>		<b>Proposed:</b>	
Type of Building(s)/ structures				
Main Building height	m	ft.	m	ft.
*Percentage lot coverage	m	ft.	m	ft.
*Number of parking spaces				
*Number of loading spaces				
Number of floors				
Total floor area	m <sup>2</sup>	ft <sup>2</sup>	m <sup>2</sup>	ft <sup>2</sup>
Ground floor area (exclude basement)	m <sup>2</sup>	ft <sup>2</sup>	m <sup>2</sup>	ft <sup>2</sup>

**14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)**

**See sketch for details**

<b>Building Details:</b>	<b>Existing:</b>		<b>Proposed:</b>	
Front Yard	m	ft.	m	ft.
Rear Yard	m	ft.	m	ft.
Side Yards	m	ft.	m	ft.

**15. What are the dates of acquisition and construction of subject property and building property?**

Date of acquisition of subject property: June 1996

Date of construction of buildings property: Many years ago

**16. How long have the existing uses continued on the subject property?** Many years

**17. Has the owner previously applied for relief in respect of the subject property?**

Yes  No

If the answer is yes, please indicate the file number and describe briefly:

N/A
-----

**Other Related Planning Applications:**

**18. Has an application for any of the following on the subject lands?**

Planning Application:	Yes:	No:	File Number:	Approval Authority:	Subject Lands	Purpose:	Status:
Official Plan Amendment	<input type="checkbox"/>	<input type="checkbox"/>					
Zoning By-Law Amendment	<input type="checkbox"/>	<input type="checkbox"/>					
Plan of Subdivision	<input type="checkbox"/>	<input type="checkbox"/>					
Consent (Severance)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	B13-23	County of Wellington	Lot 20, Con 4	Severance	Approved Subject to Conditions
Site Plan	<input type="checkbox"/>	<input type="checkbox"/>					
Minor Variance	<input type="checkbox"/>	<input type="checkbox"/>					

**Authorization for Agent/Solicitor to act for Owner:**

31950-22

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

I (we) Christine Rose MASON & Gary Allan MASON of the  
Township of Puslinch County/Region of  
Wellington do hereby authorize

Jeff Buisman of Van Harten Surveying Inc. to act as my agent in this application.

[Redacted Signature]

Signature of Owner(s)

JUNE 16, 2023  
Date

[Redacted Signature]

Signature of Owner(s)

JUNE 16, 2023  
Date

**Affidavit:**

I (we) Jeff Buisman of Van Harten Surveying Inc. of the  
City of Guelph County/Region of  
Wellington solemnly declare that all the statements

contained in this application are true, and I, (we), make this solemn declaration  
conscientiously believing it to be true, and knowing that it is of the same force and effect  
as if made under oath and by virtue of the CANADA EVIDENCE ACT. DECLARED

before me at the City of Guelph in the

County/Region of Wellington this 11 day of

August, 2023

[Redacted Signature]

Signature of Owner or authorized  
Solicitor or agent

AUG 11, 2023  
Date

[Redacted Signature]

Signature of Owner or authorized

AUG 11, 2023  
Date

[Redacted Signature]



August 11, 2023

31950-22

Jeff.Buisman@vanharten.com

Township of Puslinch  
7404 Wellington Road 34  
Puslinch, Ontario  
N0B 2J0

Attention: Lynne Banks

Dear Ms. Banks:

**Re: Minor Variance Application & Sketch for Severance B13-23  
4668 Sideroad 20 North  
Part of Lot 20, Concession 4  
Part 1, 61R-7103  
PIN 71200-0034  
Township of Puslinch**

Please find enclosed an application for a minor variance on the above-mentioned property. Included with this submission are copies of the minor variance sketch, completed application form, required deed, PIN report and map, Sourcewater Protection Form and a cheque in the amount of \$1,365.00 to the Township of Puslinch for the application fee.

**Proposal:**

A minor variance request is being made for the Retained Parcel of the Severance Application B13-23 that has been approved subject to conditions at the April 2023 Land Division Committee Meeting. This variance is required to satisfy Condition 6 of the approved application. The Minor Variance request is as follows:

**A) To permit a reduced lot frontage of the Retained Parcel along Forestell Road to be 10.0m instead of 120m as required in Table 11.2 of the Zoning By-law.**

The "operational frontage" of the property is along Sideroad 20 North which is about 300m long. The intention to leave 10m of frontage along Forestell Road leads to the matter of Frontage as defined in the Zoning By-law. The By-law considers the frontage of a corner parcel to be the road with the shortest distance along the road – which in this case is the 10m along Forestell Road. Functional frontage and driveway for the property is on the Sideroad 20 North side.

The severance is creating a new rural residential parcel along Forestell Road. The Severed Parcel will have a frontage of 64.5±m along Forestell Road, depth of 65.0±m, for an area of 0.42±ha where a dwelling is proposed. An entrance exists along Forestell Road, it has been evaluated and safe access can be maintained. The Zoning requirements are met for this parcel.



A road widening of  $345\pm\text{m}^2$  has been presented along the frontage of the Severed and Retained Parcels on Forestell Road as this condition is required from the City of Guelph. The City of Guelph has asked for a road widening of 5m, to establish an overall width of 25.0m for the frontage of Forestell Road.

The 10m frontage allows for field access and frontage along Forestell Road for the Retained Parcel. The main access will be from Sideroad 20 North where there is a large frontage and where the existing driveway to the dwelling will remain. We consider this Minor Variance request to be minor in nature, it will not have a negative impact on neighbouring properties, and the remaining zoning requirements are met for this parcel.

The Minor Variance for the Retained Parcel is reasonable, and we provide the opinion that the minor variance meets the four tests for a minor variance.

Please call me if you or the Planning Staff have any questions.

Very truly yours,  
Van Harten Surveying Inc.

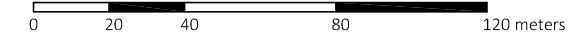
A large black rectangular redaction box covers the signature area. To the right of the box, there is a handwritten signature in black ink that appears to be 'JEB'.

**Jeffrey E. Buisman** B.E.S, B.Sc.  
*Ontario Land Surveyor*

cc Gary Mason

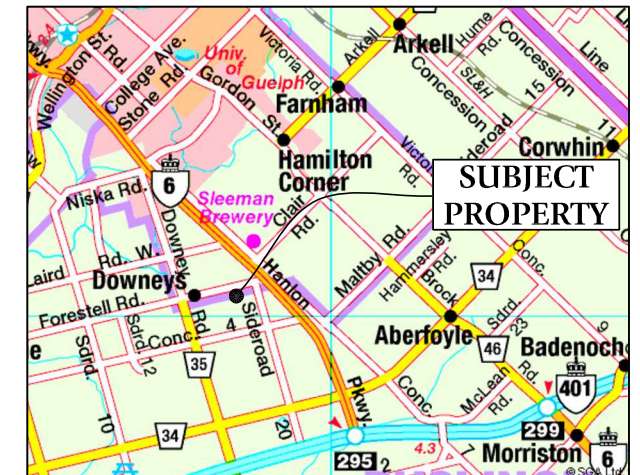
**MINOR VARIANCE SKETCH  
PART OF LOT 20, CONCESSION 4  
TOWNSHIP OF PUSLINCH  
COUNTY OF WELLINGTON**

SCALE 1 : 2000



VAN HARTEN SURVEYING INC.

KEYMAP

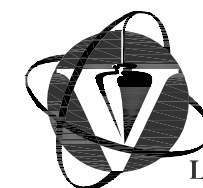


NOTES:

1. THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE USED FOR REAL ESTATE TRANSFERS OR MORTGAGES.
2. SUBJECT LANDS ARE ZONED AGRICULTURAL & NATURAL ENVIRONMENT.
3. SUBJECT LANDS HAVE AN OFFICIAL PLAN DESIGNATION OF SECONDARY AGRICULTURAL & CORE GREENLANDS.
4. DISTANCES ON THIS PLAN ARE SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
5. DIMENSIONS ON THIS SKETCH ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED BY SURVEY.
6. N.T.S. DENOTES NOT TO SCALE.

- O.P. : CORE GREENLANDS  
ZONING: NATURAL ENVIRONMENT
- O.P. : GREENLANDS  
ZONING: ENVIRONMENTAL PROTECTION OVERLAY

THIS SKETCH WAS PREPARED ON  
THE 11th DAY OF AUGUST, 2023



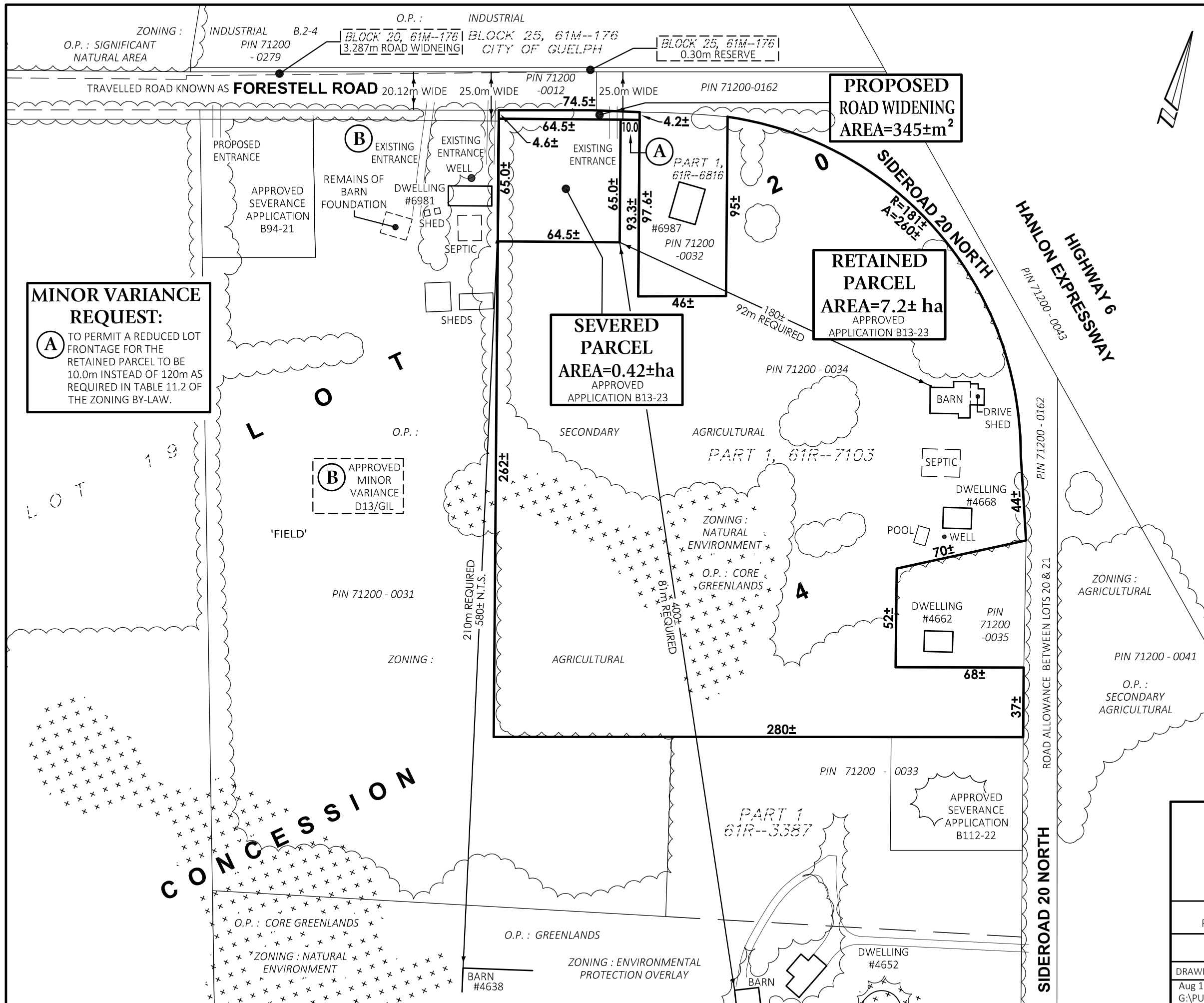
**Van Harten**  
SURVEYING INC.  
LAND SURVEYORS and ENGINEERS

Waterloo Ph: 519-742-8371      Guelph Ph: 519-821-2763      Orangeville Ph: 519-940-4110

www.vanharten.com      info@vanharten.com

DRAWN BY: ARN      CHECKED BY: JEB      PROJECT No. 31950-22

Aug 11, 2023-8:59am  
G:\PUSLINCH\Con4\ACAD\MV PT LT 20 (MASON) UTM.dwg



**MINOR VARIANCE REQUEST:**  
**A** TO PERMIT A REDUCED LOT FRONTAGE FOR THE RETAINED PARCEL TO BE 10.0m INSTEAD OF 120m AS REQUIRED IN TABLE 11.2 OF THE ZONING BY-LAW.

**B** APPROVED MINOR VARIANCE D13/GIL

**RETAINED PARCEL**  
AREA=7.2± ha  
APPROVED APPLICATION B13-23

**SEVERED PARCEL**  
AREA=0.42±ha  
APPROVED APPLICATION B13-23

**PROPOSED ROAD WIDENING**  
AREA=345±m<sup>2</sup>





## PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department

**DATE:** September 12<sup>th</sup>, 2023  
**TO:** Lynne Banks, Secretary-Treasurer  
 Township of Puslinch  
**FROM:** Asavari Jadhav, Planner  
 Zach Prince, Senior Planner  
 County of Wellington  
**SUBJECT:** **MINOR VARIANCE APPLICATION D13/MAS (Christine Rose Manson and Gary Allan Manson)**  
**4668 Sideroad 20 N**  
**Concession 4 Front Part Lot 20 RP61R7103 Part 1**

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

### Planning Opinion

The variance requested would provide relief from Section 11.3 (Table 11.2) of the Zoning By-law requesting permission for a reduction in minimum lot frontage. A lot frontage of 10 m is proposed, whereas the by-law requires a minimum lot frontage 120 m for properties that are greater than 4 hectares in size.

This application is required as a condition of consent application **B13/23** that was conditionally approved in April 2023. The consent application would sever a 0.43 ha (1.06 ac) vacant parcel for rural residential use within the Secondary Agricultural Area. A 7.2 ha (17.8 ac) parcel would be retained with dwelling and barn (Figure 1).

This minor variance application maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property. We consider the request minor and have no concerns with the application.

### Proposal:

Section of the By-law	Required	Proposed	Relief Requested
Section 4.4.2 Table 4.1 Additional Regulations – Accessory Buildings and Structures	The by-law requires a minimum lot frontage of 120 meters for properties greater than 4 hectares	10 m	110 m



Figure 1 - Subject Property

Our discussion of this application relative to the four tests under the Planning Act is as follows:

Four Tests	Discussion
That the requested variance is <b>minor</b> in nature	<ul style="list-style-type: none"> <li>• The proposed application is requesting relief from the minimum required lot frontage of 120 m for the retained parcel.</li> <li>• This application is required as a condition of consent application <b>B13/23</b> that was conditionally approved in April 2023.</li> <li>• The subject lands contain an existing dwelling and a barn.</li> <li>• The minimum lot area is met for both the severed and retained parcels. We find that the requested variance is minor in nature.</li> </ul>
That the intent and purpose of the <b>Zoning By-law</b> is maintained	<ul style="list-style-type: none"> <li>• The subject lands are zoned Agricultural (A), Natural Environment (NE) and within the Natural Environment Overlay.</li> <li>• A single detached dwelling unit is a permitted use within the Agriculture (A) zone.</li> <li>• The minimum lot area and frontage requirements are met for the severed parcel.</li> <li>• Lot frontage of 10 meters is proposed for retained parcel, as opposed to the minimum required lot frontage of 120 meters for properties greater than 4 hectares in size.</li> <li>• Planning staff note that there is an existing dwelling and driveway access on Sideroad 20 N for retained parcel.</li> </ul>

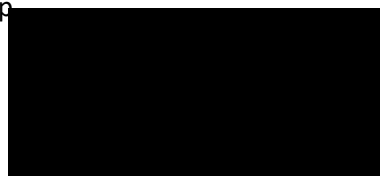
	<ul style="list-style-type: none"> <li>• The intent of the minimum lot frontage is to ensure that a safe entrance is available and also to ensure the viability of present and future use of the property.</li> <li>• Within the Puslinch Zoning By law, lot frontage in the case of a corner lot is defined as “the shorter lot line that abuts a street is deemed to be the front lot line and the longer lot line that abuts a street is deemed to be an exterior side lot line.”</li> <li>• The reduced frontage for the retained parcel was created as a result of a secondary agricultural severance along Forestell Rd.</li> </ul>
That the general intent and purpose of the <b>Official Plan</b> is maintained	<ul style="list-style-type: none"> <li>• The property is designated Secondary Agricultural and Core Greenlands in the County Official Plan.</li> <li>• The subject lands are identified as being within the Paris Galt Moraine Policy.</li> <li>• A single detached dwelling is a permitted use in the Secondary Agricultural designation.</li> <li>• Consent application B13/23 has been conditionally approved by the County of Wellington Land Division Committee and was deemed to be consistent with the Official Plan.</li> </ul>
That the variance is <b>desirable</b> for the appropriate development and use of the land, building or structure	<ul style="list-style-type: none"> <li>• This application is required as a condition of consent application B13/23 that was conditionally approved in April 2023. This application would sever a 0.43 ha (1.06 ac) vacant parcel for rural residential use within the Secondary Agricultural Area. A 7.2 ha (17.8 ac) parcel would be retained with dwelling and a barn.</li> <li>• There is an existing driveway on Sideroad 20 N to access the existing dwelling and barn on the retained parcel.</li> <li>• County staff are satisfied that the minor variance is desirable, and appropriate for the development and use of the land.</li> </ul>

In conclusion, planning staff is of the opinion that the requested variance application **meets the four tests** of the *Planning Act*. I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee’s decision with respect to this application.

Respectfully submitted,  
County of Wellington Planning and Development Department

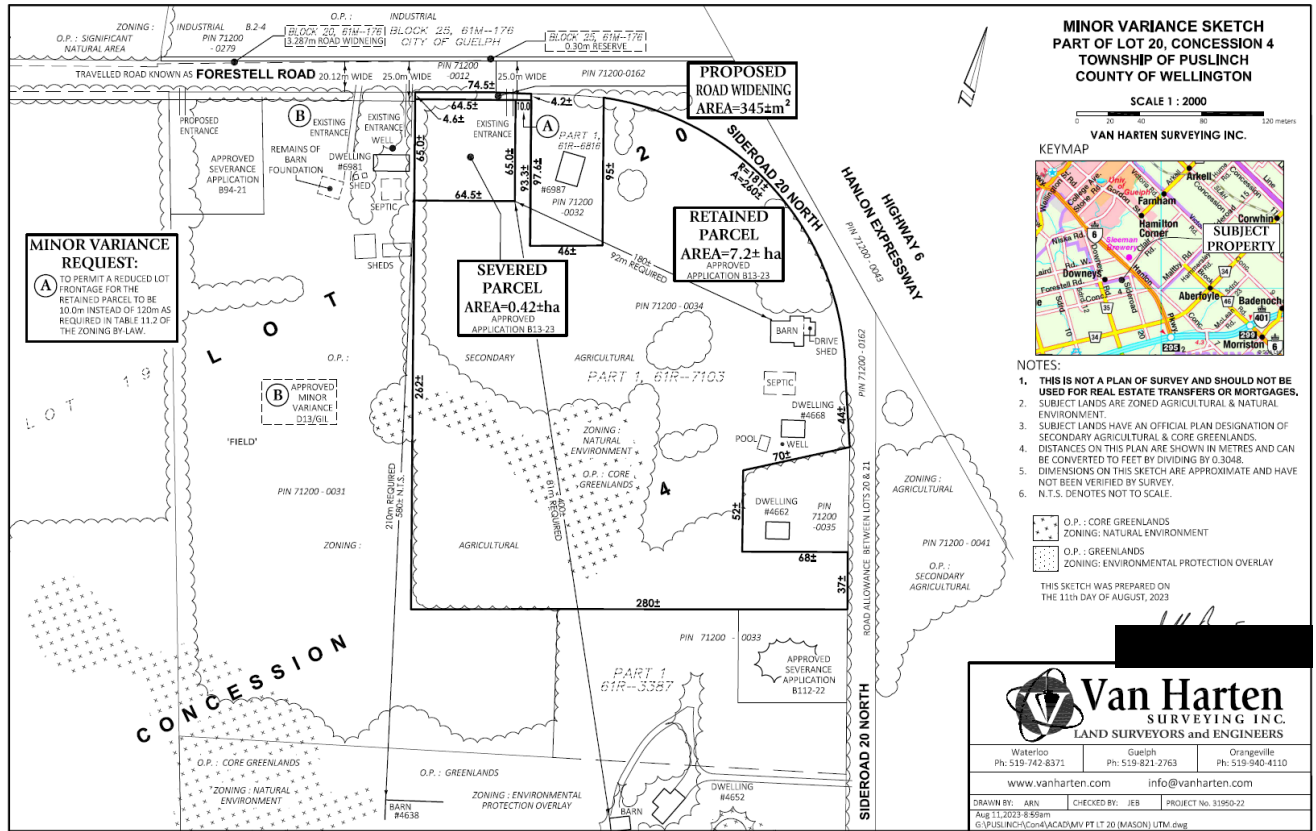


Asavari Jadhav  
Planner



Zach Prince, MCIP RPP  
Senior Planner

**ATTACHMENT : Site Plan Submitted by Applicant**



## Lynne Banks

---

**From:** Source Water <sourcewater@centrewellington.ca>  
**Sent:** Monday, August 21, 2023 11:16 AM  
**To:** Hillary Miller  
**Cc:** Source Water  
**Subject:** RE: Minor Variance Notice of Public Hearing - D13/MAS - 4668 Sideroad 20 N

Hello Hillary,

Thank you for providing the above referenced application for review. Since this property is located in a vulnerable area (wellhead protection area, issues contributing area, intake protection zone etc.), but the activity(ies), as indicated, would not create a significant drinking water threat, the application can be screened out and it does not require a Section 59 notice under the *Clean Water Act*. Please note that we may provide comments on any future planning applications subject to this property, given the vulnerable areas

Thanks,

Kim

Kim Funk | Source Protection Coordinator

Wellington Source Water Protection | 1 MacDonald Square, Elora, ON, N0B 1S0  
519.846.9691 x283 | [kfunk@centrewellington.ca](mailto:kfunk@centrewellington.ca) | [www.wellingtonwater.ca](http://www.wellingtonwater.ca)  
Toll free: 1-844-383-9800

---

**From:** Hillary Miller <hmiller@puslinch.ca>  
**Sent:** Monday, August 21, 2023 10:15 AM  
**To:** Source Water <sourcewater@centrewellington.ca>  
**Subject:** Minor Variance Notice of Public Hearing - D13/MAS - 4668 Sideroad 20 N

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning,

Attached please find the Notice of Public Hearing with respect to the above property for your review and comment. Please provide any comments you might have by September 1, 2023.

Kind regards,



Hillary Miller  
Legislative Assistant  
Township of Puslinch  
7404 Wellington Rd. 34, Puslinch, ON N0B 2J0  
P: 519-763-1226 x207/Fax: 519-763-5846 [www.puslinch.ca](http://www.puslinch.ca)

Office Use Only
Roll Number: _____
File Number: _____
Submission Date: _____
WHPA, IPZ, ICA: _____
Vulnerability Score: _____

## Drinking Water Source Protection Screening Form

For assistance in completing this form, please refer to the “Explanatory Guide” beginning on page 5.

### 1. Property Information

Municipal Address of Subject Property: 4668 Sideroad Road North, Puslinch

Property Owner: Gary Mason

### 2. Proposal (Please check all that apply to this application):

	Building
<input type="checkbox"/>	New Structure
<input type="checkbox"/>	Expansion or Conversion of an Existing Structure
<input type="checkbox"/>	New or Replacement Septic System
<input type="checkbox"/>	New Well (Transport Pathway)
<input type="checkbox"/>	Geothermal System (Transport Pathway)
<input type="checkbox"/>	Change of Use

	Planning
<input checked="" type="checkbox"/>	Minor Variance
<input type="checkbox"/>	Official Plan Amendment
<input type="checkbox"/>	Consent Application
<input type="checkbox"/>	Zoning By-law Amendment Application
<input type="checkbox"/>	Subdivision/Condominium Application
<input type="checkbox"/>	Site Plan Application

### Brief Description of the Proposed Use of Land, Proposed Buildings or Structures

**A severance of 0.43ha was recently approved on the subject property and a single-detached dwelling is proposed. The retained parcel contains an existing dwelling and barn which will remain on 7.2ha of land. The minor variance is required for the reduced lot frontage of 10.0m for the Retained Parcel which is a corner lot with frontage along Forestell Road and Sideroad 20 North.**

### 3. Potential Threat Activities Associated with the Application

Please check all applicable activities that may be associated with the development proposal:

#### 3.1 Fuel Handling and Storage greater than 250 litres

- Liquid fuel (i.e. gasoline or diesel)
- Fuel oil (home heating)
- Waste oil (heating)

#### 3.2 Chemical Handling and Storage

- Paints and other coatings (including stains, enamels, lacquers, rust paint)
- Dry cleaning chemicals
- Automotive repair/maintenance and/or industrial manufacturing and processing (e.g. degreasers, automotive fluids, oils, furniture stripping products, chemical solvents, adhesives)
- Solvent based degreasers or liquids for washing metal parts

If yes to any of the above, please indicate the type(s) of chemicals if known:

- 3.2.1 Dense Non-Aqueous Phase Liquids (DNAPLs), including chlorinated solvents
- 3.2.2 Organic Solvents

#### 3.3 Road Salt Application and/or Outdoor Storage

- Road salt storage, outside > 5,000 tonnes
- Road salt application in a parking lot

#### 3.4 Snow Storage (see guide)

#### 3.5 Waste Storage or Disposal (see guide)

- 3.5.1 Storage of raw, untreated liquids and solids that are pumped out of septic systems and holding tanks (not including septic tanks)
- 3.5.2 Storage and/or disposal of oils; hazardous waste; liquid industrial waste; industrial and commercial waste; or PCB waste (does not include restaurant oil or grease)

#### 3.6 Storm Water Management/Industrial Sewage

- Stormwater management facility (treatment, retention, infiltration or control of stormwater)

- Car or truck washing facility
- Oil and Water Separator
- Sediment control (ie Stormceptor)

### 3.7 Septic Systems

- Septic system for residential or small-scale commercial/industrial/institutional use **EXISTING**
- Septic system (Greater than 10,000 litres per day) for commercial/industrial/institutional use (note an Environmental Compliance Approval would be required)

### 3.8 Agricultural / Commercial

- 3.8.1 Application, handling and storage of fertilizers and / or pesticides
- 3.8.2 Application, handling and storage of agricultural source material (i.e. manure)
- 3.8.3 Application, handling and storage of non-agricultural source material (e.g. biosolids, commercial food wastes, etc.)
- 3.8.4 Grazing and pasturing of livestock **HORSES**
- 3.8.5 Nutrient Management Plan or Strategy applies to property

### 3.9 Water Taking

- 3.9.1 Private well (existing or new) **EXISTING**
- 3.9.2 Greater than 50,000 litres per day of water being used (note a Permit to Take Water would be required)
- 3.10 Recharge Reduction – creation of impervious surfaces (including large roofed areas, pavement) – only applies within Town of Erin**
- 3.11 Transport Pathway (see guidance includes wells, aggregate pits, geothermal systems)**
- None of the above are applicable**



**4. Declaration (Owner or Applicant) or Person Engaged in Activity**

**Owner**

I, \_\_\_\_\_, declare that the information contained in this application and all attached documentation is true to the best of my knowledge.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature

**Applicant or Authorized Agent**

I, Jeff Buisman of Van Harten Surveying Inc., declare that the information contained in this application and all attached documentation is true to the best of my knowledge.

August 11, 2023  
Date

  
\_\_\_\_\_  
Signature

**Information is collected pursuant to the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56 and the *Clean Water Act*, 2006, S.O. 2006, c. 22 for the administration and enforcement of the *Clean Water Act*. Please note that business identity information is not considered personal information pursuant to the *Municipal Freedom of Information and Protection of Privacy Act*.**

For any inquiries about the collection of this information, please contact the Risk Management Official, Wellington Source Water Protection, 7444 Wellington Road 21, Elora, ON, N0B 1S0, 519-846-9691 ext. 362.

## Explanatory Guide for Completing the Drinking Water Source Protection Screening Form

Your property is located within a municipal well head protection area or intake protection zone and therefore may be subject to the *Clean Water Act*, 2006. The Wellhead Protection Area (WHPA) is the area around a municipal well where land use activities have the potential to affect the quality and quantity of water that flows into the wellhead. For more information, refer to [www.wellingtonwater.ca](http://www.wellingtonwater.ca) or contact 1-844-383-9800.

To assist staff in determining whether your property and/or application is subject to the Act, the Drinking Water Source Protection Screening Form is completed to inventory the activities that are proposed on your property. The following sections explain the form.

### Section 1 – Property Information:

Please fill out the municipal address and property owner for the subject property.

### Section 2 – Proposal:

Please check all that apply to the application and provide a brief explanation of the proposed development

### Section 3 – Potential Threat Activities Associated with Proposed Application:

Within this section please check all that apply to your application.

#### 3.1 Liquid Fuel Handling and Storage:

Check the box if on the property there is liquid fuel storage or handling greater than 250 litres (1 gal = 3.785 L). This can be located in land uses for residential, agricultural, gas, commercial, industrial or institutional purposes and includes gasoline, diesel or home heating oil. It does not include propane or natural gas.

#### 3.2 Chemical Handling and Storage:

Check box if the application is regarding one of the listed chemical handling or storage activities on the form.

##### 3.2.1 Known DNAPLs:

Check box only if applicant is aware of a Dense Non-Aqueous Phase Liquid (DNAPL) on the property. DNAPLs are chemicals that are denser than water and therefore have the ability to contaminate the groundwater easily. The specific DNAPLs that pose a potential threat are poly-aromatic hydrocarbons (PAHs), 1, 4-dioxane, trichloroethylene, tetrachloroethylene or perchloroethylene (PCE or PERC) and Vinyl Chloride.

- **Vinyl Chloride:** Used to make polyvinyl chloride (PVC) pipes, wire coatings, vehicle upholstery and plastic kitchen ware
- **PAHs:** Used in wood preservatives, pharmaceuticals, dyes and asphalt products.
- **1,4-dioxane:** Used as a degreasing solvent or solvent stabilizer in various manufacturing processes.
- **Tetrachloroethylene** (PCE or PERC): Used in dry cleaning, metal cleaning and as an intermediate in manufacturing processes.

- **Trichloroethylene (TCE):** Mainly used for degreasing of metal parts in the automotive and metal industries and also found in some household products such as adhesives, paint removers, paints, rug cleaning fluids, and metal cleaners.

### 3.2.2 Known Organic Solvents:

Check box if the applicant is aware of Organic Solvents on the property. Organic Solvents are liquid organic compounds with the ability to dissolve solid, gases or liquids and therefore have the ability to contaminate drinking water sources. Organic Solvents that are of potential concern include Carbon Tetrachloride, Chloroform, Dichloromethane and Pentachlorophenol (PCP).

- **Carbon Tetrachloride:** Once used widely in fire extinguishers, as a cleaning agent, in the manufacture of refrigerants as well as an industrial solvent and metal degreasing agent is a banned substance in Ontario since 1999. The only permitted uses of the chemical are in research laboratories or in the manufacturing process where the product is converted to an alternative product which does not contain a class of ozone-depleting substances.
- **Chloroform:** commonly used in a laboratory setting, and in the production of pharmaceuticals, dyes and pesticides.
- **Dichloromethane** (also known as methylene chloride): used as a solvent in paint strippers and removers. It is used as a process solvent in the manufacture of drugs, pharmaceuticals and film coatings. It is also used as a metal cleaning and finishing solvent in electronics manufacturing, aerosol propellant and as an agent in urethane foam blowing.
- **Pentachlorophenol (PCP):** used as an herbicide, insecticide, fungicide, algacide and disinfectant, and as an ingredient in antifouling paint. Its use has significantly declined due to its high toxicity. Today it is used industrially as a wood preservative and is not manufactured in Canada.

### 3.3 Road Salt Application, Handling and Storage:

Check the appropriate box if there will be outdoor, road salt storage greater than 5,000 tonnes or road salt application in a parking lot. Please note it is extremely unlikely that any application will have outside road salt storage greater than 5,000 tonnes.

Please check the appropriate box if salt will be applied to a parking lot.

### 3.4 Snow Storage:

Check box if there will be below grade (buried) snow storage on the property greater than 0.01 hectare (0.03 acre or 10 metres by 10 metres) or above grade snow storage of greater than 1 hectare (2.5 acres or 100 metres by 100 metres). For reference, 0.01 hectare is roughly a double driveway and 1 hectare is roughly two soccer fields.

#### 3.5.1 Waste Storage or Disposal - Septic Tank Pump outs

Check box only if application is involved in the pumping out or disposal/treatment of raw sewage or septage, porta potties or holding tanks.

#### 3.5.2 Waste Storage or Disposal - Storage and/or Disposal of Hazardous Waste:

Check box if there is hazardous waste or liquid industrial waste stored on the property including waste oil, solvents, and automotive fluids. Please note storage or disposal of oil does not include restaurant oil or grease. Storage of hazardous waste or liquid industrial waste includes wastes requiring registration with the Ontario Hazardous Waste Information Network (HWIN), if applicable. Disposal of

waste on site includes landfilling and incineration. Typically, this will only be at commercial or industrial properties.

### **3.6 Storm Water Management/Industrial Sewage:**

Check box if one of the listed storm water management or industrial sewage activities is planned or present. For reference, a storm water management facility may include a retention or detention pond (wet or dry), catch basins, sediment control, swales and ditches.

### **3.7 Septic Systems:**

Check box if the property will be serviced by a septic system.

### **3.8.1 Agricultural - Application, handling and storage of fertilizers and pesticides:**

Check box if there is storage or use of fertilizer or pesticides for agricultural or commercial use. Do not check the box if used only for personal use.

### **3.8.2 Agricultural - Application, handling and storage of agricultural (i.e. manure) and/or 3.8.3 non-agricultural source material (bio solids):**

Check corresponding box if there is application, handling or storage of Agricultural Source Material (ASM) (manure) or Non-Agricultural Source Material (NASM) on the property. ASM and NASMs include; manure (ASM) and biosolids, commercial food waste, etc. For more information on NASMs and ASMs please look at fact sheet number 4, available on our website, [www.wellingtonwater.ca](http://www.wellingtonwater.ca)

### **3.8.4 Agricultural - Grazing and pasturing of livestock:**

Check box if there is any grazing, pasturing or housing of one or more livestock on the property excluding household pets. Livestock can include cows, horses, sheep, goats and other animals. If unsure, please contact Wellington Source Water Protection for clarification.

### **3.9.1 Water Taking - Private well installed:**

Check box if there is a well present or being installed on the property. This includes private drinking water wells, environmental test wells, geotechnical wells, irrigation wells etc.

### **3.9.2 Water Taking - Greater than 50,000 litres per day**

Check box if more than 50,000 litres per day is being withdrawn from a well or a water body(1 gal = 3.785 gal).

### **3.10 Recharge Reduction:**

Check box if there is going to be an increase in impervious surfaces on the property. For example, asphalt (driveways and parking areas) and covered areas (roofs, decks and structures). If building within current building envelope then it is not an increase. Please note this box only applies within the Town of Erin.

### **3.11 Transport Pathway**

Transport pathways are human constructed pathways through soil and bedrock that may increase the vulnerability of groundwater to certain contaminants. Please check this box if your application will be installing a vertical geothermal system, installation of caissons or building piers for a non-residential application, aggregate project, installation of utilities or excavation within fractured bedrock or involves a drilling project (i.e. installation of private wells (dug or drilled), environmental or geotechnical test wells and/or boreholes). If the Water Taking – Private Well box was checked, please check the Transport Pathway box as well.

3.12 None Applicable:

Check if none of the above sections in Part 3 are applicable to the application.

**Section 4 - Declaration:**

Either the owner or the applicant must sign and date the form.



September 1, 2023

via email

GRCA File: D13-MAS – 4668 Sideroad 20 North

Lynne Banks  
Township of Puslinch  
7404 Wellington Road 34  
Puslinch, ON N0B 2J0

Dear Ms. Banks,

**Re: Minor Variance Application D13/MAS**  
4668 Sideroad 20 North, Township of Puslinch  
Christine and Gary Mason

Grand River Conservation Authority (GRCA) staff has reviewed the above-noted minor variance application.

**Recommendation**

The Grand River Conservation Authority (GRCA) has no objection to the proposed minor variance application.

**GRCA Comments**

GRCA has reviewed this application under the Mandatory Programs and Services Regulation (Ontario Regulation 686/21), including acting on behalf of the Province regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement (PPS, 2020), as a regulatory authority under Ontario Regulation 150/06, and as a public body under the *Planning Act* as per our CA Board approved policies.

Information currently available at this office indicates that the subject property contains a wetland and the regulated allowance adjacent to the wetland. A copy of our resource mapping is attached.

Due to the presence of the above-noted features, a portion of the property is regulated by the GRCA under Ontario Regulation 150/06 - Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Regulation. Any future development or other alteration within the regulated area will require prior written approval from GRCA in the form of a permit pursuant to Ontario Regulation 150/06.

The minor variance application requests permission to allow a reduced lot frontage along Forestell Road. The reduced lot frontage is a result of the proposed severance of a lot through consent application B13-23. GRCA staff have no objection to this minor variance application.

We wish to acknowledge receipt of the applicable plan review fee for our review of the related application B13-23. As such, a GRCA plan review fee for this application is not required.

**For Municipal Consideration**

Please be advised that on January 1, 2023, a new Minister's regulation (Ontario Regulation 596/22: Prescribed Acts – Subsections 21.1.1 (1.1) and 21.1.2 (1.1) of the Conservation Authorities Act) came into effect. As a result, non-mandatory technical review services that the GRCA formerly provided under agreement with some municipalities (e.g., technical reviews related to natural heritage and select aspects of stormwater management) will no longer be provided.

Should you have any questions, please contact me at 519-621-2763 ext. 2228 or [aherreman@grandriver.ca](mailto:aherreman@grandriver.ca).

Sincerely,

A black rectangular redaction box covers the signature of Andrew Herreman. A handwritten checkmark is visible to the left of the redaction.

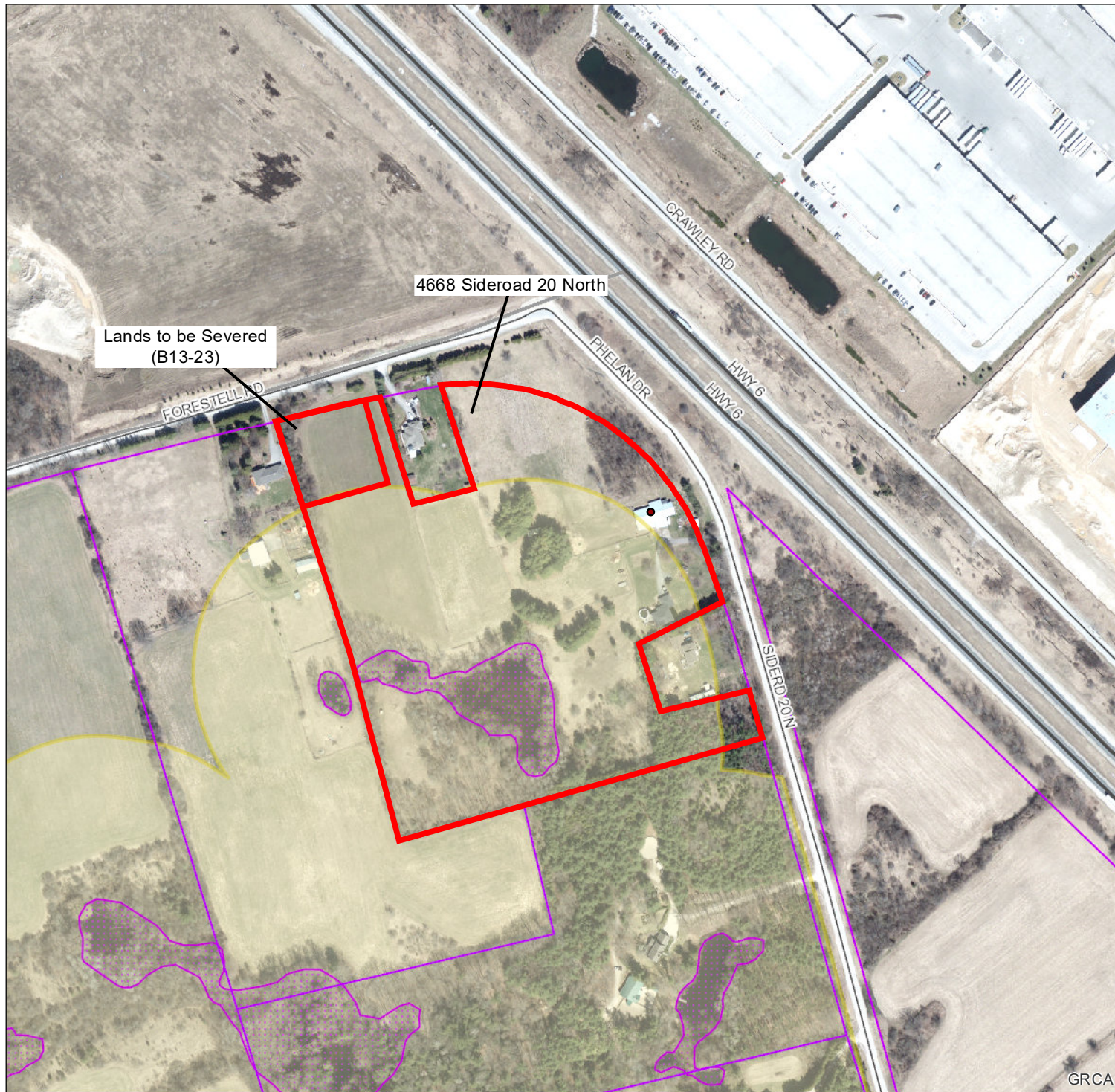
Andrew Herreman, CPT  
Resource Planning Technician  
Grand River Conservation Authority

Enclosed: GRCA Mapping

Copy: Christine and Gary Mason (via email)  
Jeff Buisman, Van Harten Surveying Inc. (via email)



D13/MAS - 4668 Sideroad 20 North

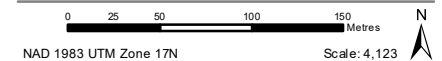


Legend

- Regulation Limit (GRCA)
- Regulated Watercourse (GRCA)
- Regulated Waterbody (GRCA)
- Wetland (GRCA)
- Floodplain (GRCA)
  - Engineered
  - Estimated
  - Approximate
  - Special Policy Area
- Slope Valley (GRCA)
  - Steep
  - Oversteep
  - Steep
- Slope Erosion (GRCA)
  - Oversteep
  - Toe
- Lake Erie Flood (GRCA)
- Lake Erie Shoreline Reach (GRCA)
- Lake Erie Dynamic Beach (GRCA)
- Lake Erie Erosion (GRCA)
- Parcel - Assessment (MPAC/MNRF)

This legend is static and may not fully reflect the layers shown on the map. The text of Ontario Regulation 150/06 supercedes the mapping as represented by these layers.

Copyright Grand River Conservation Authority, 2023. Disclaimer: This map is for illustrative purposes only. Information contained herein is not a substitute for professional review or a site survey and is subject to change without notice. The Grand River Conservation Authority takes no responsibility for, nor guarantees, the accuracy of the information contained on this map. Any interpretations or conclusions drawn from this map are the sole responsibility of the user. The source for each data layer is shown in parentheses in the map legend. For a complete listing of sources and citations go to: <https://maps.grandriver.ca/Sources-and-Citations.pdf>





## Lynne Banks

---

**From:** Brent Smith  
**Sent:** Monday, August 21, 2023 5:27 PM  
**To:** Hillary Miller  
**Cc:** Tom Mulvey  
**Subject:** Re: Minor Variance Notice of Public Hearing - D13/GOD - 6911 Wellington Rd 34

Hi Hillary ,  
Puslinch Fire and Rescue Services have no concerns with the above referenced minor variance.  
Thanks  
Brent Smith  
CFPO  
Puslinch Fire and Rescue Services

Get [Outlook for Android](#)

---

**From:** Hillary Miller <hmiller@puslinch.ca>  
**Sent:** Monday, August 21, 2023 7:54:31 AM  
**To:** Brent Smith <bsmith@puslinch.ca>; Mike Fowler <mfowler@puslinch.ca>; Andrew Hartholt <ahartholt@puslinch.ca>; Jacob Normore <jnormore@puslinch.ca>; Services <services@puslinch.ca>  
**Subject:** Minor Variance Notice of Public Hearing - D13/GOD - 6911 Wellington Rd 34

Good morning,

Attached please find the Notice of Public Hearing with respect to the above property for your review and comment. Please provide any comments you might have by September 1, 2023.

Kind regards,



Hillary Miller  
Legislative Assistant  
Township of Puslinch  
7404 Wellington Rd. 34, Puslinch, ON N0B 2J0  
P: 519-763-1226 x207/Fax: 519-763-5846 [www.puslinch.ca](http://www.puslinch.ca)



**Township of Puslinch**  
7404 Wellington Road #34  
Guelph, ON, N1H 6H9  
T: (519) 763 – 1226  
F: (519) 763 – 5846  
www.puslinch.ca

## Minor Variance or Permission Application

### General Information:

#### 1. Applicant Information:

**Registered Owner's Name(s):** Krista GODINHO & Paul Alexandre GODINHO

**Address:** 6911 Wellington Road No. 34

**City:** Cambridge, ON

**Postal Code:** N3C 2V4

**E-mail Address:** [REDACTED]

**Telephone Number:** [REDACTED]

**Fax:** \_\_\_\_\_

**Applicant (Agent) Name(s):** Jeff Buisman of Van Harten Surveying Inc.

**Address:** 2106 Gordon Street

**City:** Guelph

**Postal Code:** N1L 1G6

**E-mail Address:** jeff.buisman@vanharten.com

**Telephone Number:** 519-821-2763 ext. 225

**Fax:** 519-821-2770



**5. Why is it not possible to comply with the provisions of the by-law?  
(please specifically indicate on sketch).**

The building is 25m<sup>2</sup> over the permitted allowance, however it is a practical size and preferred by the property owners. The remaining zoning requirements are met for this building.

Please see covering letter for more information.

**6. What is the current Official Plan and zoning status?**

Official Plan Designation: Secondary Agricultural

Zoning Designation: Agricultural

**7. What is the access to the subject property?**

Provincial Highway:

Continually maintained municipal road:

Seasonally maintained municipal road:

Other:  (please specify below)

Continually maintained County Road

**8. What is the name of the road or street that provides access to the subject property?**

Wellington County Road 34

**9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.**

N/A

**Existing and Proposed Service:**

**10. Indicate the applicable water supply and sewage disposal:**

<b>Water Supply/Sewage Disposal:</b>	<b>Existing:</b>	<b>Proposed:</b>
Municipal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Private Well:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Water Supply:	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Private Septic:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Sewage Disposal:	<input type="checkbox"/>	<input type="checkbox"/>

**11. How is storm drainage provided?**

Storm Sewers:

Ditches:

Swales:

Other means:  (explain below)

**Existing Subject and Abutting Property Land Uses, Buildings and their Locations:**

**12. What is the existing use of:**

The subject property? Rural Residential

The abutting properties? Rural Residential

**13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)**

<b>Building Details:</b>	<b>Existing:</b>		<b>Proposed:</b>	
Type of Building(s)/ structures				
Main Building height	m	ft.	m	ft.
*Percentage lot coverage	m	ft.	m	ft.
*Number of parking spaces				
*Number of loading spaces				
Number of floors				
Total floor area	m <sup>2</sup>	ft <sup>2</sup>	m <sup>2</sup>	ft <sup>2</sup>
Ground floor area (exclude basement)	m <sup>2</sup>	ft <sup>2</sup>	225 m <sup>2</sup>	ft <sup>2</sup>

**14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)**

<b>Building Details:</b>	<b>Existing:</b>		<b>Proposed:</b>	
Front Yard	m	ft.	m	ft.
Rear Yard	m	ft.	m	ft.
Side Yards	m	ft.	3.0 m	9.1m ft.

**15. What are the dates of acquisition and construction of subject property and building property?**

Date of acquisition of subject property: March 2004

Date of construction of buildings property: Many years ago

**16. How long have the existing uses continued on the subject property? Many years**

**17. Has the owner previously applied for relief in respect of the subject property?**

Yes  No

If the answer is yes, please indicate the file number and describe briefly:

N/A

**Other Related Planning Applications:**

**18. Has an application for any of the following on the subject lands?**

Planning Application:	Yes:	No:	File Number:	Approval Authority:	Subject Lands	Purpose:	Status:
Official Plan Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Zoning By-Law Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Plan of Subdivision	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Consent (Severance)	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Site Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Minor Variance	<input type="checkbox"/>	<input checked="" type="checkbox"/>					

**Authorization for Agent/Solicitor to act for Owner:**

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

I (we) Krista GODINHO & Paul Alexandre GODINHO of the  
Township of Puslinch County/Region of  
Wellington do hereby authorize

Jeff Buisman of Van Harten Surveying Inc. to act as my agent in this application.

[Redacted Signature]

Signature of Owner(s)

Aug 9/23  
Date

Aug 9/23  
Date

**Affidavit:**

I (we) Jeff Buisman of Van Harten Surveying Inc. of the  
City of Guelph County/Region of  
Wellington solemnly declare that all the statements

contained in this application are true, and I, (we), make this solemn declaration  
conscientiously believing it to be true, and knowing that it is of the same force and effect  
as if made under oath and by virtue of the CANADA EVIDENCE ACT. DECLARED

before me at the City of Guelph in the

County/Region of Wellington this 11 day of

August, 20 23.

[Redacted Signature]

Signature of Owner or authorized  
solicitor or agent

Aug 11, 2023  
Date

[Redacted Signature]

Signature of Commissioner

James Michael Laws,  
Commissioner, etc.,  
Province of Ontario,  
for Van Harten Surveying Inc.  
Expires May 11, 2024.

Aug 11, 2023  
Date



## Agreement to Post Sign and Permit Site Visits:

A form is included in the Zoning By-law Amendment application to agree to erect a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits.

The applicant is required to erect and maintain a sign on the proposed lands within one week of the application being deemed complete by staff and to remove the sign when the application has been given final approval. The sign shall be a minimum of 1.2 x 1.2 metres on posts 0.5 metres above grade and include the following wording to be approved by Township staff:

A PROPOSAL HAS BEEN MADE  
ON THIS SITE FOR: (50 mm text height)  
A ZONING BY-LAW AMENDMENT TO xxx (100 mm text height)  
FOR FURTHER INFORMATION  
PLEASE CONTACT THE TOWNSHIP OF PUSLINCH 7404 WELLINGTON ROAD 34  
(519) 763 - 1226 (30-50 mm text height)

## For Administrative Purposes Only:

Application fee of \$ \_\_\_\_\_ received by the municipality

Date Fee Received: \_\_\_\_\_

Date Application Filed: \_\_\_\_\_

File Number: \_\_\_\_\_

Application deemed complete:

\_\_\_\_\_  
Signature of Municipal Employee

\_\_\_\_\_  
Date

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.



August 11, 2023

32606-23

Jeff.Buisman@vanharten.com

Township of Puslinch  
7404 Wellington Road 34  
Puslinch, Ontario  
N0B 2J0

Attention: Lynne Banks

Dear Ms. Banks:

**Re: Minor Variance Application & Sketch  
6911 Wellington Road 34  
Part of Lot 16, Concession 2  
PIN 71201-0011  
Township of Puslinch**

Please find enclosed an application for a minor variance on the above-mentioned property. Included with this submission are copies of the minor variance sketch, completed application form, required deed, PIN Report and Map, Sourcewater Protection Form, Building Plans and a cheque in the amount of \$1,365.00 to the Township of Puslinch for the application fee.

**Proposal:**

A minor variance request is being made for the subject property at 6911 Wellington County Road No. 34 (PIN 71201-0011). The property contains an existing dwelling, pool and old shed. The intention is to demolish the existing shed and build a new one in its place that is a little larger, and a minor variance is required for the building area. The Minor Variance request is as follows:

**A) To permit the accessory building to have a maximum lot coverage of 225m<sup>2</sup> instead of 200m<sup>2</sup>, for a lot area less than 1.0ha, as required in as required in Table 4.1 of the Zoning By-law.**

The property has a frontage of 24±m, depth of 166±m, for an area of 0.40±ha where the existing dwelling and pool will remain. The proposal is to demolish the existing old shed located in the rear of the property and build a new shed in its place. The new shed will be 40' by 60', for an area of 2,400sq ft (~225m<sup>2</sup>). The building is 25m<sup>2</sup> over the allowable size and a minor variance is being requested.

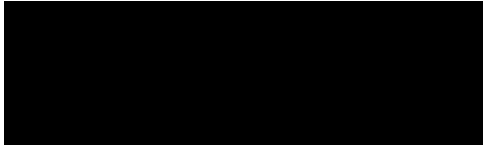
The new building will essentially be in the same location as the existing shed – within the rear yard with open space for the building envelope. The shed will be approximately 3.0m to the side lot line and 9m to the other. The remaining Zoning requirements are met for this building. We consider the 25m<sup>2</sup> increase in size minor in nature and will not have a negative impact on neighbouring parcels.



The Minor Variance request is reasonable, and we provide the opinion that the minor variance requests meet the four tests for a minor variance.

Please call me if you or the Planning Staff have any questions.

Very truly yours,  
Van Harten Surveying Inc.



*JEB*

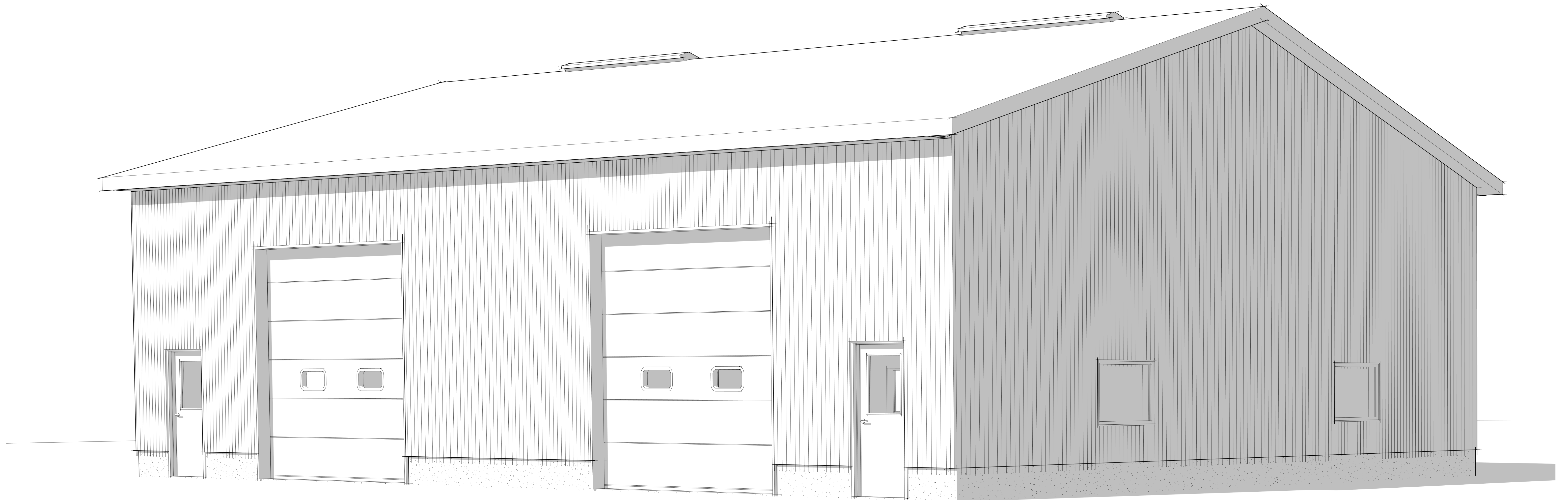
**Jeffrey E. Buisman** B.E.S, B.Sc.  
*Ontario Land Surveyor*

cc Krista and Paul Godinho

DRAWINGS PROVIDED FOR  
BRUSTONE CONSTRUCTION

# PAUL SHED

6911 WELLINGTON RD. 34, MORRISTON, ONTARIO



SHEET SCHEDULE	
SHEET NO.	SHEET NAME
S-0	COVER SHEET
S-1	FOUNDATION/ GROUND FLOOR PLAN
S-2	ROOF FRAMING PLAN
S-3	BUILDING SECTION
S-4	ELEVATIONS

**DESIGNLOGIX ENGINEERING INC.**  
AGRICULTURE - COMMERCIAL - CIVIL  
 P: 905-512-2377  
 E: office@dixengineering.com  
 DO NOT SCALE DRAWINGS  
 ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER

PROJECT STATUS:	
DATE:	STATUS:
MAY 17, 2023	FOR CONSTRUCTION

CONTRACTOR NAME & ADDRESS:	
BRUSTONE CONSTRUCTION, 073084 SIDEROAD 24-25, GRAND VALLEY ONT.	
PROJECT NORTH:	TRUE NORTH:

PROJECT NAME & ADDRESS:	
PAUL SHED 6911 WELLINGTON RD. 34, MORRISTON ON.	
DRAWING TITLE:	
COVER SHEET	

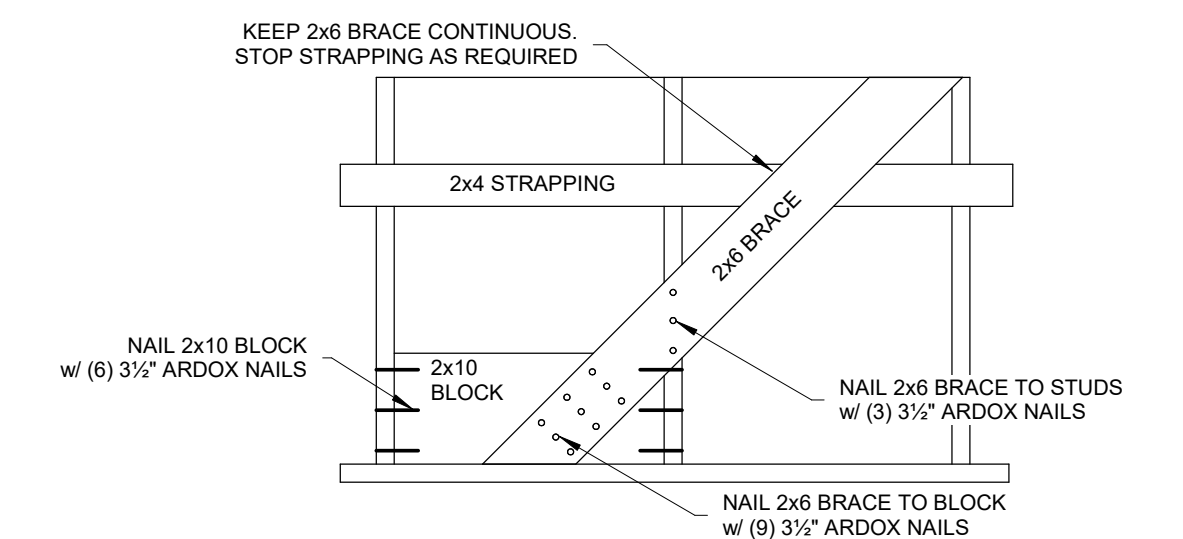
Date	MAY 16, 2023
Scale	
Sheet No.	<b>S-0</b>

DOOR SCHEDULE						
NO.	DESCRIPTION	WIDT H	HEIGHT	HEADER	POST	QTY
D1	UTILITY MAN DOOR	3' - 0"	6' - 8"	2PLY 2x8	1PLY JACK 1PLY KING	2
D2	INSULATED OVERHEAD DOOR	12' - 0"	12' - 0"	3PLY 1 3/4 x 11 1/4" LVL	2PLY JACK 2PLY KING	2

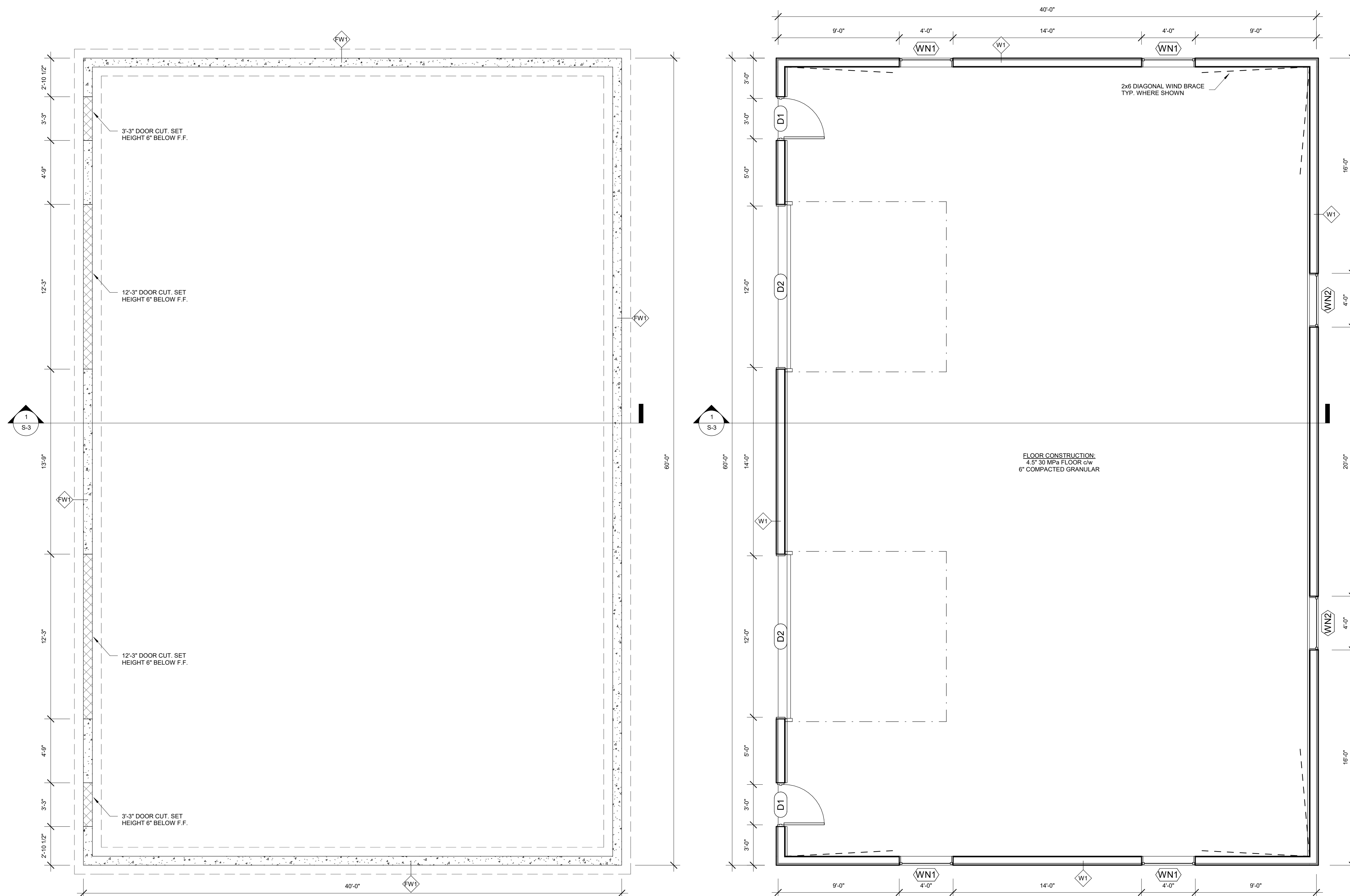
WINDOW SCHEDULE						
NO.	DESCRIPTION	WIDTH	HEIGHT	HEADER	POST	QTY
WN1	4'x3' WHITE SINGLE SLIDER WINDOWS	4' - 0"	3' - 0"	2PLY 2x6	1PLY JACK 1PLY KING	4
WN2	4'x3' WHITE SINGLE SLIDER WINDOWS	4' - 0"	3' - 0"	2PLY 2x8	1PLY JACK 1PLY KING	2

WALL SCHEDULE	
EXTERIOR WALLS:	
W1	STEEL ON 2x6; 20ga COLOURED STEEL CLADDING 2x4 STRAPPING @ 24" c/c TYVEK AIR BARRIER (OPTIONAL) 2x6 S-P-F NO 1/2 STUDS @ 24" c/c BLOCKED @ THIRDS

FOUNDATION SCHEDULE		
NO.	WALL CONSTRUCT.	REINFORCEMENT SPECS
FW1	8"x 4'-8" 25MPa WALL ON 8"x24" 20MPa STRIP FOOTING	FDN. WALL: 15M VERT. @ 48" c/c 15M HORIZ. @ 24" c/c FOOTING: 2-15M BARS CONTINUOUS



3 2x6 BRACE DETAIL  
S-1 3/4" = 1'-0"



1 FOUNDATION PLAN  
S-1 1/4" = 1'-0"

2 GROUND FLOOR PLAN  
S-1 1/4" = 1'-0"

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ABBREVIATIONS	
@	AT
Ø	COMPLETE WITH DIAMETER
FDN	FOUNDATION
E.W.	EACH WAY
EX.	EXISTING
HORIZ	HORIZONTAL
LVL	LAMINATED VENEER LUMBER
MAX	MAXIMUM
MIN	MINIMUM
OBC	ONTARIO BUILDING CODE
c/c	CENTRE TO CENTRE
O.H.	OVERHEAD
PF	PAD FOOTING
P.T.	PRESSURE TREATED
T.D.	TRAVEL DISTANCE
T&G	TONGUE & GROOVE
T/O	TOP OF
TYP.	TYPICAL
US	UNDERSIDE
VERT.	VERTICAL
W	WITH
WWM	WELDED WIRE MESH

LEGEND	
W	WALL TAG
WN	WINDOW TAG
D	DOOR TAG
0.0'	ELEVATION MARKER - PLAN
200'	ELEVATION MARKER - SECTION
---	TRAVEL DISTANCE

PROJECT STATUS:		
NO:	DATE:	STATUS:
1	MAY 17, 2023	FOR CONSTRUCTION

CONTRACTOR NAME & ADDRESS:  
**BRUSTONE CONSTRUCTION,**  
073084 SIDEROAD 24-25,  
GRAND VALLEY ONT.

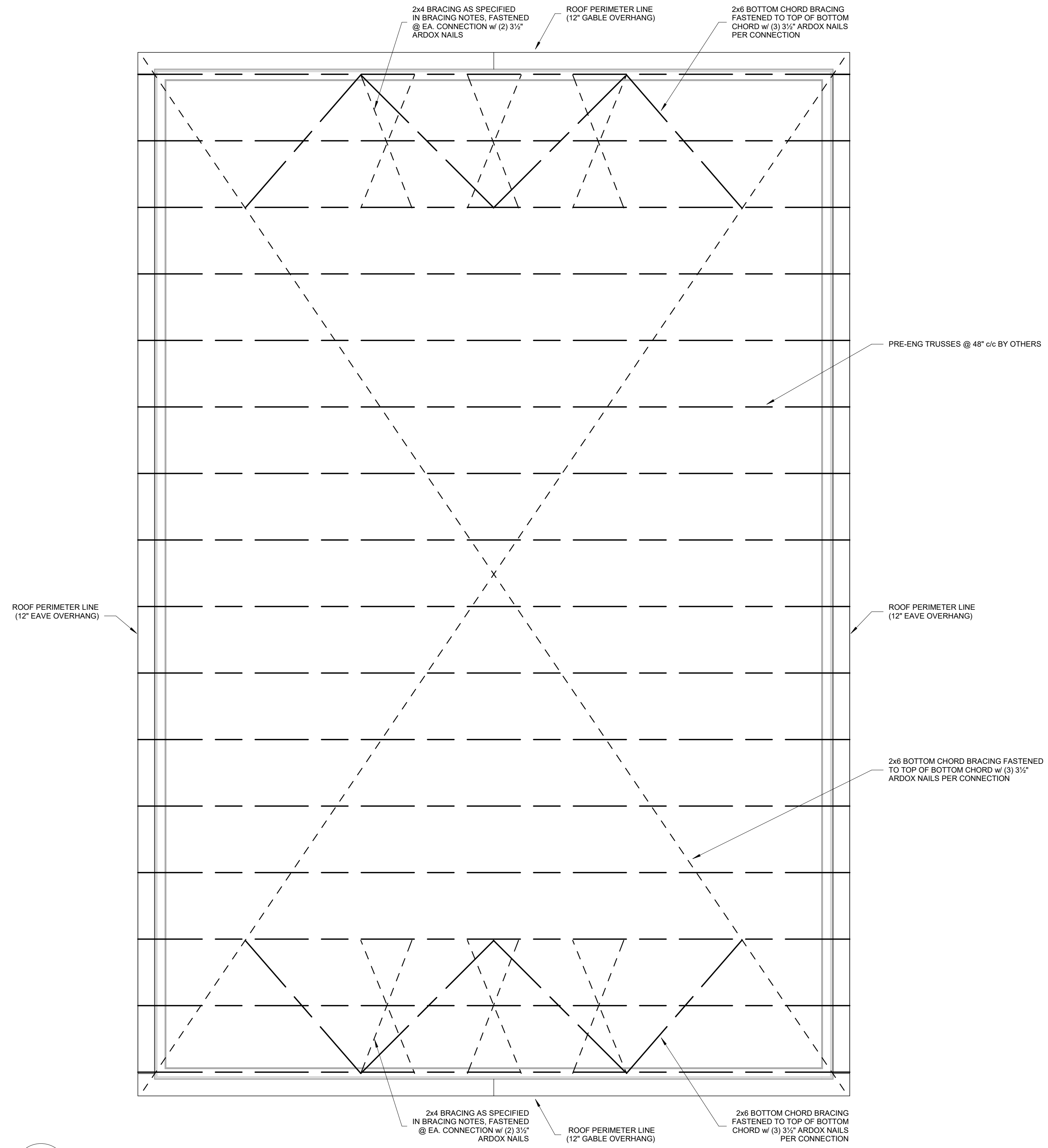
PROJECT NORTH: TRUE NORTH:

Project #: DLX23-336  
Drawn by: L.C.  
Checked by: N.H.

PROJECT NAME & ADDRESS:  
**PAUL SHED**  
6911 WELLINGTON RD. 34,  
MORRISTON ON.

DRAWING TITLE:  
**FOUNDATION/ GROUND FLOOR PLAN**

Date: MAY 16, 2023  
Scale: As indicated  
Sheet No: **S-1**



**1 ROOF FRAMING PLAN**  
S-2  
1/4" = 1'-0"

TRUSS BRACING SHOWN IS REPRESENTATIVE ONLY. REFER TO BRACING NOTES (PAGE NT) AND STAMPED TRUSS DRAWINGS (DESIGNED BY OTHERS) FOR FULL DETAILS  
CONTRACTOR TO FORWARD STAMPED COPY OF TRUSS DRAWINGS TO DESIGNLOGIX ENGINEERING PRIOR TO FRAMING INSPECTION

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**ABBREVIATIONS**

@	AT	Q.H.	OVERHEAD
Ø	COMPLETE WITH	P.F.	PAD FOOTING
Ø	DIAMETER	P.T.	PRESSURE TREATED
FDN	FOUNDATION	T.D.	TRAVEL DISTANCE
E.W.	EACH WAY	T&G	TONGUE & GROOVE
EX.	EXISTING	T/O	TOP OF
HORIZ.	HORIZONTAL	TYP.	TYPICAL
LVL	LAMINATED VENEER LUMBER	US	UNDERSIDE
MAX	MAXIMUM	VERT.	VERTICAL
MIN.	MINIMUM	w/	WITH
ONC	ONTARIO BUILDING CODE	WWM	WELDED WIRE MESH
c/c	CENTRE TO CENTRE		

**LEGEND**

W	WALL TAG
WN	WINDOW TAG
D	DOOR TAG
0.0'	ELEVATION MARKER - PLAN
200'	ELEVATION MARKER - SECTION
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**BRUSTONE CONSTRUCTION,**  
073084 SIDEROAD 24-25,  
GRAND VALLEY ONT.

PROJECT NORTH: TRUE NORTH:

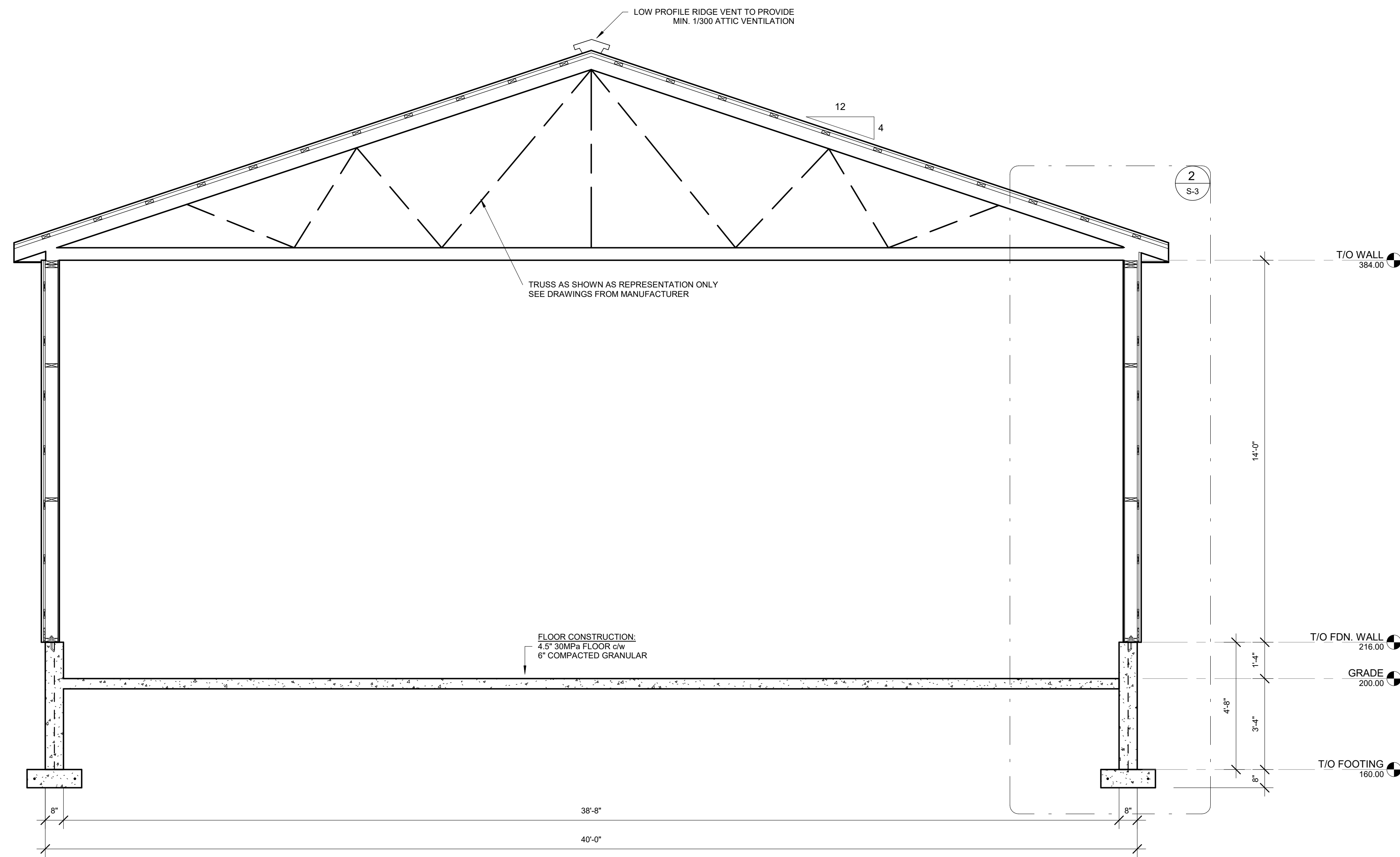
Project #: DLX23-336  
Drawn by: L.C.  
Checked by: N.H.

PROJECT NAME & ADDRESS:  
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MORRISTON ON.

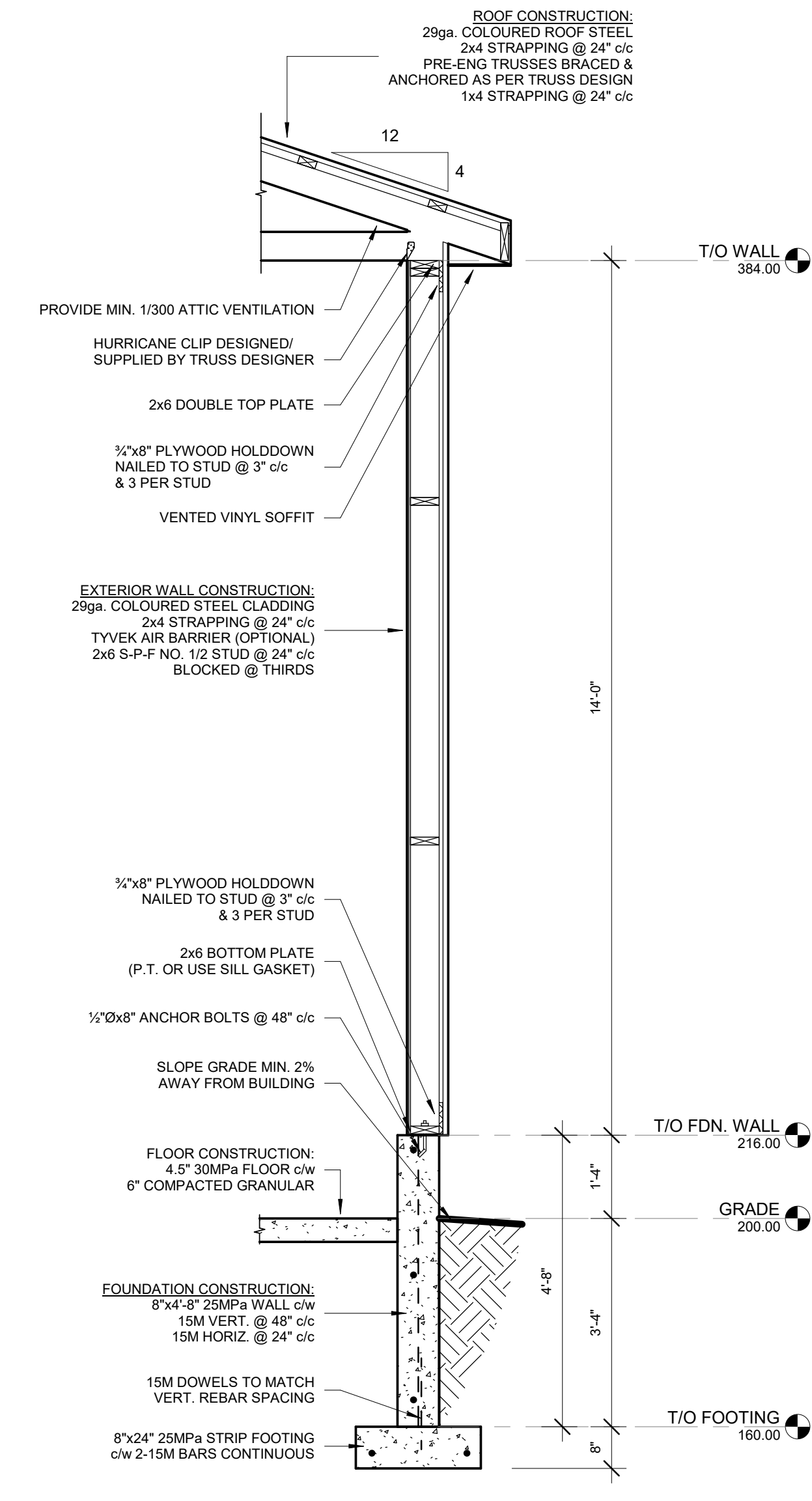
DRAWING TITLE:  
**ROOF FRAMING PLAN**

Date: MAY 16, 2023  
Scale: As indicated  
Sheet No.: **S-2**

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1 BUILDING SECTION  
3/8" = 1'-0"



2 BEARING WALL SECTION  
1/2" = 1'-0"

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c/c	CENTRE TO CENTRE
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T&G	TONGUE & GROOVE
T/O	TOP OF
TYP.	TYPICAL
US	UNDERSIDE
VERT.	VERTICAL
W	WITH
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LEGEND	
W	WALL TAG
WN	WINDOW TAG
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0.0'	ELEVATION MARKER - PLAN
200'	ELEVATION MARKER - SECTION
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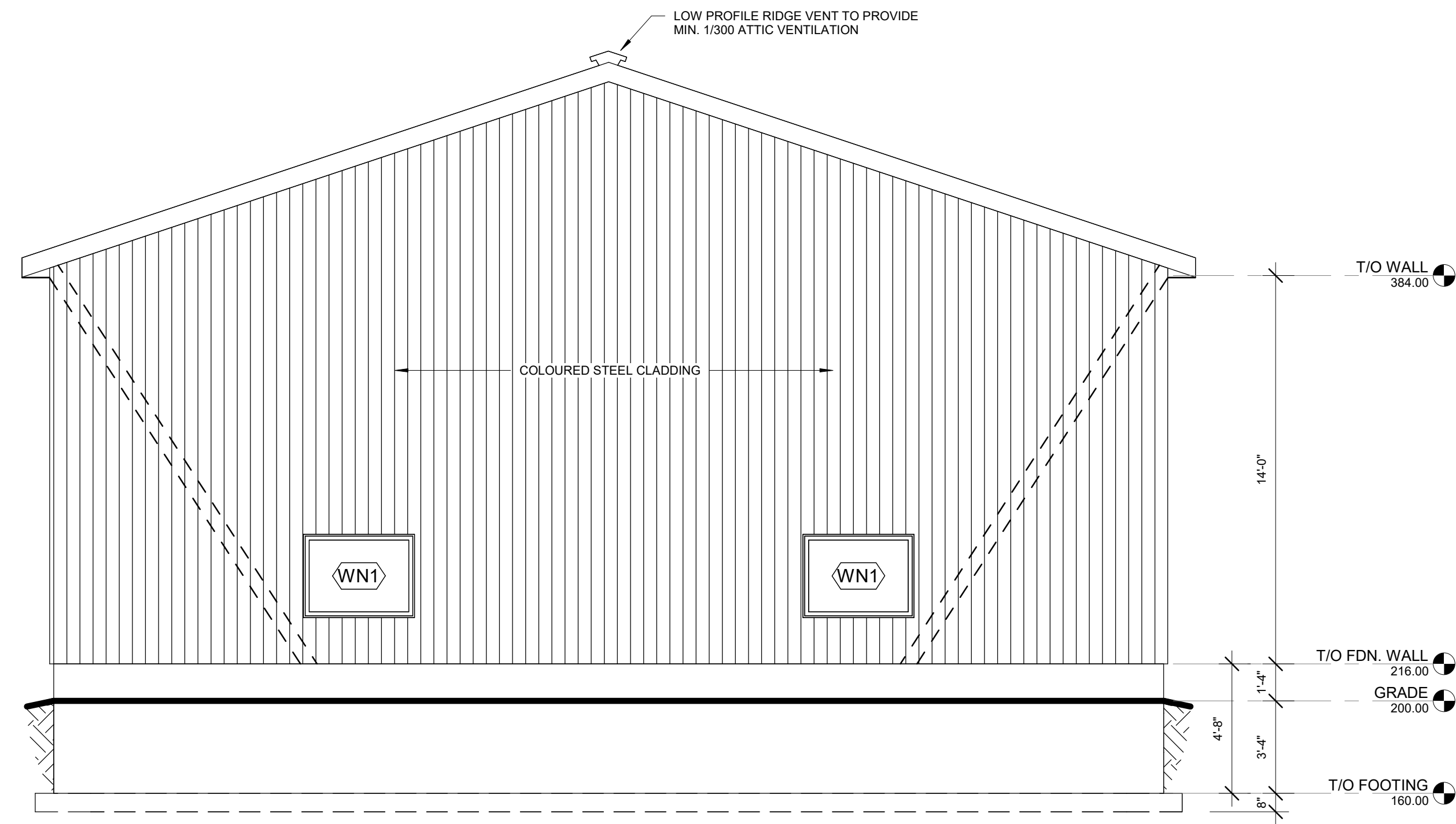
PROJECT STATUS:		
NO:	DATE:	STATUS:
1	MAY 17, 2023	FOR CONSTRUCTION

CONTRACTOR NAME & ADDRESS:	
BRUSTONE CONSTRUCTION, 073084 SIDEROAD 24-25, GRAND VALLEY ONT.	
PROJECT NORTH:	TRUE NORTH:
Project #:	DLX23-336
Drawn by:	L.C.
Checked by:	N.H.

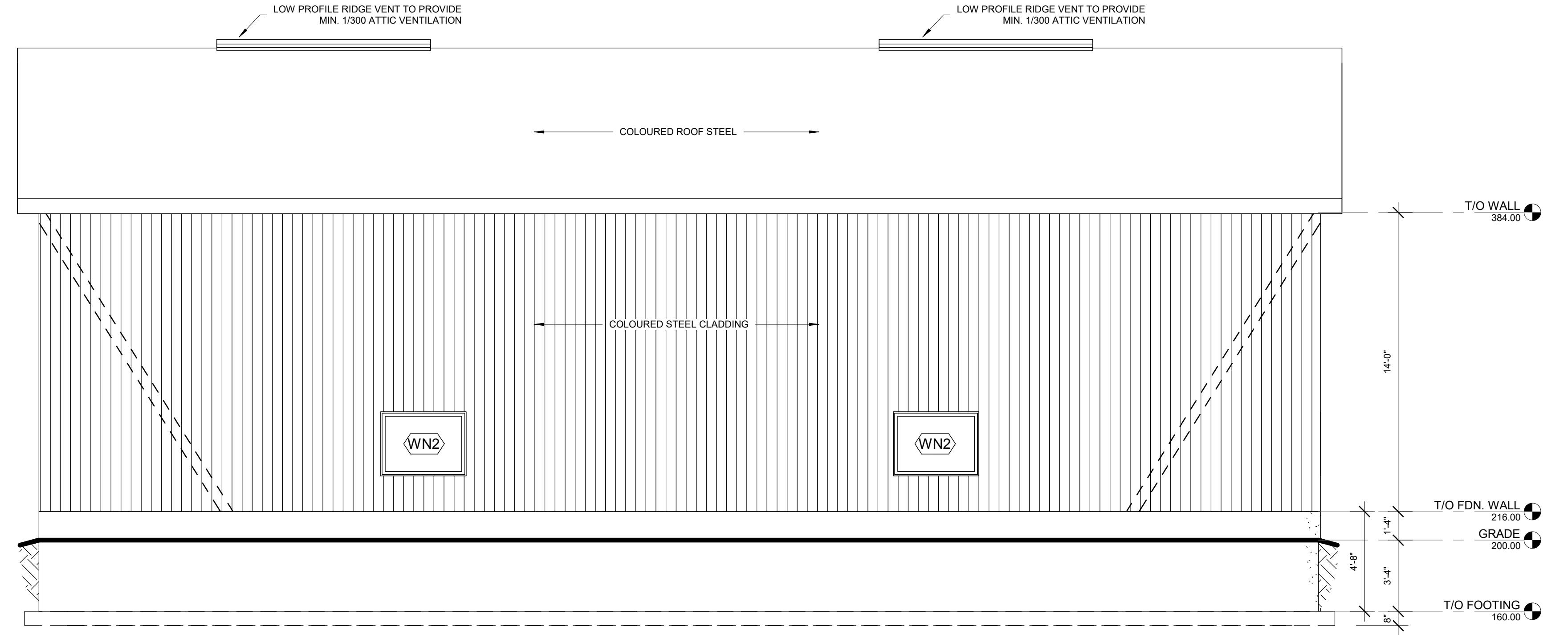
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PAUL SHED 6911 WELLINGTON RD. 34, MORRISTON ON.	
DRAWING TITLE: BUILDING SECTION	

Date	MAY 16, 2023
Scale	As indicated
Sheet No.	<b>S-3</b>

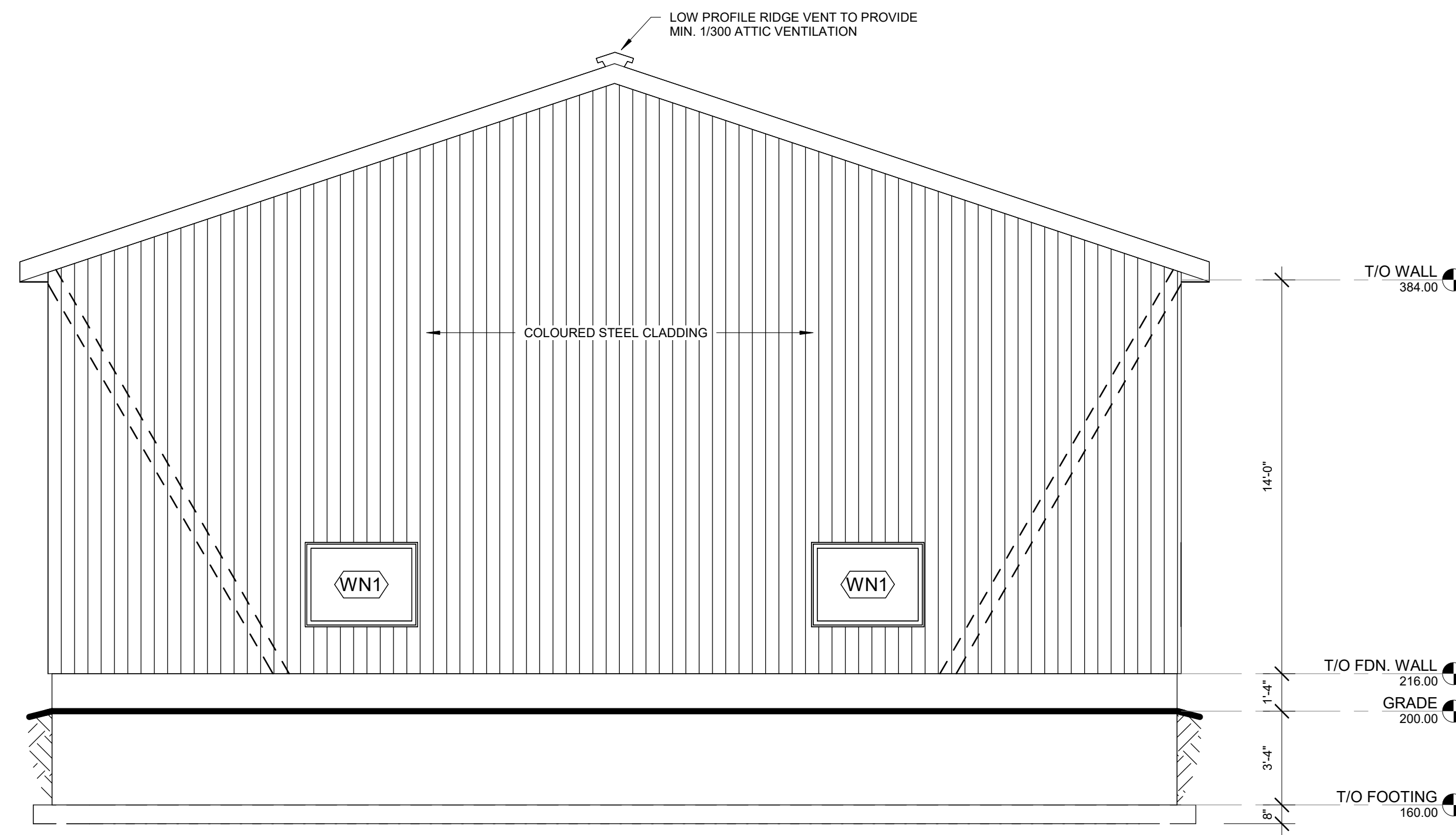
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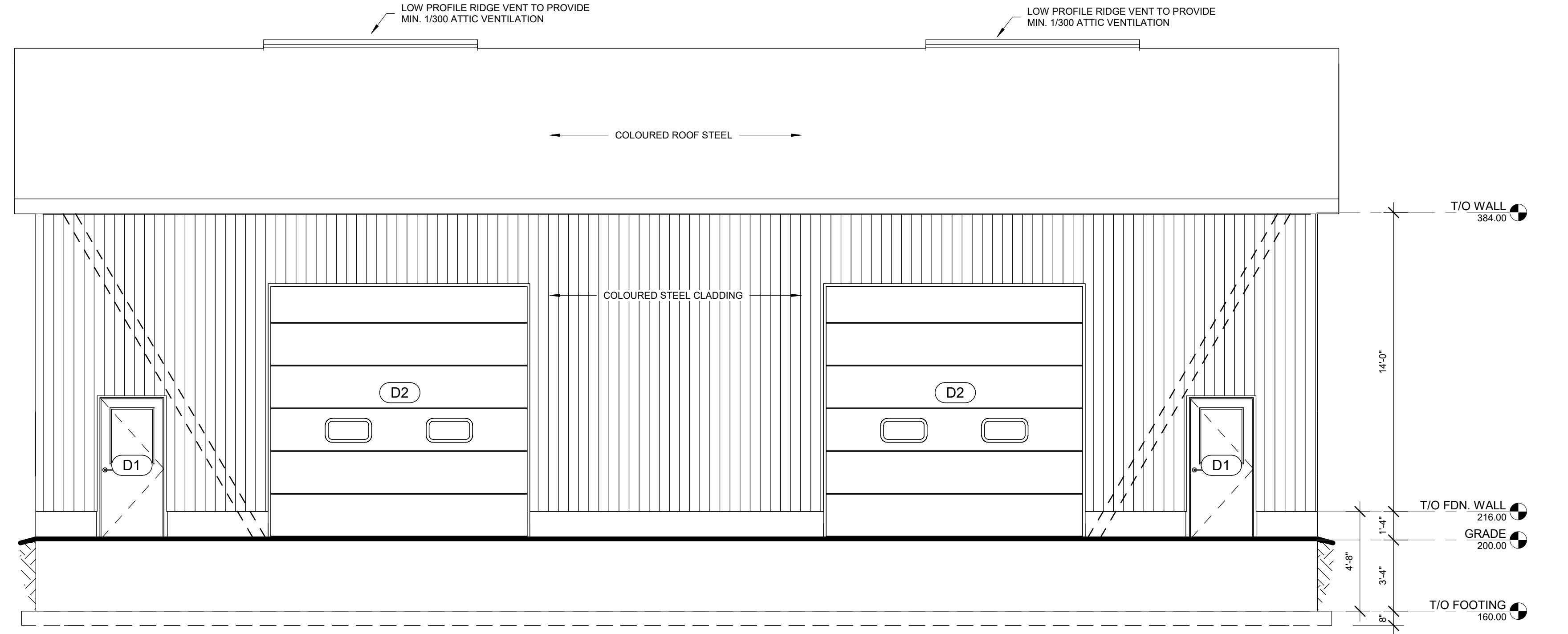
1 PROJECT NORTH ELEVATION  
1/4" = 1'-0"



3 PROJECT EAST ELEVATION  
1/4" = 1'-0"



2 PROJECT SOUTH ELEVATION  
1/4" = 1'-0"



4 PROJECT WEST ELEVATION  
1/4" = 1'-0"

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**ABBREVIATIONS**

@	AT	o/h	OVERHEAD
aw	COMPLETE WITH	PF	PAD FOOTING
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MIN.	MINIMUM	w/	WITH
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cc	CENTRE TO CENTRE		

**LEGEND**

W	WALL TAG
WN	WINDOW TAG
D	DOOR TAG
0.0'	ELEVATION MARKER - PLAN
200'	ELEVATION MARKER - SECTION
---	TRAVEL DISTANCE

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PAUL SHED  
6911 WELLINGTON RD. 34,  
MORRISTON ON.

**DRAWING TITLE:**  
ELEVATIONS

Date: MAY 16, 2023  
Scale: 1/4" = 1'-0"  
Sheet No: S-4



**GENERAL NOTES:**

- THIS BUILDING IS DESIGNATED AGRICULTURAL, LOW HUMAN OCCUPANCY
- ALL WORK SHALL COMPLY WITH (LATEST EDITIONS):
  - THE ONTARIO BUILDING CODE (O.B.C.)
  - NATIONAL FARM BUILDING CODE (N.F.B.C.)
  - NATIONAL BUILDING CODE (N.B.C.)
  - O.H.S.A. REGULATIONS
  - LOCAL REGULATIONS
- THESE DRAWINGS ARE FOR STRUCTURAL DESIGN ONLY. INTERIOR FINISHING AND EQUIPMENT TO BE COORDINATED BY SUPPLIER WITH APPROVAL FROM THE OWNER. ALL INTERIOR WORKS TO BE DESIGNED BY SUPPLIER.
- IF DRAWINGS ARE NOT REFLECTIVE OF EXISTING CONDITIONS DESIGNLOGIX IS TO BE NOTIFIED. NO CHANGES SHALL BE MADE WITHOUT THE ENGINEER'S APPROVAL.
- CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS FOR TEMPORARY BRACING/SHORING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN LOADS.
- THIS DRAWING SET IS THE PROPERTY OF DESIGNLOGIX ENGINEERING AND MAY NOT BE DUPLICATED OR SHARED IN ANY FORM WITHOUT WRITTEN CONSENT FROM DESIGNLOGIX ENGINEERING
- PROVIDE STAMPED PRECAST SLATS/WALLS AND TRUSS SHOP DRAWING FOR REVIEW

**EXCAVATION AND BACKFILL:**

- FOUNDATIONS HAVE BEEN DESIGNED BASED ON THE ASSUMPTION OF 3000 psf ALLOWABLE BEARING CAPACITY
- ALL UNDERSIDE OF FOOTINGS TO BE 4" BELOW GRADE
- IF SOFT SOILS ARE ENCOUNTERED DURING EXCAVATION NOTIFY ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ENGINEER TO BE NOTIFIED FOR (BUT NOT LIMITED TO) CONCERNS REGARDING DRAINAGE, SLOPE STABILITY AND SOIL BEARING CAPACITY
- GRANULAR FILL UNDER FOOTINGS SHALL BE FREE-DRAINING CLEAN GRANULAR "B" MATERIAL OR BETTER AND IS TO BE COMPACTED TO 100% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE
- CUT AND CAP OR REROUTE ALL FIELD TILES EXPOSED DURING EXCAVATING
- PROVIDED DEWATERING FACILITIES TO REMOVE AND MAINTAIN WATER LEVEL BELOW FOOTINGS FOR ANY WATER SOURCE ENCOUNTERED DURING CONSTRUCTION
- BACKFILL SHALL BE FREE DRAINING CLEAN GRANULAR FILL. SLOPE GRADE TO DRAIN AWAY FROM BUILDING

**CONCRETE:**

- SUPPLY AND PLACE CONCRETE AS FOLLOWS:  
 FOOTINGS - 20MPa (3625 psi), MAX W/C RATIO OF 0.55, AIR CONTENT 5% TO 8%  
 FOUNDATION WALLS - 25MPa (3625 psi), MAX W/C RATIO OF 0.50, AIR CONTENT 5% TO 8%  
 CONCRETE FLOORS - 30MPa (4351 psi), MAX W/C RATIO OF 0.45, NO AIR CONTENT REQUIRED U.N.O.  
 PIT WALLS & FLOORS (SUBJECT TO ACID ATTACK) - 32MPa HS (OR APPROVED EQUIVALENT) CEMENT  
 MAX W/C RATIO OF 0.45, AIR CONTENT 5% TO 8%
- CONCRETE CODES - CONFORM TO CSA-A23.1 (LATEST EDITION)
- CONCRETE SLABS TO BE SAW CUT TO 1/4 OF SLAB DEPTH SPACED AT 30 TIMES THE SLAB DEPTH. SAW CUTS TO BE COMPLETED WITHIN 24 HOURS OF SLAB PLACEMENT
- MINIMUM CORNER REINFORCING SHALL BE 24"x24" (600mmx600mm) 'L'-BARS.
- ALL REINFORCEMENT SHALL CONFORM TO CSA G30.3, G30.5 & G30.18 (LATEST EDITION) WITH A YIELD STRENGTH OF 400MPa (58 ksi) FOR DEFORMED BARS OR 448MPa (65 ksi) FOR WELDED WIRE MESH
- MINIMUM COVER ON REINFORCING ON REINFORCING FOR FORMED CONCRETE EXPOSED TO EARTH SHALL BE 2" (50mm) ALL OTHER COMPONENTS SHALL NOT BE LESS THEN 2" (50mm)
- REINFORCING REBAR SPLICES SHALL BE 18" MIN U.N.O.
- ADEQUATE PROTECTION FROM FREEZING MUST BE PROVIDED TO POURED CONCRETE DURING COLD WEATHER PLACEMENT
- WALLS SHALL NOT BE BACKFILLED UNLESS BRACED AT THE TOP TO THE SATISFACTION OF THE ENGINEER. BACKFILL SHALL BE APPROVED MATERIAL COMPACTED TO 95% S.P.D. UNLESS OTHERWISE NOTED
- REINFORCING IS TO BE GENERALLY PLACED IN ACCORDANCE WITH REINFORCING STEEL INSTITUTE OF CANADA "MANUAL OF STANDARD PRACTICE". ALL SPLICES SHALL BE CLASS "B" IN ACCORDANCE WITH THE FOLLOWING TABLE:

CONCRETE REBAR SIZE	SPLICE LENGTH: mm (")			
	25MPa	30MPa	32MPa	35MPa
10M	400 (16")	400 (16")	400 (16")	400 (16")
15M	600 (24")	600 (24")	500 (20")	500 (20")
20M	800 (32")	700 (28")	700 (28")	700 (28")
25M	1200 (48")	1100 (44")	1100 (44")	1100 (44")

**STEEL NOTES:**

- ALL STEEL SHALL BE DESIGNED, FABRICATED AND ERECTED IN CONFORMANCE TO CAN/CSA-S16 AND O.B.C. LATEST EDITIONS
- ALL STEEL MEMBERS TO BE NEW MEMBERS
- ALL ROLLED STRUCTURAL STEEL MEMBERS SHALL CONFORM TO CSA-G40.20-04/G40.21-04-M350W EXCEPT WIDE FLANGE SECTIONS WHICH SHALL CONFORM TO CSA-G40.20-04/G40.21-04-M350W.
- WELDING SHALL CONFORM TO CSA W59-03 LATEST EDITION. ELECTRODES SHALL BE E70XX OR BETTER
- BOLTS FOR STRUCTURAL STEEL CONNECTIONS SHALL CONFORM TO ASTM A325
- ALL BOLTED CONNECTIONS SHALL BE BEARING TYPE U.N.O.
- ALL CONNECTIONS SHALL BE INSPECTED AS PER CAN/CSA S16-09

**WOOD NOTES:**

- LUMBER SHALL BE #1 OR #2 SPF OR BETTER U.N.O.
- STUD WALLS SHALL BE ANCHORED TO FOUNDATION WITH 1/2"x8" ANCHORS AT 48" C/C SPACING AND WITHIN 6" OF END OF WALL OR CORNER.
- WIND BRACING TO BE PROVIDED AS DETAILED IN STRUCTURAL DRAWINGS
- CONTRACTOR SHALL ENSURE ANY TEMPORARY BRACING OF WALLS AND TRUSSES ARE ADEQUATE
- STUDS SHALL BE SECURED TO PLATES WITH (3/8) 1/4" NAILS
- ALL FASTENERS INTO P.T. LUMBER TO BE STAINLESS OR HOT DIPPED GALVANIZED
- STRUCTURAL WOOD ELEMENTS SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH CAN/CSA 086-01 (LATEST EDITION)
- PLYWOOD SHEATHING SHALL CONFORM TO CSA STANDARD 0121-M1978 "DOUGLAS FIR PLYWOOD" AND 0151-M1978 "CANADIAN SOFT WOOD PLYWOOD"
- O.S.B. SHALL CONFORM TO CSA STANDARD CAN3-0437 1-M85 "WAFERBOARD AND STRANDBOARD"
- LVL TO BE 2250FB-1.5E GRADE OR BETTER

**TRUSS NOTES:**

- TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE O.B.C AND CERTIFIED BY A PROFESSIONAL ENGINEER
- UNBALANCED LOAD CONDITIONS SHALL BE ACCOUNTED FOR
- TRUSS DESIGNER TO ACCOUNT FOR INCREASED SNOW LOADS DUE TO ROOF VALLEYS AND SNOW SHADOWS
- TRUSS SHOP DRAWINGS SHALL BE PROVIDED TO ENGINEER FOR REVIEW PRIOR TO FABRICATION
- REFER TO DESIGN LOAD TABLE FOR DESIGN LOADS FOR THIS PROJECT
- DIAGONAL BRACING MUST BE PROVIDED ON ALL WEB MEMBERS THAT REQUIRE LATERAL BRACING. DIAGONAL BRACING SHALL BE LOCATED AT EACH END OF THE TRUSS ASSEMBLY AND SPACED AS NOTED ON STRUCTURAL DRAWINGS. X-BRACING SHALL BE PROVIDED AT 50'-0" INTERVALS UNLESS NOTED OTHERWISE. (SEE DIAGRAMS BELOW)

**CLADDING NOTES:**

- CLADDING TO BE MINIMUM 29 GAUGE WITH RIBS SPACED AT 6"-8"
- CLADDING TO BE FASTENED ON RIBS AT 6" CENTERS WITH HEX-HEAD ROOFING SCREWS

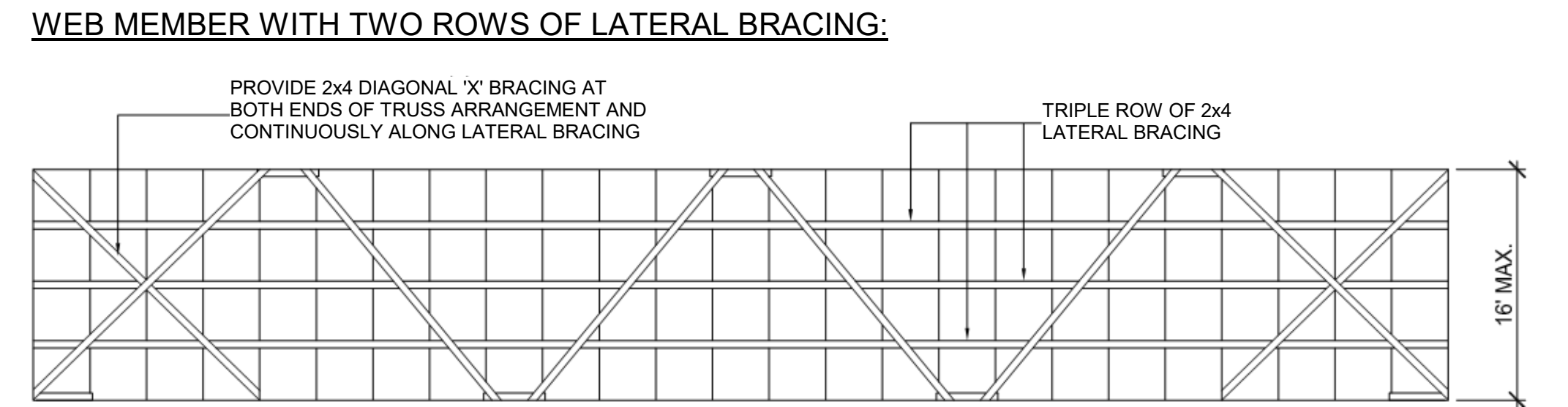
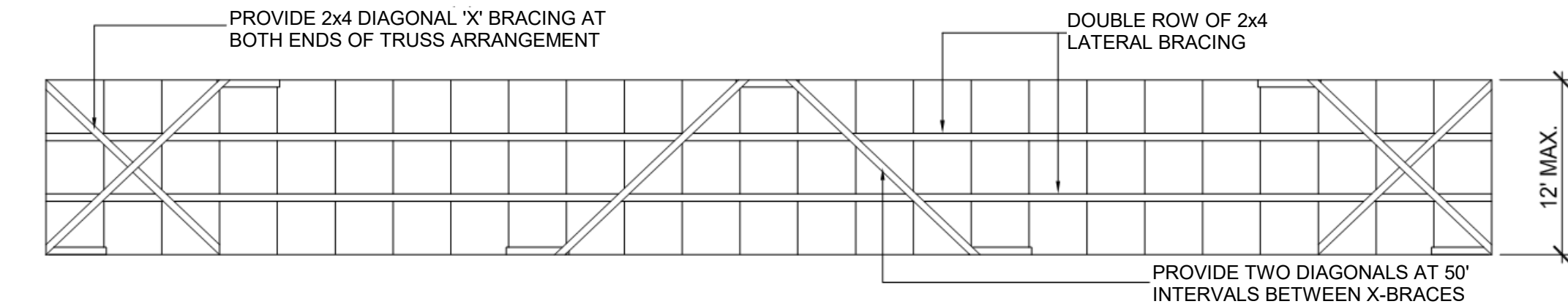
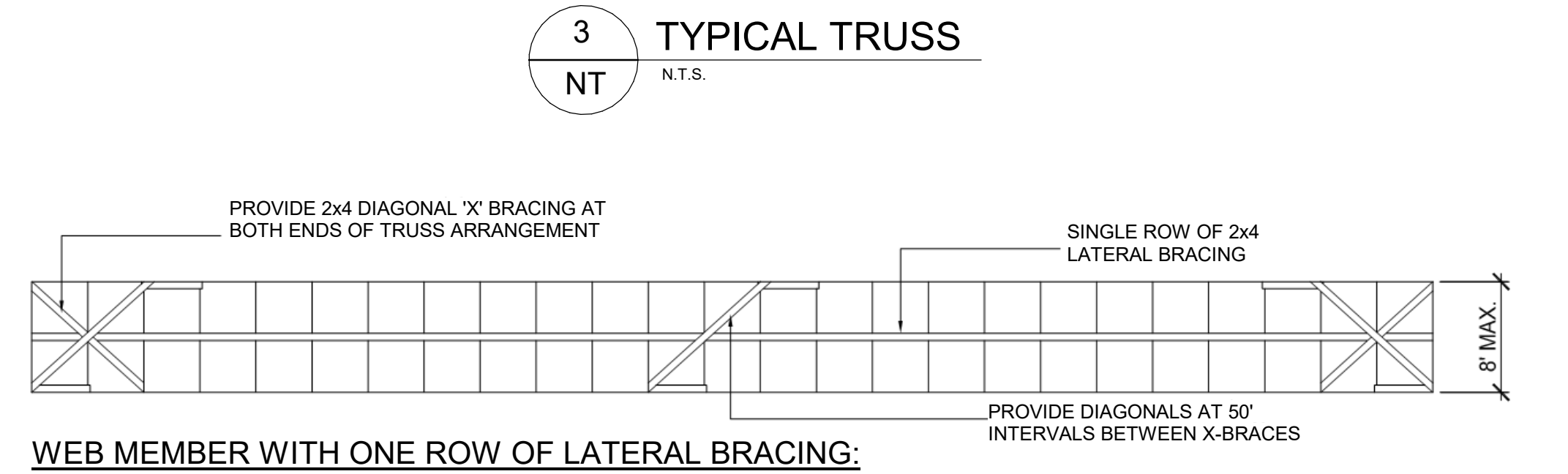
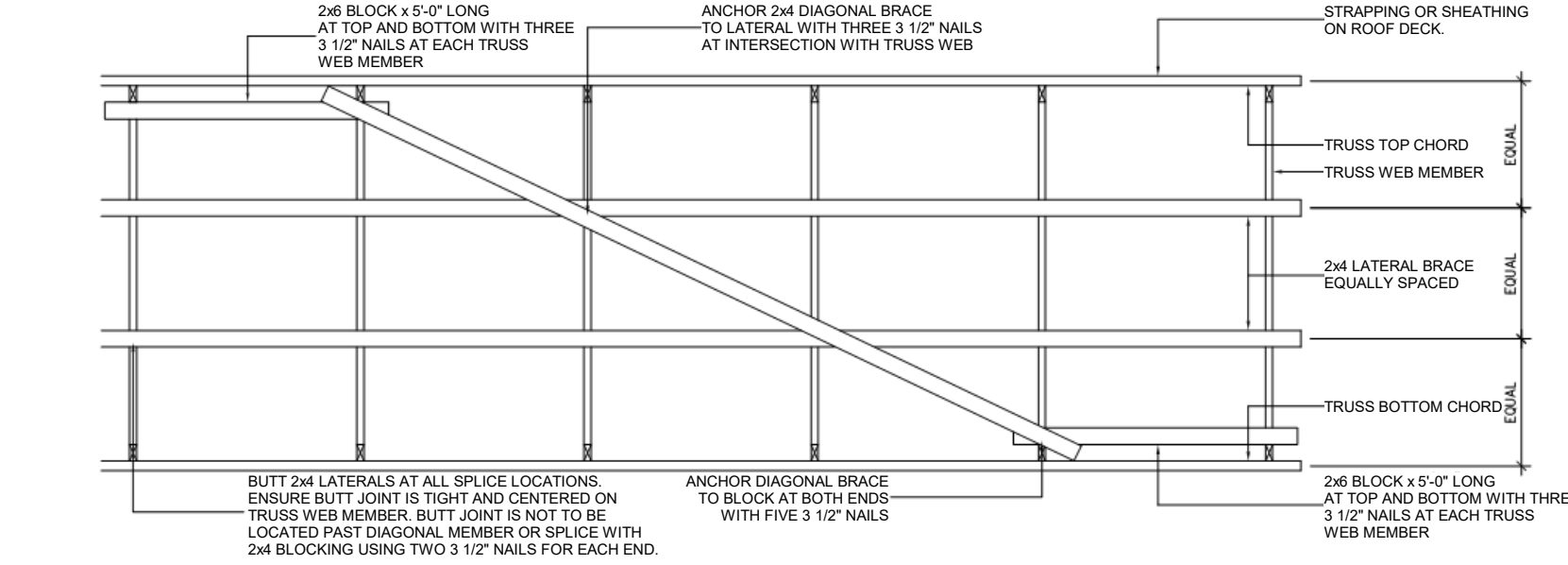
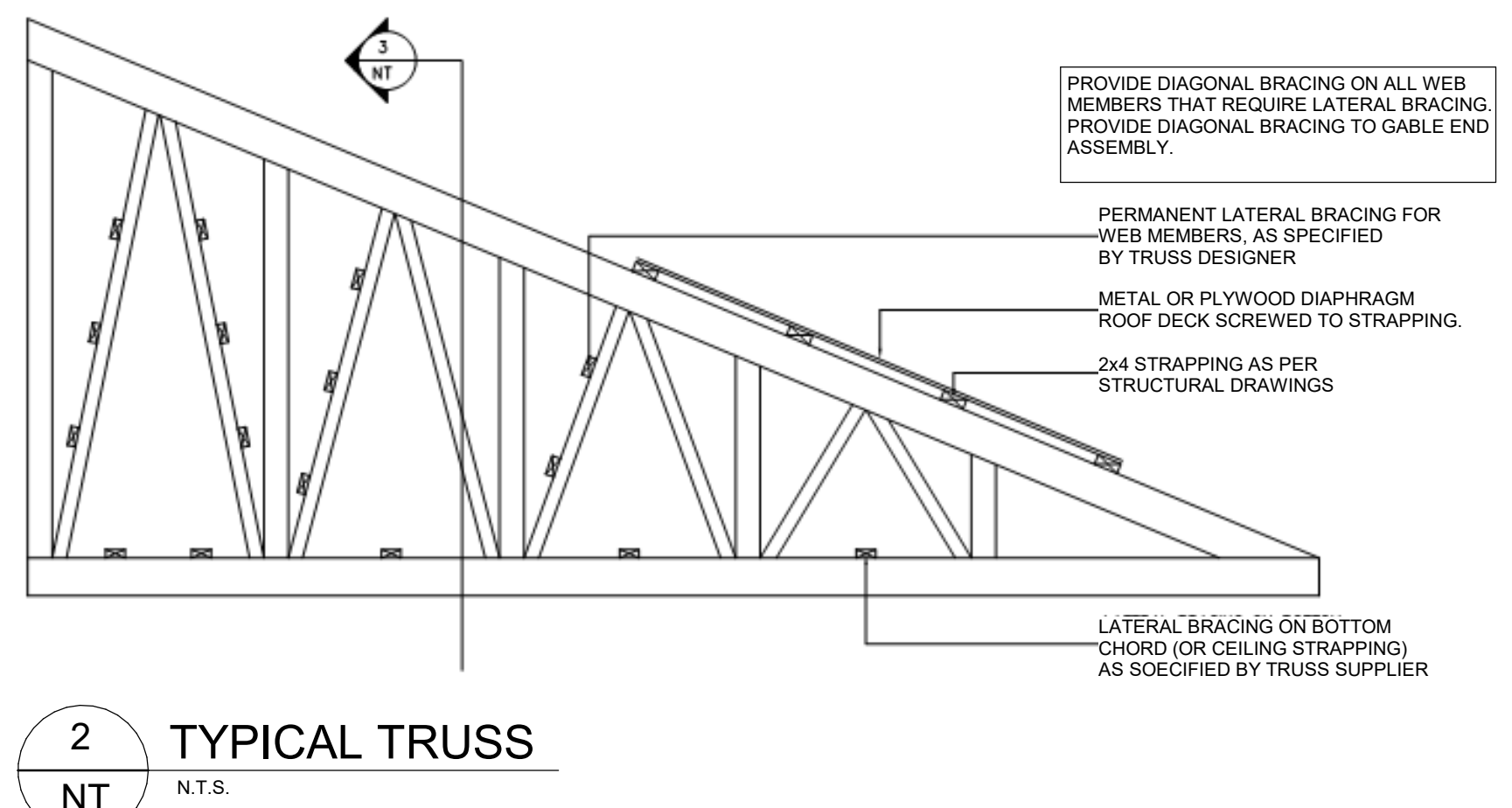
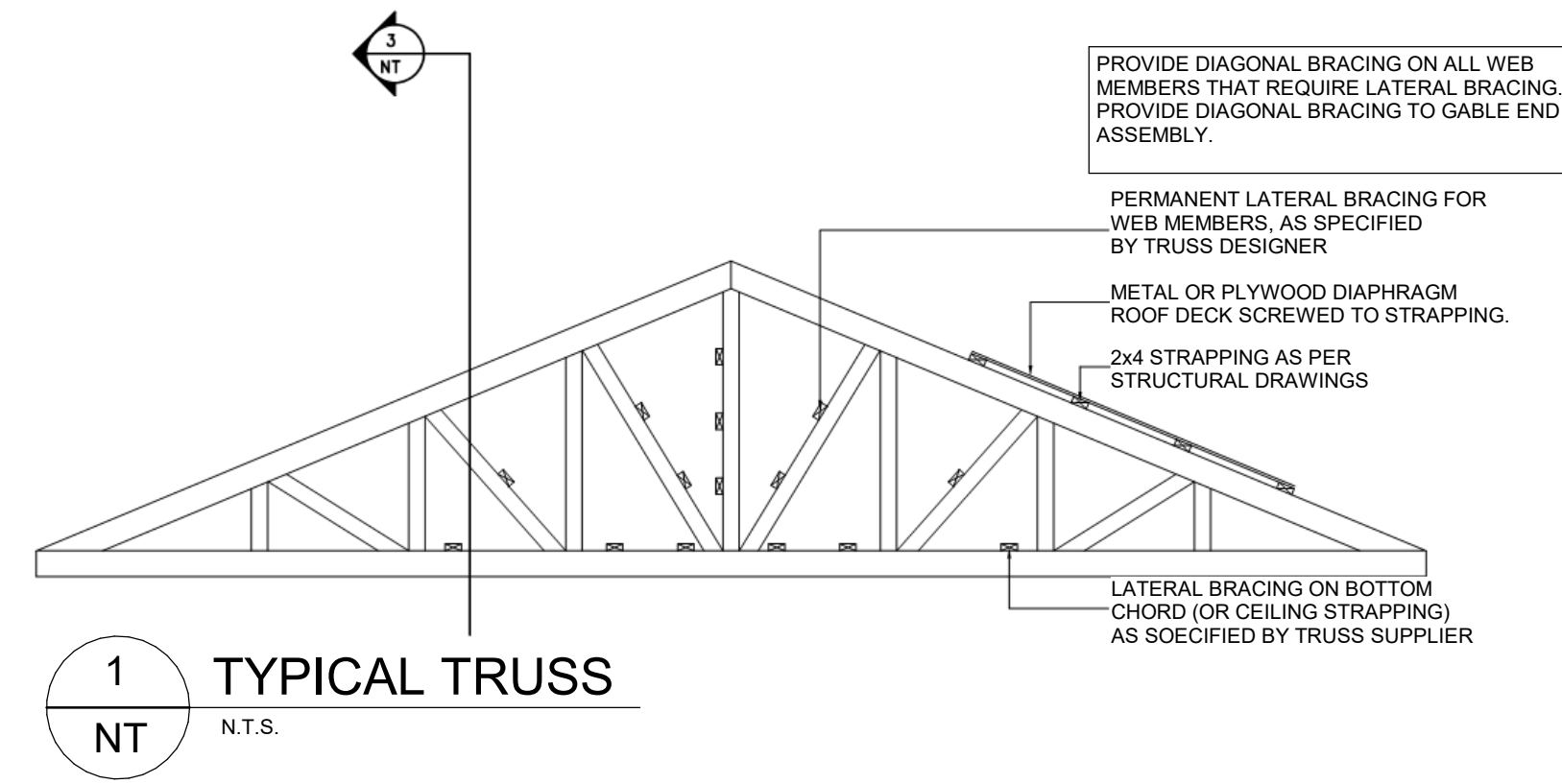
**DESIGN LOADS:**

SNOW DESIGN PARAMETERS Ss=1.9kPa (39.6 psf), Sr=0.40kPa (8.35 psf) (MORRISTON, ONT)

ROOF SNOW LOAD ULS=1.3kPa (27 psf), SLS=1.45kPa (30.4 psf)

ROOF DEAD LOAD 0.53kPa (11psf) SEE TRUSS DRAWINGS

WIND LOADS 1/10 - 0.28kPa (5.8psf)



**WEB MEMBER WITH THREE ROWS OF LATERAL BRACING:**

	<p><b>ABBREVIATIONS</b></p> <p>@ AT Øw COMPLETE WITH Ø DIAMETER FON FOUNDATION E.W. EACH WAY EX. EXISTING HORIZ. HORIZONTAL LVL LAMINATED VENEER LUMBER MAX. MAXIMUM MIN. MINIMUM OBC ONTARIO BUILDING CODE ©c CENTRE TO CENTRE</p> <p>ØH OVERHEAD PF PAD FOOTING P.T. PRESSURE TREATED T.D. TRAVEL DISTANCE T&amp;G TONGUE &amp; GROOVE TIO TOP OF TYP. TYPICAL US UNDERSIDE VERT. VERTICAL W WITH WWM WELDED WIRE MESH</p>	<p><b>LEGEND</b></p> <p>W WALL TAG WN WINDOW TAG D DOOR TAG 0.0' ELEVATION MARKER - PLAN 200' ELEVATION MARKER - SECTION TRAVEL DISTANCE</p>	<p><b>PROJECT STATUS:</b></p> <table border="1"> <tr> <th>NO:</th> <th>DATE:</th> <th>STATUS:</th> </tr> <tr> <td>1</td> <td>MAY 17, 2023</td> <td>FOR CONSTRUCTION</td> </tr> </table>	NO:	DATE:	STATUS:	1	MAY 17, 2023	FOR CONSTRUCTION	<p>CONTRACTOR NAME &amp; ADDRESS: <b>BRUSTONE CONSTRUCTION, 073084 SIDEROAD 24-25, GRAND VALLEY ONT.</b></p>	<p>PROJECT NAME &amp; ADDRESS: <b>PAUL SHED 6911 WELLINGTON RD. 34, MORRISTON ON.</b></p>	<p>Date MAY 16, 2023</p> <p>Scale 12" = 1'-0"</p>
			NO:	DATE:	STATUS:							
1	MAY 17, 2023	FOR CONSTRUCTION										
<p>PROJECT NORTH: TRUE NORTH:</p> <p>Project #: DLX23-336 Drawn by: L.C. Checked by: N.H.</p>	<p>DRAWING TITLE: <b>DESIGN NOTES</b></p>	<p>Sheet No. <b>NT</b></p>										

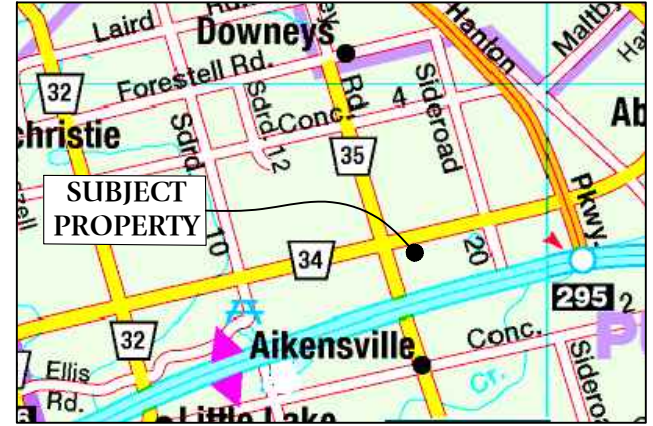
**MINOR VARIANCE SKETCH**  
**PART OF LOT 16, CONCESSION 2**  
**TOWNSHIP OF PUSLINCH**  
**COUNTY OF WELLINGTON**

SCALE 1 : 1000



VAN HARTEN SURVEYING INC.

KEYMAP:



NOTES:

1. THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE USED FOR REAL ESTATE TRANSFERS OR MORTGAGES.
2. SUBJECT LANDS ARE ZONED AGRICULTURAL.
3. SUBJECT LANDS HAVE AN OFFICIAL PLAN DESIGNATION OF SECONDARY AGRICULTURAL.
4. DISTANCES ON THIS PLAN ARE SHOWN IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
5. DIMENSIONS ON THIS SKETCH ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED BY SURVEY.
6. T.B.R. DENOTES TO BE REMOVED.

**MINOR VARIANCE REQUEST:**  
 (A) TO PERMIT THE ACCESSORY BUILDING TO HAVE A MAXIMUM LOT COVERAGE OF 225m<sup>2</sup> INSTEAD OF 200m<sup>2</sup> FOR A LOT AREA LESS THAN 1.0 Ha., AS REQUIRED IN TABLE 4.1 OF THE ZONING BY-LAW.

SURVEYOR'S CERTIFICATE:  
 THIS SKETCH WAS PREPARED  
 ON THE 11th DAY OF AUGUST, 2023

ONTARIO LAND SURVEYOR



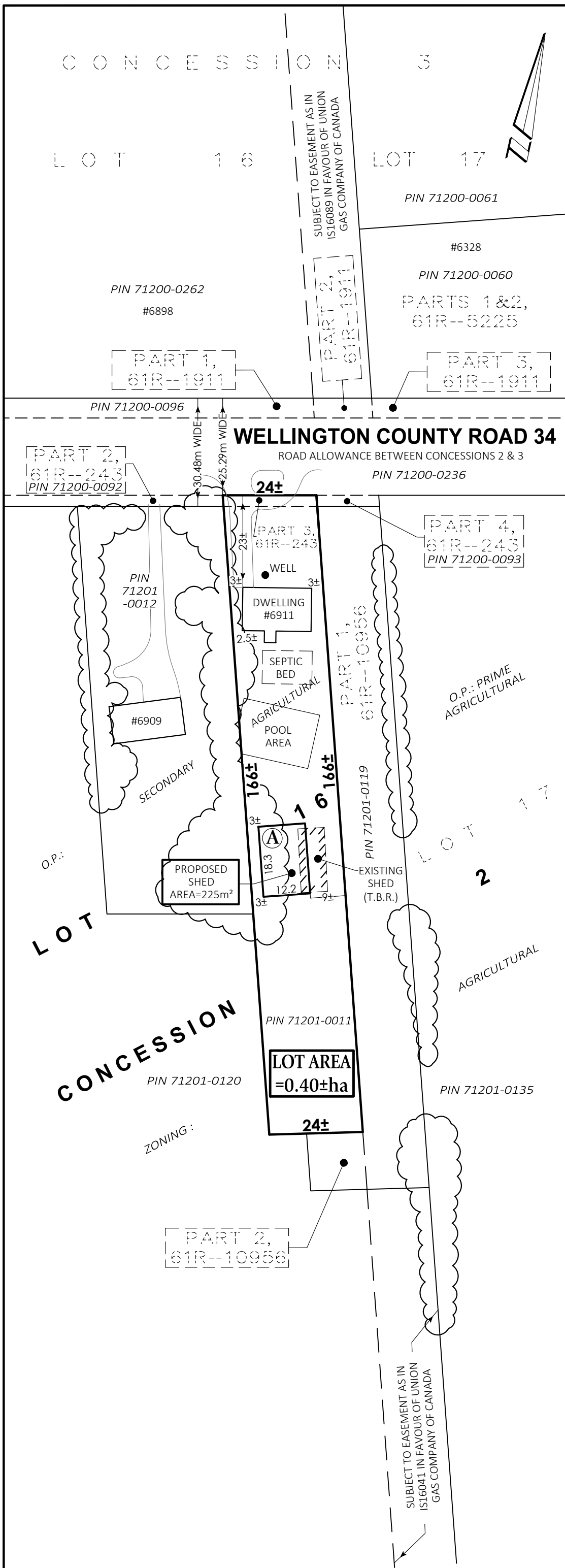
Kitchener/Waterloo Ph: 519-742-8371	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
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www.vanharten.com info@vanharten.com

DRAWN BY: AN	CHECKED BY: JEB	PROJECT No. 32606-23
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Aug 11, 2023-1:23:40 PM  
 G:\PUSLINCH\Con2\Acad\MV PT LOT 16 (GODINHO).dwg

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## PLANNING REPORT for the TOWNSHIP OF PUSLINCH

Prepared by the County of Wellington Planning and Development Department

**MEETING DATE:** September 12<sup>th</sup>, 2023  
**TO:** Lynne Banks, Secretary-Treasurer  
 Township of Puslinch  
**FROM:** Asavari Jadhav, Planner  
 Zach Prince, Senior Planner  
 County of Wellington  
**SUBJECT:** **MINOR VARIANCE APPLICATION D13/GOD (Krista and Paul Alexandre Godinho)**  
**6911 Wellington Road 34**  
**Concession 2 Rear Part Lot 16**  
**ATTACHMENTS** Site Plan Submitted by Applicant

We have reviewed the application for minor variance and provide the following comments. These comments are offered without the benefit of a site visit.

### Planning Opinion

The variance requested would provide relief from Section 4.4 Table 4.1 of the Zoning By-law requesting permission to permit an accessory structure of 225m<sup>2</sup> whereas the By-law permits an accessory structure to be a maximum of 200m<sup>2</sup> for the properties less than 1 ha in size. The existing shed to the rear of the subject property is approximately 85m<sup>2</sup> in size will be demolished and a new larger shed of 225m<sup>2</sup> will be built for storage on the similar location.

The minor variance application would maintain the general intent and purpose of the Official Plan and Zoning By-law and is desirable and appropriate for the development of the subject property provided any concerns of the Building and Public Works Departments are addressed including adequate servicing, as well as drainage and grading. We consider the request minor and have no concerns with the application.

### Proposal:

Section of the By-law	Required	Proposed	Relief Requested
Section 4.4.2 Table 4.1 Additional Regulations – Accessory Buildings and Structures	Lot area less than 1 ha, maximum permitted lot coverage is 200 m <sup>2</sup>	225 m <sup>2</sup>	25m <sup>2</sup>
	Lot area less than 1 ha, maximum permitted height is 5 m	6.1 m	1.1 m



**Figure 1 - Subject Property**

Our discussion of this application relative to the four tests under the Planning Act is as follows:


Four Tests	Discussion
That the requested variance is <b>minor</b> in nature	<ul style="list-style-type: none"> <li>• The proposed application is requesting relief from the maximum permitted lot coverage of 225m<sup>2</sup>.</li> <li>• The subject lands contain an existing dwelling, pool and shed.</li> <li>• The applicant has indicated that the existing shed will be demolished and a new shed of 225m<sup>2</sup> will be constructed.</li> <li>• It is noted that the new shed will be constructed in similar location of the existing shed, to the rear of the subject of the property.</li> <li>• The Committee should consider any comments received from Public Works regarding servicing, grading and drainage we would consider the variance minor in terms of impact and context with the neighbouring property.</li> </ul>
That the intent and purpose of the <b>Zoning By-law</b> is maintained	<ul style="list-style-type: none"> <li>• The subject property is zoned Agricultural (A)</li> <li>• A singled detached dwelling and accessory buildings are a permitted use within the Agricultural (A) zone.</li> <li>• Section 4.4.2 Table 4.1 of the Zoning By-law permits an accessory structure to be a maximum of 200m<sup>2</sup> on lots less than 1 ha.</li> </ul>

	<ul style="list-style-type: none"> <li>• The applicant has indicated that the existing shed will be demolished and a new shed of 225m<sup>2</sup> will be constructed in the similar location at the rear of the subject property.</li> <li>• The proposed accessory structure is has a height of 6.1 m where as the maximum permitted height for an accessory building on lots less than 1 ha is 5 m. The intent of having a maximum height is to ensure that the accessory structure is subordinate to the principal dwelling.</li> <li>• The applicant is proposing a setback of 3m from the shed to the property line, planning staff support the increased setback and request existing trees be maintained where appropriate to assist in buffering the building.</li> <li>• The proposed accessory structure meets the other setback requirements for an accessory building within the A Zone.</li> <li>• the subject property has a total lot coverage of 11.2%. The A zone allows for a maximum of 30% lot coverage.</li> <li>• The Township staff are satisfied that all other zoning requirements for the subject property have been met.</li> </ul>
That the general intent and purpose of the <b>Official Plan</b> is maintained	<ul style="list-style-type: none"> <li>• The property is designated Secondary Agricultural</li> <li>• The subject lands are identified as being within the Paris Galt Moraine Policy.</li> <li>• A single detached dwelling is a permitted use in the Secondary Agricultural designation.</li> </ul>
That the variance is <b>desirable</b> for the appropriate development and use of the land, building or structure	<ul style="list-style-type: none"> <li>• The subject property is surrounded by rural residential and agricultural uses.</li> <li>• The proposed variance would facilitate construction of an accessory structure to replace an existing shed for storage in addition to the existing dwelling with an attached garage on subject lands.</li> <li>• The proposed accessory building meets the required setbacks and is located behind the main dwelling.</li> <li>• Planning staff are satisfied that the minor variance is desirable, and appropriate for the development and use of the land.</li> </ul>

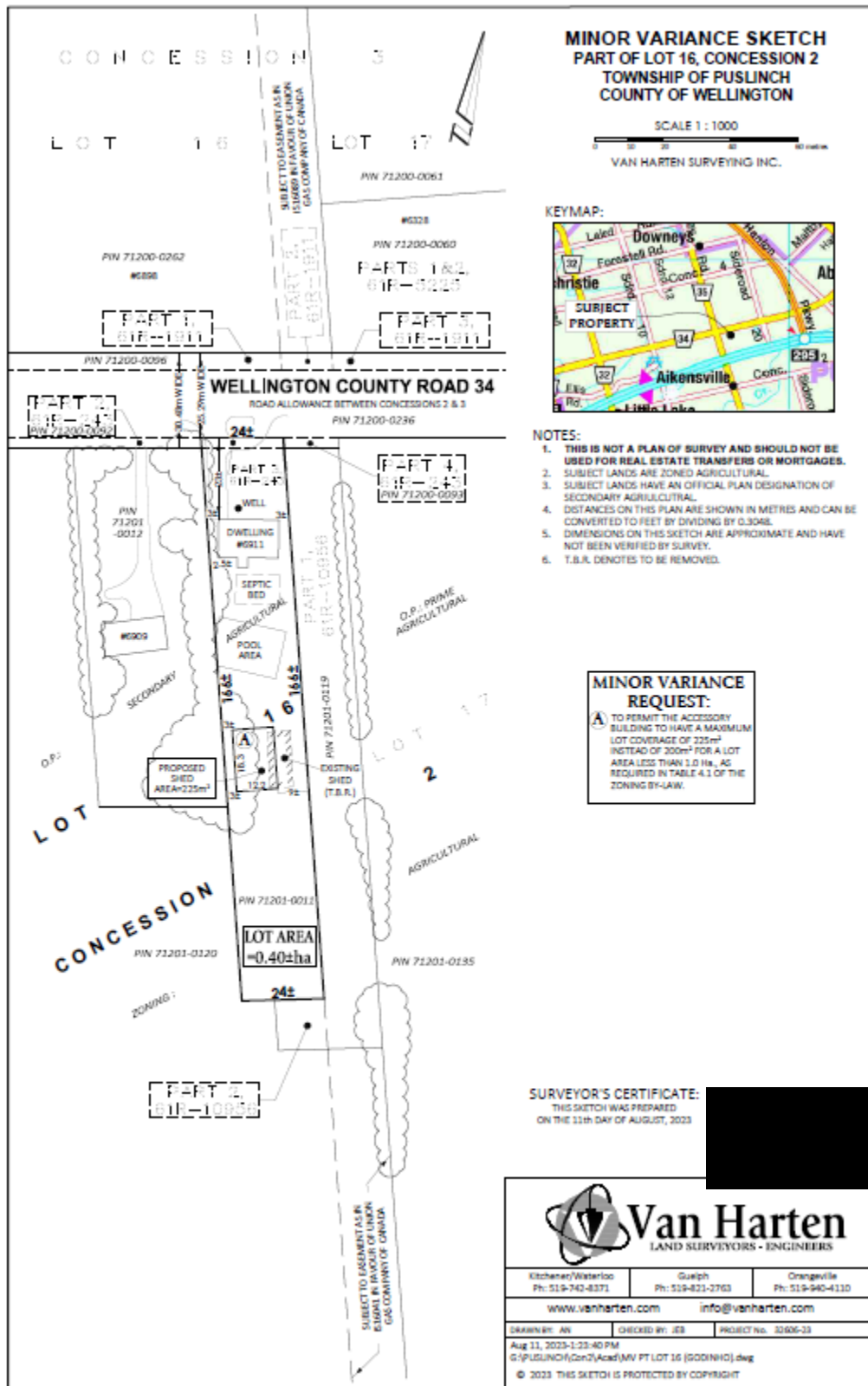
In conclusion, planning staff is of the opinion that the requested variance application **meets the four tests** of the *Planning Act* provided any concerns of the Building Department and Public Works Department are addressed and subject to the recommended conditions. We trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee’s decision with respect to this application.

Respectfully submitted  
County of Wellington Planning and Development Department

  
Asavari Jadhav  
Junior Planner

  
Zach Prince, MCIP RPP  
Senior Planner

**ATTACHMENT : Site Plan Submitted by Applicant**



Office Use Only
Roll Number: _____
File Number: _____
Submission Date: _____
WHPA, IPZ, ICA: _____
Vulnerability Score: _____

## Drinking Water Source Protection Screening Form

For assistance in completing this form, please refer to the “Explanatory Guide” beginning on page 5.

### 1. Property Information

Municipal Address of Subject Property: 6911 Wellington Road 34, Puslinch

Property Owner: Paul & Krista Godinho

### 2. Proposal (Please check all that apply to this application):

	<b>Building</b>
<input type="checkbox"/>	New Structure
<input type="checkbox"/>	Expansion or Conversion of an Existing Structure
<input type="checkbox"/>	New or Replacement Septic System
<input type="checkbox"/>	New Well (Transport Pathway)
<input type="checkbox"/>	Geothermal System (Transport Pathway)
<input type="checkbox"/>	Change of Use

	<b>Planning</b>
<input checked="" type="checkbox"/>	Minor Variance
<input type="checkbox"/>	Official Plan Amendment
<input type="checkbox"/>	Consent Application
<input type="checkbox"/>	Zoning By-law Amendment Application
<input type="checkbox"/>	Subdivision/Condominium Application
<input type="checkbox"/>	Site Plan Application

### Brief Description of the Proposed Use of Land, Proposed Buildings or Structures

**The parcel contains an existing dwelling, pool and accessory building. The proposal is to demolish the old shed and build a new one in its place. The new shed is 25m<sup>2</sup> over the permitted zoning area requirement and a minor variance is required.**

### 3. Potential Threat Activities Associated with the Application

Please check all applicable activities that may be associated with the development proposal:

#### 3.1 Fuel Handling and Storage greater than 250 litres

- Liquid fuel (i.e. gasoline or diesel)
- Fuel oil (home heating)
- Waste oil (heating)

#### 3.2 Chemical Handling and Storage

- Paints and other coatings (including stains, enamels, lacquers, rust paint)
- Dry cleaning chemicals
- Automotive repair/maintenance and/or industrial manufacturing and processing (e.g. degreasers, automotive fluids, oils, furniture stripping products, chemical solvents, adhesives)
- Solvent based degreasers or liquids for washing metal parts

If yes to any of the above, please indicate the type(s) of chemicals if known:

- 3.2.1 Dense Non-Aqueous Phase Liquids (DNAPLs), including chlorinated solvents
- 3.2.2 Organic Solvents

#### 3.3 Road Salt Application and/or Outdoor Storage

- Road salt storage, outside > 5,000 tonnes
- Road salt application in a parking lot

#### 3.4 Snow Storage (see guide)

#### 3.5 Waste Storage or Disposal (see guide)

- 3.5.1 Storage of raw, untreated liquids and solids that are pumped out of septic systems and holding tanks (not including septic tanks)
- 3.5.2 Storage and/or disposal of oils; hazardous waste; liquid industrial waste; industrial and commercial waste; or PCB waste (does not include restaurant oil or grease)

#### 3.6 Storm Water Management/Industrial Sewage

- Stormwater management facility (treatment, retention, infiltration or control of stormwater)



- Car or truck washing facility
- Oil and Water Separator
- Sediment control (ie Stormceptor)

### 3.7 Septic Systems

- Septic system for residential or small-scale commercial/industrial/institutional use **EXISTING**
- Septic system (Greater than 10,000 litres per day) for commercial/industrial/institutional use (note an Environmental Compliance Approval would be required)

### 3.8 Agricultural / Commercial

- 3.8.1 Application, handling and storage of fertilizers and / or pesticides
- 3.8.2 Application, handling and storage of agricultural source material (i.e. manure)
- 3.8.3 Application, handling and storage of non-agricultural source material (e.g. biosolids, commercial food wastes, etc.)
- 3.8.4 Grazing and pasturing of livestock
- 3.8.5 Nutrient Management Plan or Strategy applies to property

### 3.9 Water Taking

- 3.9.1 Private well (existing or new) **EXISTING**
- 3.9.2 Greater than 50,000 litres per day of water being used (note a Permit to Take Water would be required)
- 3.10 Recharge Reduction – creation of impervious surfaces (including large roofed areas, pavement) – only applies within Town of Erin**
- 3.11 Transport Pathway (see guidance includes wells, aggregate pits, geothermal systems)**
- None of the above are applicable**

**4. Declaration (Owner or Applicant) or Person Engaged in Activity**

**Owner**

I, \_\_\_\_\_, declare that the information contained in this application and all attached documentation is true to the best of my knowledge.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature

**Applicant or Authorized Agent**

I, Jeff Buisman of Van Harten Surveying Inc., declare that the information contained in this application and all attached documentation is true to the best of my knowledge.

August 10, 2023  
Date

  
\_\_\_\_\_  
Signature

**Information is collected pursuant to the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56 and the *Clean Water Act*, 2006, S.O. 2006, c. 22 for the administration and enforcement of the *Clean Water Act*. Please note that business identity information is not considered personal information pursuant to the *Municipal Freedom of Information and Protection of Privacy Act*.**

For any inquiries about the collection of this information, please contact the Risk Management Official, Wellington Source Water Protection, 7444 Wellington Road 21, Elora, ON, N0B 1S0, 519-846-9691 ext. 362.

## Explanatory Guide for Completing the Drinking Water Source Protection Screening Form

Your property is located within a municipal well head protection area or intake protection zone and therefore may be subject to the *Clean Water Act*, 2006. The Wellhead Protection Area (WHPA) is the area around a municipal well where land use activities have the potential to affect the quality and quantity of water that flows into the wellhead. For more information, refer to [www.wellingtonwater.ca](http://www.wellingtonwater.ca) or contact 1-844-383-9800.

To assist staff in determining whether your property and/or application is subject to the Act, the Drinking Water Source Protection Screening Form is completed to inventory the activities that are proposed on your property. The following sections explain the form.

### Section 1 – Property Information:

Please fill out the municipal address and property owner for the subject property.

### Section 2 – Proposal:

Please check all that apply to the application and provide a brief explanation of the proposed development

### Section 3 – Potential Threat Activities Associated with Proposed Application:

Within this section please check all that apply to your application.

#### 3.1 Liquid Fuel Handling and Storage:

Check the box if on the property there is liquid fuel storage or handling greater than 250 litres (1 gal = 3.785 L). This can be located in land uses for residential, agricultural, gas, commercial, industrial or institutional purposes and includes gasoline, diesel or home heating oil. It does not include propane or natural gas.

#### 3.2 Chemical Handling and Storage:

Check box if the application is regarding one of the listed chemical handling or storage activities on the form.

##### 3.2.1 Known DNAPLs:

Check box only if applicant is aware of a Dense Non-Aqueous Phase Liquid (DNAPL) on the property. DNAPLs are chemicals that are denser than water and therefore have the ability to contaminate the groundwater easily. The specific DNAPLs that pose a potential threat are poly-aromatic hydrocarbons (PAHs), 1, 4-dioxane, trichloroethylene, tetrachloroethylene or perchloroethylene (PCE or PERC) and Vinyl Chloride.

- **Vinyl Chloride:** Used to make polyvinyl chloride (PVC) pipes, wire coatings, vehicle upholstery and plastic kitchen ware
- **PAHs:** Used in wood preservatives, pharmaceuticals, dyes and asphalt products.
- **1,4-dioxane:** Used as a degreasing solvent or solvent stabilizer in various manufacturing processes.
- **Tetrachloroethylene** (PCE or PERC): Used in dry cleaning, metal cleaning and as an intermediate in manufacturing processes.

- **Trichloroethylene (TCE):** Mainly used for degreasing of metal parts in the automotive and metal industries and also found in some household products such as adhesives, paint removers, paints, rug cleaning fluids, and metal cleaners.

### 3.2.2 Known Organic Solvents:

Check box if the applicant is aware of Organic Solvents on the property. Organic Solvents are liquid organic compounds with the ability to dissolve solid, gases or liquids and therefore have the ability to contaminate drinking water sources. Organic Solvents that are of potential concern include Carbon Tetrachloride, Chloroform, Dichloromethane and Pentachlorophenol (PCP).

- **Carbon Tetrachloride:** Once used widely in fire extinguishers, as a cleaning agent, in the manufacture of refrigerants as well as an industrial solvent and metal degreasing agent is a banned substance in Ontario since 1999. The only permitted uses of the chemical are in research laboratories or in the manufacturing process where the product is converted to an alternative product which does not contain a class of ozone-depleting substances.
- **Chloroform:** commonly used in a laboratory setting, and in the production of pharmaceuticals, dyes and pesticides.
- **Dichloromethane** (also known as methylene chloride): used as a solvent in paint strippers and removers. It is used as a process solvent in the manufacture of drugs, pharmaceuticals and film coatings. It is also used as a metal cleaning and finishing solvent in electronics manufacturing, aerosol propellant and as an agent in urethane foam blowing.
- **Pentachlorophenol (PCP):** used as an herbicide, insecticide, fungicide, algacide and disinfectant, and as an ingredient in antifouling paint. Its use has significantly declined due to its high toxicity. Today it is used industrially as a wood preservative and is not manufactured in Canada.

### 3.3 Road Salt Application, Handling and Storage:

Check the appropriate box if there will be outdoor, road salt storage greater than 5,000 tonnes or road salt application in a parking lot. Please note it is extremely unlikely that any application will have outside road salt storage greater than 5,000 tonnes.

Please check the appropriate box if salt will be applied to a parking lot.

### 3.4 Snow Storage:

Check box if there will be below grade (buried) snow storage on the property greater than 0.01 hectare (0.03 acre or 10 metres by 10 metres) or above grade snow storage of greater than 1 hectare (2.5 acres or 100 metres by 100 metres). For reference, 0.01 hectare is roughly a double driveway and 1 hectare is roughly two soccer fields.

#### 3.5.1 Waste Storage or Disposal - Septic Tank Pump outs

Check box only if application is involved in the pumping out or disposal/treatment of raw sewage or septage, porta potties or holding tanks.

#### 3.5.2 Waste Storage or Disposal - Storage and/or Disposal of Hazardous Waste:

Check box if there is hazardous waste or liquid industrial waste stored on the property including waste oil, solvents, and automotive fluids. Please note storage or disposal of oil does not include restaurant oil or grease. Storage of hazardous waste or liquid industrial waste includes wastes requiring registration with the Ontario Hazardous Waste Information Network (HWIN), if applicable. Disposal of

waste on site includes landfilling and incineration. Typically, this will only be at commercial or industrial properties.

### **3.6 Storm Water Management/Industrial Sewage:**

Check box if one of the listed storm water management or industrial sewage activities is planned or present. For reference, a storm water management facility may include a retention or detention pond (wet or dry), catch basins, sediment control, swales and ditches.

### **3.7 Septic Systems:**

Check box if the property will be serviced by a septic system.

### **3.8.1 Agricultural - Application, handling and storage of fertilizers and pesticides:**

Check box if there is storage or use of fertilizer or pesticides for agricultural or commercial use. Do not check the box if used only for personal use.

### **3.8.2 Agricultural - Application, handling and storage of agricultural (i.e. manure) and/or 3.8.3 non-agricultural source material (bio solids):**

Check corresponding box if there is application, handling or storage of Agricultural Source Material (ASM) (manure) or Non-Agricultural Source Material (NASM) on the property. ASM and NASMs include; manure (ASM) and biosolids, commercial food waste, etc. For more information on NASMs and ASMs please look at fact sheet number 4, available on our website, [www.wellingtonwater.ca](http://www.wellingtonwater.ca)

### **3.8.4 Agricultural - Grazing and pasturing of livestock:**

Check box if there is any grazing, pasturing or housing of one or more livestock on the property excluding household pets. Livestock can include cows, horses, sheep, goats and other animals. If unsure, please contact Wellington Source Water Protection for clarification.

### **3.9.1 Water Taking - Private well installed:**

Check box if there is a well present or being installed on the property. This includes private drinking water wells, environmental test wells, geotechnical wells, irrigation wells etc.

### **3.9.2 Water Taking - Greater than 50,000 litres per day**

Check box if more than 50,000 litres per day is being withdrawn from a well or a water body(1 gal = 3.785 gal).

### **3.10 Recharge Reduction:**

Check box if there is going to be an increase in impervious surfaces on the property. For example, asphalt (driveways and parking areas) and covered areas (roofs, decks and structures). If building within current building envelope then it is not an increase. Please note this box only applies within the Town of Erin.

### **3.11 Transport Pathway**

Transport pathways are human constructed pathways through soil and bedrock that may increase the vulnerability of groundwater to certain contaminants. Please check this box if your application will be installing a vertical geothermal system, installation of caissons or building piers for a non-residential application, aggregate project, installation of utilities or excavation within fractured bedrock or involves a drilling project (i.e. installation of private wells (dug or drilled), environmental or geotechnical test wells and/or boreholes). If the Water Taking – Private Well box was checked, please check the Transport Pathway box as well.

3.12 None Applicable:

Check if none of the above sections in Part 3 are applicable to the application.

**Section 4 - Declaration:**

Either the owner or the applicant must sign and date the form.

## Lynne Banks

---

**From:** Andrew Hartholt  
**Sent:** Friday, August 25, 2023 3:22 PM  
**To:** Hillary Miller  
**Subject:** RE: Revised Notice for Minor Variance Application - D13-GOD - 6911 Wellington Rd 34

Hey Hillary,

Below are my updated comments:

As long as the building is for personal use only, I have no comments or concerns from a building code perspective for the accessory building size being increased from 200m<sup>2</sup> to 225m<sup>2</sup> and the maximum height being increased from 5m to 6.1m.

The building department received the permit application (TOP-2023-67) for this minor variance on May 25, 2023. Should the committee approve this minor variance application, our technical comments will be made under the above-noted building permit.



Andrew Hartholt, CBCO/CRBO  
Chief Building Official  
Township of Puslinch  
7404 Wellington Rd. 34, Puslinch, ON N0B 2J0  
P: 519-763-1226 ext. 229/Fax: 519-763-5846 [www.puslinch.ca](http://www.puslinch.ca)

*My work hours may not match yours, and I do not expect you to respond outside your working hours*

---

**From:** Hillary Miller <[hmill@puslinch.ca](mailto:hmill@puslinch.ca)>  
**Sent:** Friday, August 25, 2023 1:33 PM  
**To:** Andrew Hartholt <[ahartholt@puslinch.ca](mailto:ahartholt@puslinch.ca)>; Mike Fowler <[mfowler@puslinch.ca](mailto:mfowler@puslinch.ca)>; Jacob Normore <[jnormore@puslinch.ca](mailto:jnormore@puslinch.ca)>; Brent Smith <[bsmith@puslinch.ca](mailto:bsmith@puslinch.ca)>; Services <[services@puslinch.ca](mailto:services@puslinch.ca)>  
**Subject:** Revised Notice for Minor Variance Application - D13-GOD - 6911 Wellington Rd 34

Good afternoon,

Please see the attached revised notice to add a request for relief for the proposed accessory structure with respect to the above application.

Kind regards,



Hillary Miller  
Legislative Assistant  
Township of Puslinch  
7404 Wellington Rd. 34, Puslinch, ON N0B 2J0  
P: 519-763-1226 x207/Fax: 519-763-5846 [www.puslinch.ca](http://www.puslinch.ca)

## Lynne Banks

---

**From:** Brent Smith  
**Sent:** Monday, August 21, 2023 5:27 PM  
**To:** Hillary Miller  
**Cc:** Tom Mulvey  
**Subject:** Re: Minor Variance Notice of Public Hearing - D13/GOD - 6911 Wellington Rd 34

Hi Hillary ,  
Puslinch Fire and Rescue Services have no concerns with the above referenced minor variance.  
Thanks  
Brent Smith  
CFPO  
Puslinch Fire and Rescue Services

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---

**From:** Hillary Miller <hmiller@puslinch.ca>  
**Sent:** Monday, August 21, 2023 7:54:31 AM  
**To:** Brent Smith <bsmith@puslinch.ca>; Mike Fowler <mfowler@puslinch.ca>; Andrew Hartholt <ahartholt@puslinch.ca>; Jacob Normore <jnormore@puslinch.ca>; Services <services@puslinch.ca>  
**Subject:** Minor Variance Notice of Public Hearing - D13/GOD - 6911 Wellington Rd 34

Good morning,

Attached please find the Notice of Public Hearing with respect to the above property for your review and comment. Please provide any comments you might have by September 1, 2023.

Kind regards,



Hillary Miller  
Legislative Assistant  
Township of Puslinch  
7404 Wellington Rd. 34, Puslinch, ON N0B 2J0  
P: 519-763-1226 x207/Fax: 519-763-5846 [www.puslinch.ca](http://www.puslinch.ca)