



April 30, 2024

Town of Puslinch  
c/o Lynne Banks  
7404 Wellington Road 34  
Puslinch, Ontario, N0B 2J0

Dear Ms. Banks:

**RE: Application for Minor Variance  
6527 Ellis Road, Puslinch - Puslinch Lake Golf Course  
OUR FILE: 23186A**

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On behalf of our client, the Puslinch Lake Golf Course, we are pleased to submit a Minor Variance application for the lands municipally addressed as 6527 Ellis Road, in the Town of Puslinch (hereinafter referred to as the 'subject lands').

The subject lands are approximately 32.9 hectares in area with approximately 423 metres of frontage on Ellis Road. The subject lands are zoned as Resort Commercial (RC) with site specific provision 42 under the Town of Puslinch Zoning By-law. The subject lands are extensively landscaped by nature of the active 18-hole golf course existing on site. To facilitate the operation of the golf course, the site contains two clubhouse lounge buildings and one golf cart storage building that is also used for maintenance.

The purpose of this minor variance application is to allow for the replacement of the existing maintenance building with a new maintenance building, standing at a height of 5.6 meters. The proposed building would be approximately 60.9 metres (200 feet) long and 15.2 metres (50 feet) wide for a total of 929.0 square metres (10,000 square feet) and a lot coverage of 0.28%.

The new maintenance building requires relief from Section 4.4.2 of the Zoning By-law to allow for the building height of 5.6 meters rather than the requirement of 5 meters. The new maintenance building will be constructed in the same area as the existing building. The proposed building would be serviced by a private well and private septic system to accommodate the washrooms and lunchroom inside, similar to the existing building.

## **Four Tests of a Minor Variance**

In our opinion, the requested variance meets the four tests of a minor variance as outlined under Section 45(1) of the Planning Act:

### **1. Does the proposal maintain the general intent of the Official Plan?**

The County of Wellington Official Plan designates the subject lands 'Recreational'. This designation permits a range of uses including golf courses and including clubhouses and related commercial activities. Accessory structures are permitted in the Recreational designation.

Therefore, the variance maintains the intent and purpose of the Official Plan.

### **2. Does the proposal maintain the general intent and purpose of the Zoning By-law?**

The subject lands are zoned as Resort Commercial (RC) with special provision 42 in the Township of Puslinch Zoning By-law. The special provision permits the use of a golf course, restaurant, club house, and single dwelling unit, in addition to a [uses permitted in the RC zone], as permitted by the RC Zone. The proposed maintenance building is permitted on the subject lands as an accessory structure under Section 4.4 of the Zoning By-law.

The height of accessory buildings is regulated by Section 4.4.2, Table 4.1 of the Zoning By-law which establishes maximum permissible height of 5.0 metres. The proposed variance would allow for the construction of a maintenance building that is 5.6 metres tall and includes a large garage door which is 4.2 metres square. By nature of the maintenance building's use, this garage door is required to accommodate larger equipment's access to the building.

With the exception of Section 4.4.2, Table 4.1, the proposed height of 5.6 metres remains in accordance with the remainder of the Zoning By-law, including Section 4.10. Here, it is stated that no building or structure shall exceed 10 metres in height, unless otherwise restricted by another provision in the Zoning By-law.

Further, the increase in height proportionate to the use of the subject lands aligns with the intent of the Zoning Bylaw which generally allows for increased building heights proportionate to the use of the lands. For example, Agricultural uses are frequently required to operate large implements to facilitate the use of the lands. Agricultural uses are permitted to have a proportionate maximum accessory structure height of 7 metres. Industrial uses, which contain large equipment as well, are permitted to have a maximum height of 25 metres.

The proposal maintains the general intent and purpose of the Zoning By-law, as the use is permitted and the slight increase in height would allow the building to better serve the golf course. The slight increase in height would not compromise the current use of the subject lands nor the surrounding lands, and it exceeds the required setback from the property line, removing itself from any nearby neighbours.

Therefore, the variance maintains the general intent and purpose of the Zoning By-law.

### **3. Is the variance desirable for the appropriate development of the land, building, or structure?**

The area surrounding the subject lands is predominantly Agricultural use, with some Rural Residential uses to the east. Many surrounding structures are single detached dwellings and accessory structures which range in height. As the proposed maintenance building is replacing an existing accessory structure on the subject lands and is not introducing a new land use nor a new structure type into the area, the height of the building is appropriate for the subject lands.

Therefore, the variance is desirable for the appropriate development of the lands.

### **4. Is the variance minor?**

Whether a variance is minor in nature is evaluated in terms of the impact the proposed development is anticipated to have on the surrounding area. As the proposed development aligns with the intent of the Official Plan and Zoning By-laws in terms of use, form, and structure, it is not anticipated that this application, or the proposed development, will have an impact on the agricultural and rural character of the surrounding area. Given the size of the subject lands, the nature of the accessory building, and the proposed side yard setback, it is not likely that the proposed maintenance building would impact the ability of neighbours to use their property in accordance with the requirements of the Zoning By-law.

Therefore, the variance is minor.

### **Closing**

In support of our application, please find enclosed the following:

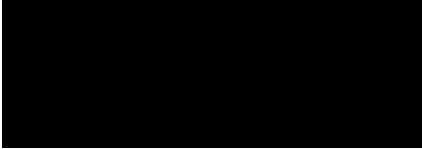
1. A digital copy of the fully executed minor variance application form;
2. A copy of the Building Elevations for the proposed maintenance shed; and
3. A copy of the Site Plan for 6527 Ellis Road.

It is our understanding that, with the new CloudPermit system, the Township of Puslinch no longer requires that cheques are provided with paper application submissions. As such, a cheque has not been included in this submission as it is anticipated that the owner will be billed through the CloudPermit system as stated by the Township. If there are any concerns with this approach, please reach out to the undersigned and we would be happy to facilitate the payment of the fee as soon as possible.

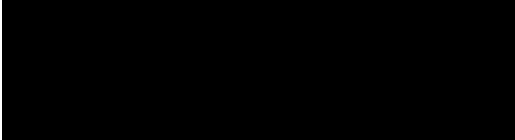
We thank you in advance for your attention to our application and respectfully request confirmation that our application will be taken to the next Committee of Adjustment meeting. Should you have any questions or require further information, please do not hesitate to contact the undersigned.

Yours truly,

**MHBC**



Pierre Chauvin, MA, MCIP, RPP  
Partner



Robyn McIntyre, BES  
Planner

*cc. Puslinch Lake Golf Course, c/o Geoff Haddaway & Sanjay Malaviya*



**Township of Puslinch**  
7404 Wellington Road 34  
Puslinch, ON, N0B 2J0  
T: (519) 763 – 1226  
F: (519) 763 – 5846  
www.puslinch.ca

## Minor Variance or Permission Application

### General Information:

#### 1. Applicant Information:

Registered Owner's Name(s): Puslinch Lake Golf Course (c/o: Geoff Haddaway)

Address:

City:

Postal Code:

E-mail Address:

Telephone Number:

Fax:

Applicant (Agent) Name(s): MHBC Planning Ltd. c/o Pierre Chauvin/Robyn McIntyre

Address:

City:

Postal Code:

E-mail Address:

Telephone Number:

Fax:

Name, address, and phone number of all persons having any mortgages, charges, or encumbrances on the property.

n/a

Send correspondence to: Owner:  Agent  Other: \_\_\_\_\_

**2. Provide a description of the "entire" property:**

Municipal address: 6527 Ellis Road, Breslau, ON

Concession: 2 Lot: Part Lot 2

Registered Plan Number: \_\_\_\_\_

Area: 32.8 ha      Depth: \_\_\_\_\_ m      Frontage: 418.1 m  
81.05 ac      \_\_\_\_\_ ft      1371.72 ft

Width of road allowance (if known): \_\_\_\_\_

**Reason for Application:**

**3. Please indicate the Section of the Planning Act under which this application is being made. Select one:**

- Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.); or
- Section 45(2) relates to a change to or expansion of an existing legal non-conforming use.

**4. What is the nature and extent of the relief that is being applied for? (please specifically indicate on sketch).**

Requesting relief from Section 4.4.2 of the Zoning By-law to allow a building height of 5.6 meters rather than the requirement of 5 meters.

**5. Why is it not possible to comply with the provisions of the by-law?  
(please specifically indicate on sketch).**

Please see attached covering letter and Building Height Plan.

**6. What is the current Official Plan and zoning status?**

Official Plan Designation: Schedule B7 - Land Use: Recreational

Zoning Designation: Resort Commercial - Site Specific Provision 42

**7. What is the access to the subject property?**

Provincial Highway:

Continually maintained municipal road:

Seasonally maintained municipal road:

Other:  (please specify below)

**8. What is the name of the road or street that provides access to the subject property?**

Ellis Road

**9. If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.**

N/A

**Existing and Proposed Service:**

**10. Indicate the applicable water supply and sewage disposal:**

<b>Water Supply/Sewage Disposal:</b>	<b>Existing:</b>	<b>Proposed:</b>
Municipal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Water:	<input type="checkbox"/>	<input type="checkbox"/>
Private Well:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Water Supply:	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Communal Sewers:	<input type="checkbox"/>	<input type="checkbox"/>
Private Septic:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Sewage Disposal:	<input type="checkbox"/>	<input type="checkbox"/>

**11. How is storm drainage provided?**

Storm Sewers:

Ditches:

Swales:

Other means:  (explain below)



**Existing Subject and Abutting Property Land Uses, Buildings and their Locations:**

**12. What is the existing use of:**

The subject property? Resort Commercial- Golf Course w/ accessory buildings

The abutting properties? Agricultural / Rural Residential

**13. Provide the following details for all buildings on or proposed for the subject land: (please use a separate page if necessary)**

Type of Building(s)/ structures				
Main Building height	m	ft.	m	ft.
*Percentage lot coverage	m	ft.	0.28%	m ft.
*Number of parking spaces			<b>90 (side wide)</b>	
*Number of loading spaces			<b>n/a</b>	
Number of floors			<b>1</b>	
Total floor area	m <sup>2</sup>	ft <sup>2</sup>	931 m <sup>2</sup>	ft <sup>2</sup>
Ground floor area (exclude basement)	m <sup>2</sup>	ft <sup>2</sup>	931 m <sup>2</sup>	ft <sup>2</sup>

**14. What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)**

Front Yard	~ 20 m	Existing Uses ft.	29.8 m	Proposed Use ft.
Rear Yard	> 400 m	ft.	> 400 m	ft.
Side Yards	> 50 m	ft.	5 & > 50 m	ft.

15. What are the dates of acquisition and construction of subject property and building property?

Date of acquisition of subject property: July 1, 2022

Date of construction of buildings property: Various.

16. How long have the existing uses continued on the subject property? Since 1960s.

17. Has the owner previously applied for relief in respect of the subject property?

Yes  No

If the answer is yes, please indicate the file number and describe briefly:

**Other Related Planning Applications:**

18. Has an application for any of the following on the subject lands?

Planning Application:	Yes:	No:	File Number:	Approval Authority:	Subject Lands	Purpose:	Status:
Official Plan Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Zoning By-Law Amendment	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Plan of Subdivision	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Consent (Severance)	<input type="checkbox"/>	<input checked="" type="checkbox"/>					
Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Township of Puslinch			Circulating
Minor Variance	<input type="checkbox"/>	<input checked="" type="checkbox"/>					


**Authorization for Agent/Solicitor to act for Owner:**

(If affidavit is signed by an Agent/Solicitor on Owner's behalf, the Owner's written authorization below shall be completed)

I (we) Puslinch Lake Golf Course (c/o Sanjay Malaviya) of the  
Township \_\_\_\_\_ of Centre Wellington County/Region of

Wellington do hereby authorize

MHBC Planning to act as my agent in this application.

  
Signature of Owner(s)

23 - APR - 2024  
Date

**Affidavit:**

I (we) Robyn McIntyre of the  
City \_\_\_\_\_ of Cambridge County/Region of

Waterloo solemnly declare that all the statements

contained in this application are true, and I, (we), make this solemn declaration


conscientiously believing it to be true, and knowing that it is of the same force and effect

as if made under oath and by virtue of the CANADA EVIDENCE ACT. DECLARED

before me at the City of Kitchener in the

County/Region of Waterloo this 30 day of

April, 2024.

  
Signature of Owner or authorized  
solicitor or agent

April 30, 2024.  
Date

  
Signature of Commissioner

April 30 2024  
Date

## Agreement to Post Sign and Permit Site Visits:

A form is included in the Zoning By-law Amendment application to agree to erect a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits.

The applicant is required to erect and maintain a sign on the proposed lands within one week of the application being deemed complete by staff and to remove the sign when the application has been given final approval. The sign shall be a minimum of 1.2 x 1.2 metres on posts 0.5 metres above grade and include the following wording to be approved by Township staff:

A PROPOSAL HAS BEEN MADE  
ON THIS SITE FOR: (50 mm text height)  
A ZONING BY-LAW AMENDMENT TO xxx (100 mm text height)  
FOR FURTHER INFORMATION  
PLEASE CONTACT THE TOWNSHIP OF PUSLINCH 7404 WELLINGTON ROAD 34  
(519) 763 - 1226 (30-50 mm text height)

## For Administrative Purposes Only:

Application fee of \$\_\_\_\_\_received by the municipality

Date Fee Received: \_\_\_\_\_

Date Application Filed: \_\_\_\_\_

File Number: \_\_\_\_\_

Application deemed complete:

\_\_\_\_\_  
Signature of Municipal Employee

\_\_\_\_\_  
Date

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.

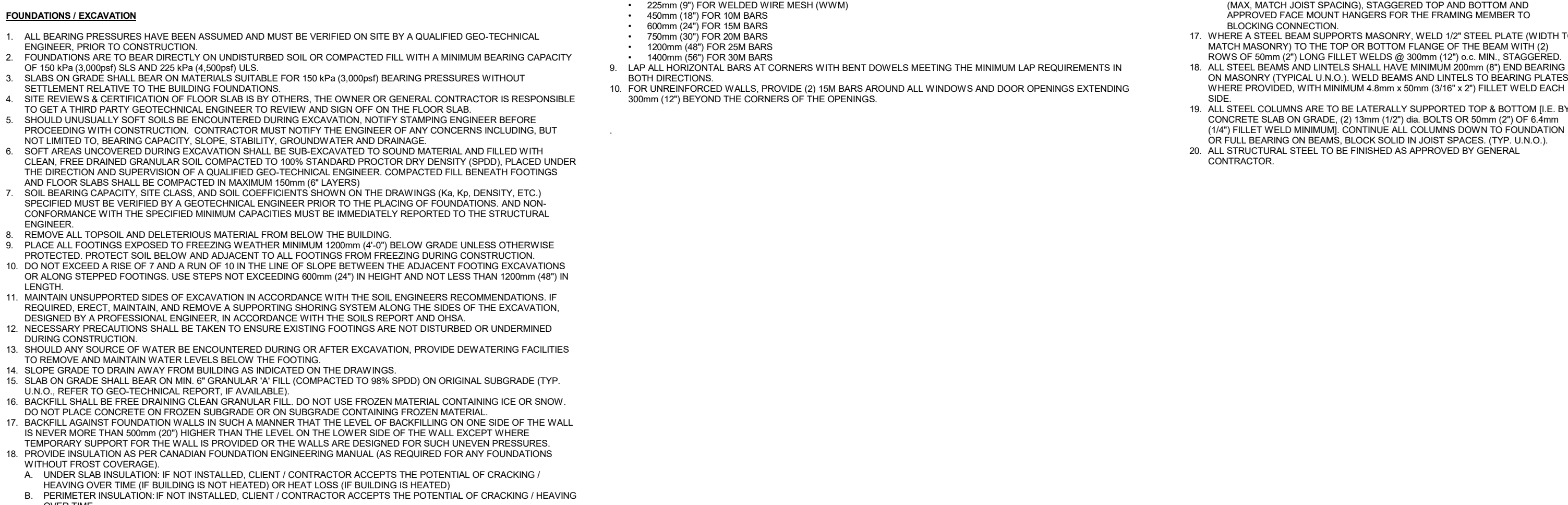
- CONCRETE**
1. ALL REINFORCED CONCRETE ELEMENTS ARE DESIGNED USING THE LIMIT STATES DESIGN METHOD IN ACCORDANCE WITH CAN/CSA-A23.3
  2. CONCRETE WORK SHALL CONFORM TO CAN/CSA-23.1.2.3 FOR MATERIALS AND WORKMANSHIP.
  3. CLASSES OF CONCRETE SHALL BE PLACED IN THE LOCATIONS NOTED.
- | CLASS OF CONCRETE | LOCATION   |
|-------------------|--|
| C-1               | EXTERIOR STRUCTURALLY REINF. SLABS   |
| C-2               | EXTERIOR UNREINF. SLABS ON GRADE, CURBS  |
| F-2               | EXTERIOR WALLS, COLUMNS & PIERS  |
| N-1               | INTERIOR FLOOR SLABS, INTERIORS AND FOUNDATIONS WALLS NOT EXPOSED TO FREEZE/THAW |
| N-2               | FOOTINGS   |
- CLASSES OF CONCRETE SHALL HAVE THE FOLLOWING MIX REQUIREMENTS:
- | CLASS | STRENGTH (MPa) | W/C RATIO | AIR ENTRAINMENT (%) | COLOR/ION                | CHEMICAL |
|-------|----------------|-----------|---------------------|--------------------------|----------|
| C-1   | 35 MPa         | 0.40      | 5% TO 8%            | <1500 COLUMNS AT 56 DAYS |          |
| C-2   | 25 MPa         | 0.45      | 5% TO 8%            |                          |          |
| F-2   | 25 MPa         | 0.55      | 5% TO 8%            |                          |          |
| N-1   | 25 MPa         | 0.45      | 5% TO 8%            |                          |          |
| N-2   | 20 MPa         |           |                     |                          |          |
- \*FOR ALL CONCRETE EXPECTED TO BE EXPOSED TO CHLORIDES (DE-ICING CHEMICALS), IT IS RECOMMENDED TO USE 52 MPa C-1 CONCRETE. COORDINATE DESIGN w/ CONCRETE DESIGNER & SUBMIT DESIGN MIX FOR REVIEW.

- LUMBER / FRAMING**
1. WOOD FRAMING DESIGN AND CONSTRUCTION SHALL CONFORM TO THE LATEST VERSION OF CSA 086.
  2. SAW LUMBER SHALL CONFORM TO CSA STANDARD O141 AND BE SPF GRADE NO. 2 OR BETTER.
  3. PREFABRICATED WOOD TRUSSES SHALL CONFORM TO THE LATEST VERSION OF CSA 086 AND THE WOOD DESIGN MANUAL.
    - TRUSS PLATES SHALL CONFORM TO THE LATEST VERSION OF CSA 347.
    - LUMBER FOR WOOD TRUSSES IS TO BE KILN DRIED AND WELL SEASONED.
    - TRUSSES SHALL BEAR FLAT ON SUPPORT MEMBERS.
    - PROVIDE DROPPED GABLE TRUSSES TO ALLOW LADDER FRAMING FOR SOFFIT.
    - PROVIDE OVER-FRAMING TRUSSES AS REQUIRED FOR CORNERS AND ROOF INFILL AREAS OR PROVIDE ADEQUATE LOADING OF EACH TRUSS THAT WILL BE OVER-FRAMED FOR POINT LOADS OF STICK FRAMED ROOFS.
    - ALL TRUSS BRACING SHALL BE IN ACCORDANCE WITH THE APPROVED ENGINEERING DRAWINGS OF THE TRUSS MANUFACTURER. DIAGONAL BRACING MUST BE PROVIDED ON ALL MEMBERS THAT REQUIRE LATERAL BRACING.
    - UPLIFT CLIPS SHALL BE DESIGNED / PROVIDED BY TRUSS SUPPLIER.
    - TRUSS SHOP DRAWINGS SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER WHERE REQUIRED AND REVIEWED BY THE CONTRACTOR FOR DIMENSIONAL CORRELATION WITH THE DRAWINGS AND FIELD CONDITIONS.
  4. ALL WOOD SHALL BE NO. 2 SPF OR BETTER.
  5. ALL EXPOSED WOOD ABOVE GRADE TO BE MIN CSA UC4-1 RATED. ALL WOOD BURRED IN GROUND TO BE MIN CSA UC4-2 RATED.
  6. ALL FASTENERS INTO T & L LUMBER TO BE STAINLESS OR HOT-DIPPED GALVANIZED.
  7. NAILS SHALL CONFORM TO STEEL WIRE NAILS / SPIKES AS DEFINED IN CSA B111 (TYP. U.N.O.).
  8. STUD WALLS SHALL BE ANCHORED TO FOUNDATION WITH 1/2" ANCHOR BOLTS @ 48" SPACING AND WITHIN 8" OF ENDS OR CORNERS.
  9. STUDS SHALL BE SECURED TO PLATES w/ (3) 3/16" NAILS (2x6) & (4) 3/16" NAILS (2x8) (TYP. U.N.O.).
  10. WIND-BRACING SHALL BE PROVIDED @ 45° ANGLES ON ALL EXTERIOR WALL CORNERS AND ELEVATION DETAILS.
  11. WINDOW SUPPLIERS TO SUPPLY R.S.O. FOR ALL WINDOWS AND DOORS.

- STRUCTURAL STEEL**
1. ALL STEEL SHALL BE DESIGNED, FABRICATED AND ERRECTED IN CONFORMANCE TO CAN/CSA-S16-19 AND THE LATEST VERSION OF THE ONTARIO BUILDING CODE.
  2. ALL STRUCTURAL STEEL TO BE OF NEW MATERIAL AND SHALL NOT BE SPLICED WITHOUT THE APPROVAL OF THE ENGINEER.
  3. DO NOT CUT OR CORE OPENINGS IN ANY STRUCTURAL STEEL WITHOUT PRIOR WRITTEN APPROVAL FROM DESIGN ENGINEER.
  4. FIELD VERIFY ALL DIMENSIONS PRIOR TO MANUFACTURING/FABRICATING.
  5. ALL ROLLED STRUCTURAL STEEL MEMBERS SHALL CONFORM TO CSA G40.20/40G40.21-04-MXSW EXCEPT WIDE FLANGE SECTIONS (W), WHICH SHALL CONFORM TO CSA G80.20/40G80.21-04-MXSW.
  6. ALL HOLES IN STEEL SECTIONS (HSS) SHALL CONFORM TO CSA G40.20/40G40.21-04-MXSW CLASS C.
  7. ALL COLD FORM CHANNELS SHALL HAVE A MINIMUM YIELD STRENGTH OF 375 MPa.
  8. WHERE STRUCTURAL STEEL MEMBERS SPECIFIED ON THE STRUCTURAL DRAWINGS ARE UNAVAILABLE TO THE CONTRACTOR, THE STRUCTURAL STEEL CONTRACTOR SHALL PROVIDE MEMBERS HAVING ALL SECTION PROPERTIES EQUAL OR BETTER THAN THE SPECIFIED MEMBERS. AT NO ADDITIONAL COST. CONTACT ENGINEER FOR ACCEPTANCE OF ANY AND ALL SUBSTITUTIONS.
  9. ALL CONNECTIONS SHALL BE INSPECTED AS PER CAN/CSA-S16-19.
  10. WELDING SHALL CONFORM TO LATEST CSA SPECIFICATION W59 AND BE UNDERTAKEN BY A FABRICATOR APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CSA SPECIFICATION W47.1. ELECTRODES SHALL BE EXXX OR BETTER.
  11. ALL WELDS SHALL BE FILED ALL AROUND, WITH SIZE EQUAL TO THE LESSER OF 6mm (1/4") OR THE MINIMUM THICKNESS OF ADJOINING FACES. (TYP. U.N.O.).
  12. ALL EXPOSED WELDS SHALL BE CONTINUOUS AND BE GROUND SMOOTH. (TYP. U.N.O.).
  13. CONNECTION BOLTS SHALL BE ASTM A325 HIGH STRENGTH BOLTS, (TYP. U.N.O.).
  14. ALL HOLE SIZES ARE 21mm (13/16") DIAMETER U.N.O.
  15. ALL BOLTED CONNECTIONS SHALL BE BEARING TYPE. (TYP. U.N.O.).
  16. PROVIDE SUFFICIENT LATERAL SUPPORT FOR STEEL BEAMS TO PREVENT LATERAL TORSIONAL BUCKLING. SUFFICIENT LATERAL SUPPORT EXAMPLES:
    - A. DROPPED STEEL BEAM - 2x6 TOP PLATE w/ 13mm (1/2") dia. THRU BOLTS @ 2x RIMS & WASHERS OR 12x12 U.P. FASTENERS @ 600mm (24") o.c. STAGGERED INTO THE TOP FLANGE & (2) 3/16" TOE-NAILS FROM EACH FRAMING MEMBER INTO THE TOP PLATE.
    - B. FLUSH STEEL BEAM - SOLID BLOCKING (2x LUMBER AND PLYWOOD) BOLTED TO THE BEAM WEB WITH 13mm (1/2") dia. THRU BOLTS @ 600mm (24") o.c. MAX. MATCH JOIST SPACING). STAGGERED TOP AND BOTTOM AND APPROVED FACE MOUNT HANGERS FOR THE FRAMING MEMBER TO BLOCKING CONNECTION.
  17. WHERE A STEEL BEAM SUPPORTS MASONRY, WELD 1/2" STEEL PLATE (WIDTH TO MATCH MASONRY) TO THE TOP OR BOTTOM FLANGE OF THE BEAM WITH (2) ROWS OF 50mm (2") LONG FILLET WELDS @ 300mm (12") o.c. MIN. STAGGERED.
  18. ALL STEEL BEAMS AND LINTELS SHALL HAVE MINIMUM 200mm (8") END BEARING ON MASONRY (TYPICAL U.N.O.). WELD BEAMS AND LINTELS TO BEARING PLACES, WHERE PROVIDED, WITH MINIMUM 4.8mm x 50mm (3/16" x 2") FILLET WELD EACH SIDE.
  19. ALL STEEL COLUMNS ARE TO BE LATERALLY SUPPORTED TOP & BOTTOM (I.E. BY CONCRETE SLAB ON GRADE). (2) dia. BOLTS OR 50mm (2") OF 6.4mm (1/4") FILLET WELD MINIMUM. CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FILL BEARING ON BEAMS. BLOCK SOLID JOINT SPACES (TYP. U.N.O.).
  20. ALL STRUCTURAL STEEL TO BE FINISHED AS APPROVED BY GENERAL CONTRACTOR.

- DESIGN LOADS**
1. DESIGN LOADS UNFACTORED UNLESS NOTED OTHERWISE.
- ROOF DESIGN LOADS**
- DEAD LOAD = 0.34 kPa (CEILING)  
4/12 PITCH (SLIPPERY ROOF / SOLAR)  
SNOW LOAD = 1.88 kPa BALANCED
- 6/12 PITCH (SLIPPERY ROOF / SOLAR)  
SNOW LOAD = 1.68 kPa BALANCED
- 9/12 PITCH (SLIPPERY ROOF / SOLAR)  
SNOW LOAD = 1.48 kPa BALANCED
- MEZZANINE LOADS**
- DEAD LOAD = 0.57 kPa  
LIVE LOAD = 4.8 kPa
- GUARD LOADS** AS PER CBC 2012 4.1.5.14.  
HANDRAIL LOADS: AS PER CBC 2012 4.1.5.14.(7)
- SLAB ON GRADE**
- LIVE LOAD = 6.0 kPa OR  
6.700 kg WHEEL LOAD (OWNER TO CONFIRM)
- CLIMATE DATA (CAMBRIDGE)**
- Sf = 1.0 kPa  
Sr = 0.40 kPa  
Sf(100) = 0.38 kPa
- SEISMIC DATA - SITE CLASS D (ASSUMED)**
- | Sd0(2)   | 0.044 |
|----------|-------|
| Sd0(5)   | 0.044 |
| Sd0(10)  | 0.047 |
| Sd0(20)  | 0.024 |
| Sd0(50)  | 0.024 |
| Sd0(100) | 0.024 |
- PGA = 0.088 CONVENTIONAL CONSTRUCTION  
PGV = 0.086 Rsd = 2, Rsd + 1.5

- FOUNDATIONS / EXCAVATION**
1. ALL BEARING PRESSURES HAVE BEEN ASSUMED AND MUST BE VERIFIED ON SITE BY A QUALIFIED GEO-TECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
  2. FOUNDATIONS ARE TO BEAR DIRECTLY ON UNDISTURBED SOIL OR COMPACTED FILL WITH A MINIMUM BEARING CAPACITY OF 150 kPa (3,000psi) SLS AND 225 kPa (4,500psi) ULS.
  3. SLABS ON GRADE SHALL BEAR ON MATERIALS SUITABLE FOR 150 kPa (3,000psi) BEARING PRESSURES WITHOUT SETTLEMENT RELATIVE TO THE BUILDING FOUNDATIONS.
  4. SITE REVIEWS & CERTIFICATION OF FLOOR SLABS BY OTHERS, THE OWNER OR GENERAL CONTRACTOR IS RESPONSIBLE TO GET A THIRD PARTY GEOTECHNICAL ENGINEER TO REVIEW AND SIGN OFF ON THE FLOOR SLAB.
  5. SHOULD UNUSUALLY BEARING CAPACITY, SLOPE STABILITY, GROUNDWATER AND DRAINAGE PROCEEDING WITH CONSTRUCTION, CONTRACTOR MUST NOTIFY THE ENGINEER OF ANY CONCERNS INCLUDING, BUT NOT LIMITED TO BEARING CAPACITY, SLOPE STABILITY, GROUNDWATER AND DRAINAGE.
  6. SOFT AREAS UNCOVERED DURING EXCAVATION SHALL BE SUB EXCAVATED TO SOUND MATERIAL AND FILLED WITH CLEAN, FREE DRAINING GRANULAR SOIL COMPACTED TO 100% STANDARD PROCTOR DRY DENSITY (SPDD). PLACED UNDER THE DIRECTION AND SUPERVISION OF A QUALIFIED GEO-TECHNICAL ENGINEER. COMPACTED FILL BENEATH FOOTINGS AND FLOOR SLABS SHALL BE COMPACTED IN MAXIMUM 150mm (6") LAYERS.
  7. SOIL BEARING CAPACITY, SITE CLASS, AND SOIL COEFFICIENTS SHOWN ON THE DRAWINGS (ka, kg, DENSITY, ETC.) SPECIFIED MUST BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO THE PLACING OF FOUNDATIONS, AND NON-COMFORMANCE WITH THE SPECIFIED MINIMUM CAPACITIES MUST BE IMMEDIATELY REPORTED TO THE STRUCTURAL ENGINEER.
  8. REMOVE ALL TOPSOIL AND DELETERIOUS MATERIAL FROM BELOW THE BUILDING.
  9. PLACE ALL FOOTINGS EXPOSED TO FREEZING WEATHER MINIMUM 1200mm (4'-0") BELOW GRADE UNLESS OTHERWISE PROTECTED. PROTECT SOIL BELOW AND ADJACENT TO ALL FOOTINGS FROM FREEZING DURING CONSTRUCTION.
  10. DO NOT EXCEED A RISE OF 7 AND A RUN OF 10 IN THE LINE OF SLOPE BETWEEN THE ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS. USE STEPS NOT EXCEEDING 600mm (24") IN HEIGHT AND NOT LESS THAN 1200mm (48") IN LENGTH.
  11. MAINTAIN UNSUPPORTED SIDES OF EXCAVATION IN ACCORDANCE WITH THE SOIL ENGINEERS RECOMMENDATIONS IF REQUIRED. ERECT, MAINTAIN AND REMOVE A SUPPORTING SHORING SYSTEM ALONG THE SIDES OF THE EXCAVATION. DESIGNED BY A PROFESSIONAL ENGINEER, IN ACCORDANCE WITH THE SOILS REPORT AND OHS&A.
  12. NECESSARY PRECAUTIONS SHALL BE TAKEN TO ENSURE EXISTING FOOTINGS ARE NOT DISTURBED OR UNDERMINED DURING CONSTRUCTION.
  13. SHOULD ANY SOURCE OF WATER BE ENCOUNTERED DURING OR AFTER EXCAVATION, PROVIDE DEWATERING FACILITIES TO REMOVE, AND MAINTAIN WATER LEVELS BELOW THE FOOTING.
  14. SLOPE GRADE TO DRAIN AWAY FROM BUILDING AS INDICATED ON THE DRAWINGS.
  15. SLABS ON GRADE SHALL BEAR ON MIN. 6" GRANULAR FILL (COMPACTED TO 98% SPDD) ON ORIGINAL SUBGRADE (TYP. U.N.O.). REFER TO GEO-TECHNICAL REPORT IF AVAILABLE.
  16. BACKFILL SHALL BE FREE DRAINING CLEAN GRANULAR FILL. DO NOT USE FROZEN MATERIAL CONTAINING ICE OR SNOW. DO NOT PLACE CONCRETE ON FROZEN SUBGRADE OR ON SUBGRADE CONTAINING FROZEN MATERIAL.
  17. BACKFILL AGAINST FOUNDATION WALLS IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 500mm (20") HIGHER THAN THE LEVEL ON THE LOWER SIDE OF THE WALL EXCEPT WHERE TEMPORARY SUPPORT FOR THE WALL IS PROVIDED OR THE WALLS ARE DESIGNED FOR SUCH UNEVEN PRESSURES.
  18. PROVIDE INSULATION AS PER CANADIAN FOUNDATION ENGINEERING MANUAL, (AS REQUIRED FOR ANY FOUNDATIONS WITHOUT FROST COVERAGE).
    - A. UNDER SLAB INSULATION IF NOT INSTALLED, CLIENT / CONTRACTOR ACCEPTS THE POTENTIAL OF CRACKING / HEAVING OVER TIME (IF BUILDING IS NOT HEATED) OR HEAT LOSS OF BUILDING IS HEATED)
    - B. PERIMETER INSULATION IF NOT INSTALLED, CLIENT / CONTRACTOR ACCEPTS THE POTENTIAL OF CRACKING / HEAVING OVER TIME.



### ONTARIO BUILDING CODE DATA - PART 3

ITEM	ONTARIO BUILDING CODE MATRIX	NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	OBC REFERENCE							
1	PROJECT DESCRIPTION: <input type="checkbox"/> CHANGE OF USE	<input checked="" type="checkbox"/> NEW <input type="checkbox"/> ALTERATION	<input checked="" type="checkbox"/> PART 3, Div. 'B'							
2	MAJOR OCCUPANCY(S): GROUP 'F', DIVISION '2'		3.2.1.2,							
3	BUILDING AREA: DESIGNED BUILDINGS 929 sqm TOTAL 929 sqm		1.4.1.2,							
4	GROSS AREA: DESIGNED BUILDINGS 929 sqm TOTAL 929 sqm		1.4.1.2,							
5	NUMBER OF STOREYS: ABOVE GRADE =1 BELOW GRADE = 0		3.2.1.1 & 1.1.3.2,							
6	HEIGHT OF BUILDING: ± 4.9m (16'-0")									
7	NUMBER OF STREETS/ACCESS ROUTES: 1		3.2.2.10 & 3.2.5.5,							
8	BUILDING CLASSIFICATION: SPRINKLER SYSTEM PROPOSED: <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED		3.2.2.7,							
10	STAND PIPE REQUIRED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.9.1,							
11	FIRE ALARM SYSTEM: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.4,							
12	WATER SERVICE SUPPLY ADEQUATE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		TO BE DETERMINED							
13	HIGH BUILDING: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.6,							
14	TYPE OF CONSTRUCTION: COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMB.		3.2.2.7,							
15	OCCUPANT LOAD: PERSONS TOTAL: 10 PERSONS BASED ON <input type="checkbox"/> sqm/person <input checked="" type="checkbox"/> DESIGN OF BUILDING		3.1.17,							
16	WASHROOMS-NUMBER OF FIXTURES (ENTIRE BUILDING): UNIVERSAL: 1 WC + 1 LAV + 1 SHOWER		3.7,							
17	BARRIER FREE DESIGN: SPACE FOR ADULT CHANGE TABLE REQ'D: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)		3.8, 3.8.3.12 (f)							
18	CONCEALED SPACE (FLOOR/CEILING) USED AS A PLENUM: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		FIRE STOPS PER 3.1.11.5 & 3.1.11.7,							
19	HAZARDOUS SUBSTANCES: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.3.1.2 (1) & 3.3.1.19 (1)							
20	REQUIRED FIRE RATING: HORIZ. ASSEMBLIES (F.R.R. (HOURS) OR DESCRIPTION (SB-2)) RESISTANCE: FLOORS: 3/4 HR. N/A ROOF: NOT REQ'D. N/A MEZZANINE: N/A F.R.R. OF SUPPORTING MEMBERS (F.R.R. OF SUPPORTING MEMBERS LISTED DESIGN OR DESCRIPTION (SB-2)) FLOORS: 3/4 HR. N/A MEZZANINE: N/A		3.2.2.7.1,							
21	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS (T.2.3.1.C.): WALL AREA (m²), EBF, LIMITING DIST. (m), LH OR HL, PERMITTED MAX.% OF OPENINGS, PROPOSED % OF OPENINGS, F.R.R. (HOURS), LISTED DESIGN OR DESC, N.C. CLAD?, N.C. CONST?									
21	NORTH	74.3	34.5	3.1	100%	100%	0	N/A	NO	NO
	SOUTH	74.3	588.1	3.1	100%	100%	0	N/A	NO	NO
	EAST	242.0	6	12.5	12%	1.4%	2	UN08	YES	NO
	WEST	242.0	58.75	12.5	100%	100%	0	N/A	NO	NO
22	EGRESS AND EXIT REQUIREMENTS: -30m MAX DISTANCE TO EXIT AS PER 3.4.2.5.1(f)									
23	FIRE ACCESS WATER REQUIREMENTS: TO BE DETERMINED BY LOCAL FIRE DEPARTMENTS WHETHER CURRENT FIRE WATER TROCK SHUTTLE MEETS REQUIRED VOLUMES AS LISTED.	TANK VOLUME CALCULATIONS: Q = 4" x 7" 50m = 31 * 4552 (m³) * 1.5 = 211 673L (55,918usg)	K - FROM TABLE 1, F2 BLDG. V - 800mm² x 4 m (BLDG HT) Sst. = 150m² x 4 m FROM PROPERTY LINE + 0.5							

**WADDALL ENGINEERING LTD.**

PROJECT: PROPOSED STORAGE

CLIENT: PUSLINCH LAKE GOLF COURSE

DRAWING TITLE: [REDACTED]

DRAWN BY: CB DATE: [REDACTED]

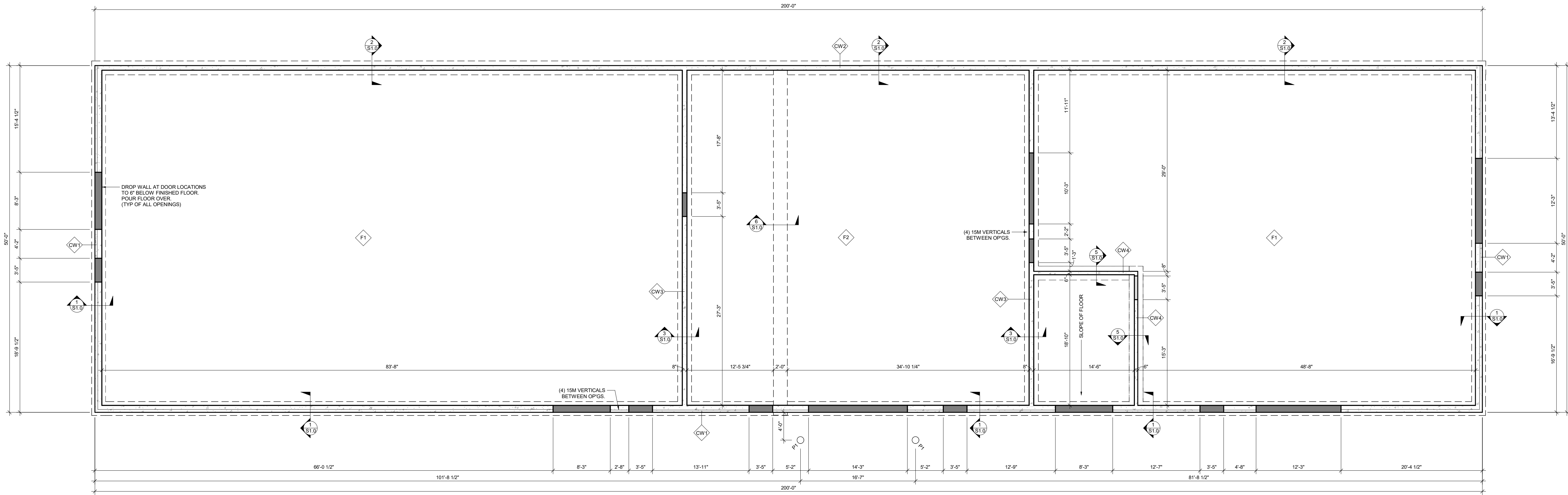
DESIGN BY: AGRES SHEET NO: [REDACTED]

SCALE: AS NOTED

PROJECT NO: [REDACTED]

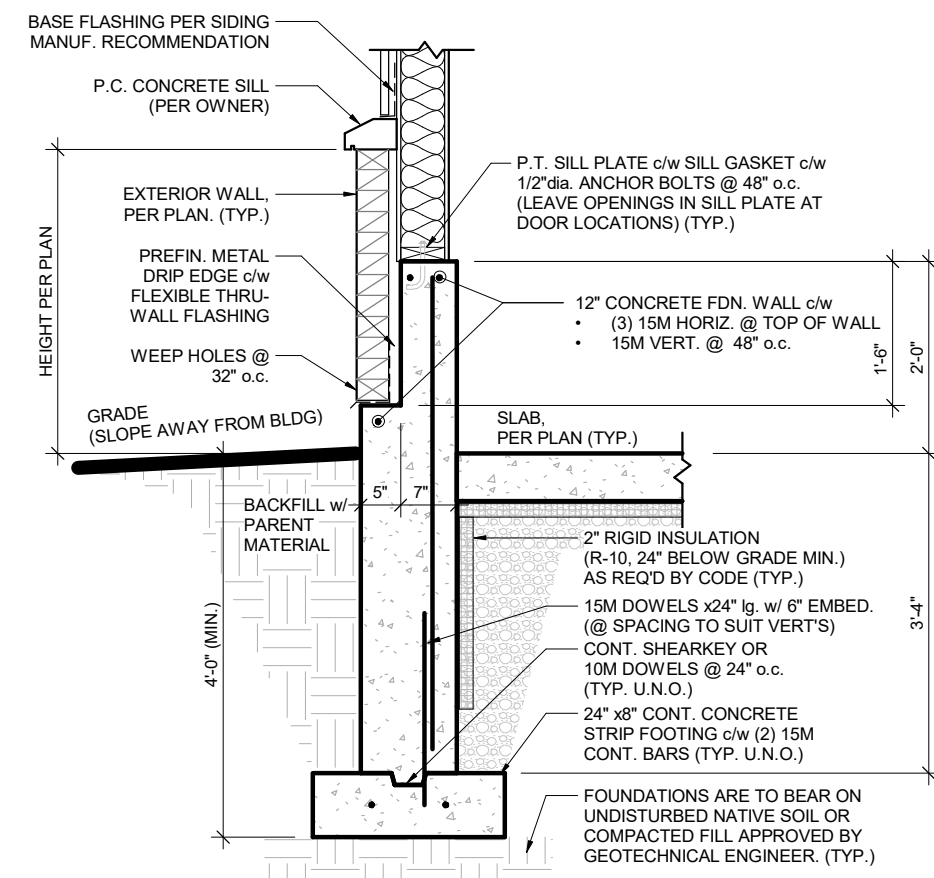
23-06-2017

ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW
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CB	CB	CB	CB
DATE	DATE	DATE	DATE
REV	BY	DATE	DESCRIPTION

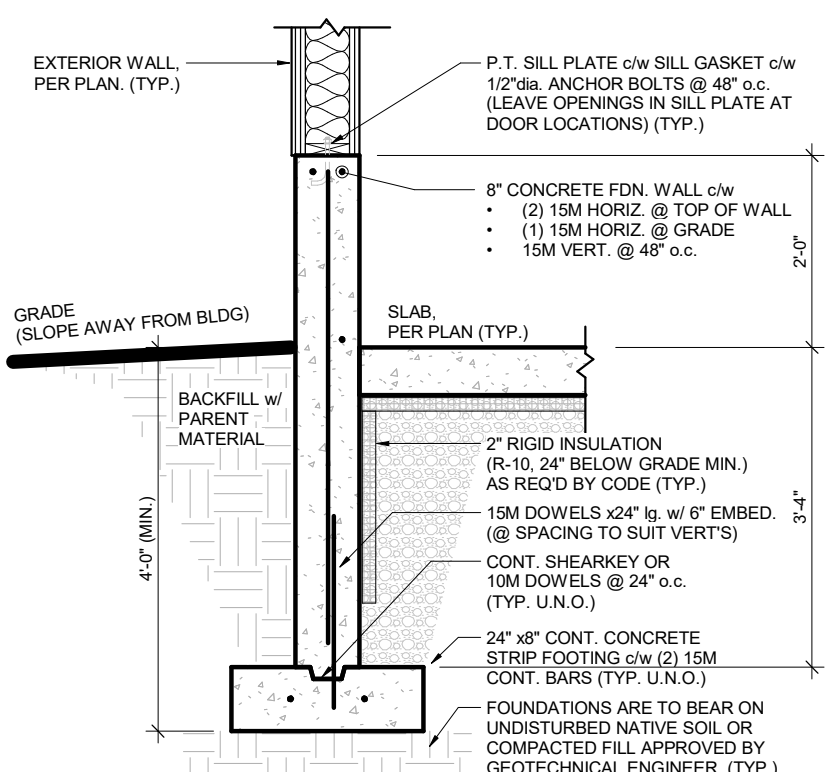


**FOUNDATION PLAN**

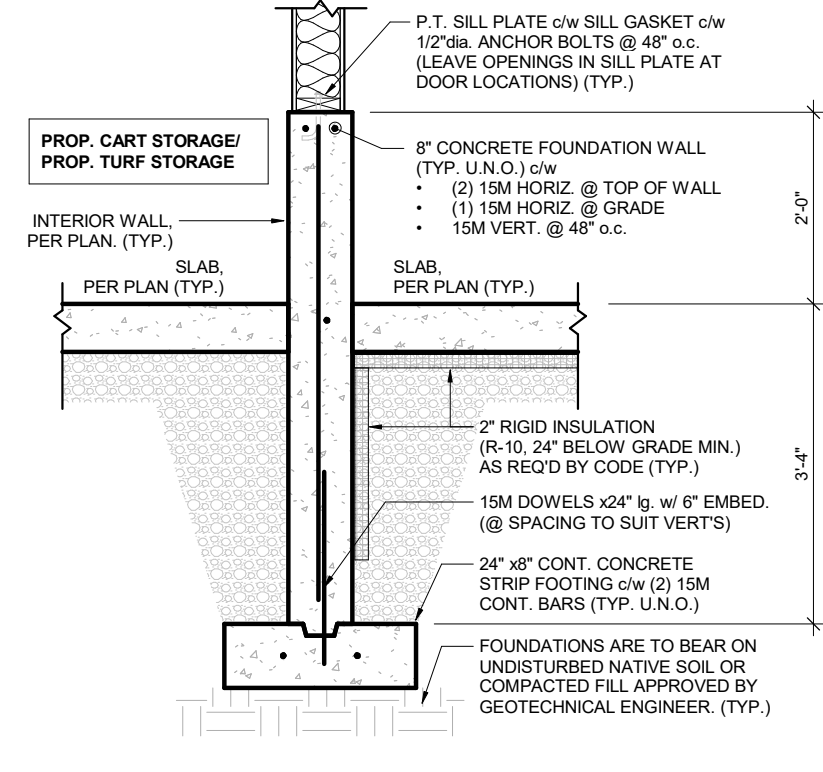
1/8" = 1'-0"



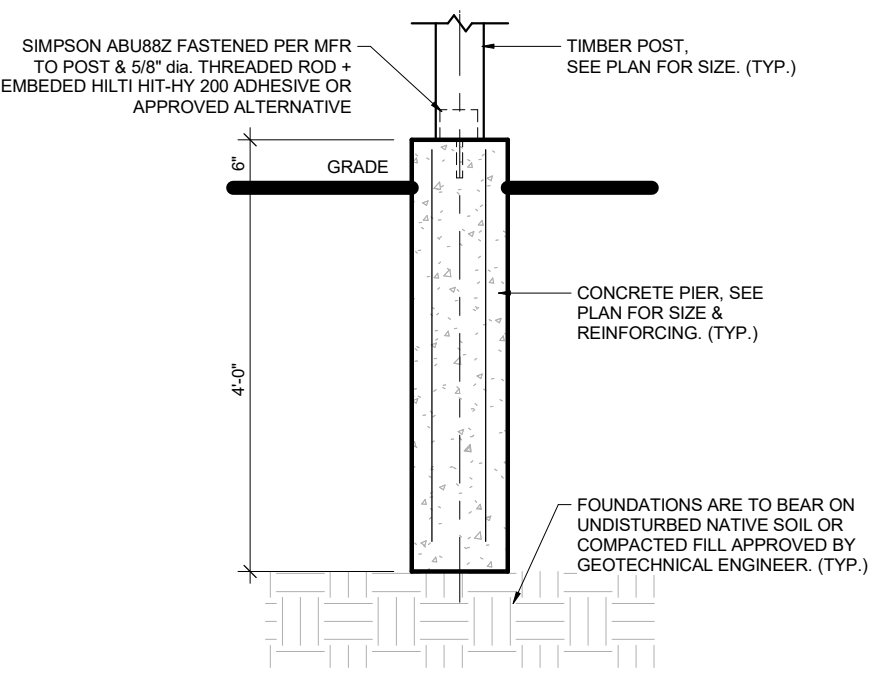
**1 SECTION**  
S1.0 FOUNDATION (BRICK w/ SIDING ABOVE) (CW1) 1/2" = 1'-0"



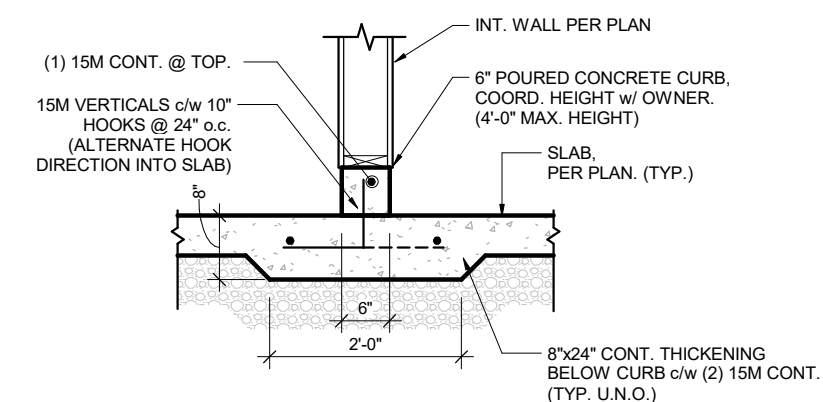
**2 SECTION**  
S1.0 TYPICAL FOUNDATION WALL (CW2) 1/2" = 1'-0"



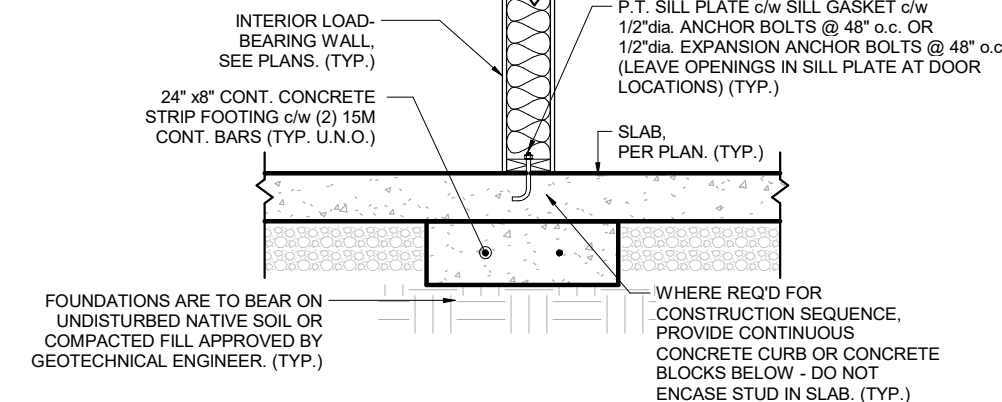
**3 SECTION**  
S1.0 INT. FOUNDATION WALL (CW3) 1/2" = 1'-0"



**4 SECTION**  
S1.0 SONOTUBE DETAIL 1/2" = 1'-0"



**5 SECTION**  
S1.0 CWS (TYPICAL CURB) 1/2" = 1'-0"



**6 SECTION**  
S1.0 TYPICAL STRIP FOOTING 1/2" = 1'-0"

PIER SCHEDULE		
MARK	SIZE	REINFORCING
P1	12" dia.	(2) 15M VERTICAL

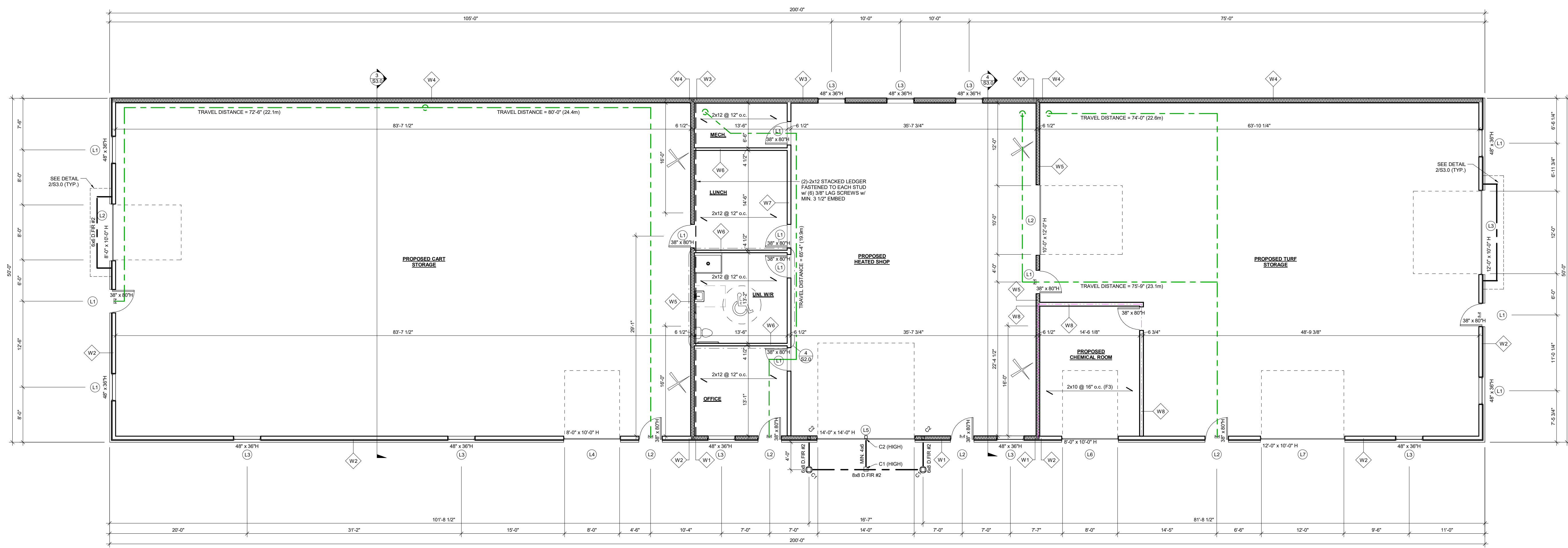
- FOUNDATION PLAN NOTES**
- EXTERIOR DIMENSIONS TAKEN TO OUTSIDE FACE OF FOUNDATION / INSIDE FACE OF EXTR. CLADDING (U.N.O.)
  - 2x6 STUD WALLS - OUTSIDE OF STRAPPING IN LINE WITH OUTSIDE FACE OF FOUNDATION WALL BELOW.
  - 2x6 STUD WALLS - OUTSIDE OF STUDS IN LINE WITH OUTSIDE FACE OF FOUNDATION WALL BELOW.
  - CONTRACTOR SHALL REVIEW & CONFIRM ABOVE AND ENSURE DIMENSIONS COORDINATED w/ TRUSS SUPPLIER.
  - SOLID HATCH DENOTES DOOR LOCATIONS. COORDINATE w/ FLOOR PLANS. DROP TOP OF FOUNDATION WALL 6" BELOW FINISHED FLOOR AND OVERPOUR SLAB. CONTINUE WALL REINFORCING BELOW DROP. (TYP. U.N.O.)
  - S.F. DENOTES LOCATION OF STEP FOOTING. TOP OF FOOTING ELEVATIONS GIVEN ARE MINIMUM DEPTHS. CONTRACTOR TO ENSURE THAT FOOTINGS BEAR ON SOIL APPROVED BY QUALIFIED SOILS INSPECTOR.
  - ALL STRIP FOOTINGS TO BE 24" x 8" c/w (2) 15M CONTINUOUS (U.N.O.)
  - ALL FOOTINGS TO BE CENTERED ON COLUMNS / WALLS ABOVE (U.N.O.)

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 www.waddelleng.com info@waddelleng.com

PROJECT: PROPOSED STORAGE  
 CLIENT: PUSLINCH LAKE GOLF COURSE  
 DRAWING TITLE: FOUNDATION PLAN  
 DRAWN BY: CB DATE: 2023-11-21  
 DESIGN BY: AGRES SHEET NO:  
 SCALE: AS NOTED  
 PROJECT NO: 23-06-207  
**S1.0**

NO.	DATE	ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW
1	2023-11-21	ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW
2	2023-11-21	ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW
3	2023-11-10	ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW
4	2023-10-06	ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW
5	2023-09-08	ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW



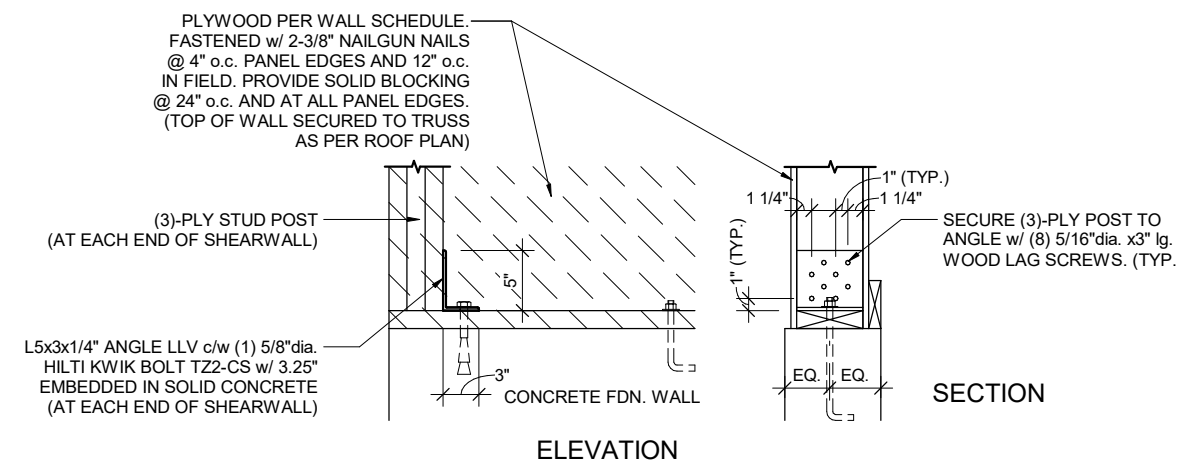
GROUND FLOOR PLAN  
1/8" = 1'-0"

MARK	SIZE	BEARING
L1	(2)-2#6	(1) JACK + (1) KING
L2	(2)-2#10	(1) JACK + (1) KING
L3	(3)-2#10	(2) JACK + (1) KING
L4	(2)-1.75" x 9.25" 2 DE LVL 3100lb	(2) JACK + (2) KING
L5	(3)-1.75" x 11.25" 2 DE LVL 3100lb	(3) JACK + (2) KING
L6	(2)-1.75" x 11.25" 2 DE LVL 3100lb	(2) JACK + (2) KING
L7	(3)-1.75" x 11.25" 2 DE LVL 3100lb	(2) JACK + (2) KING

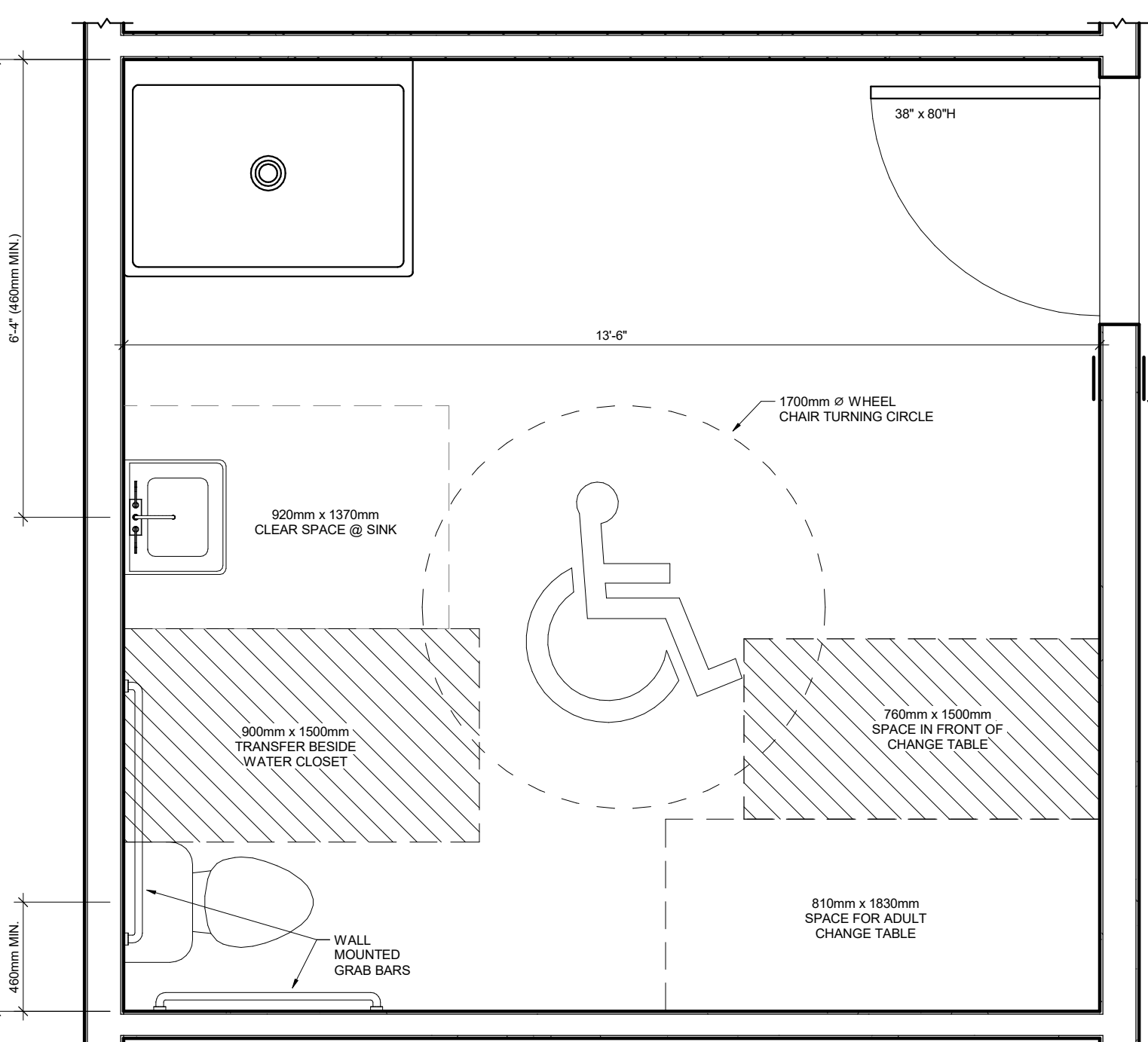
MARK	SIZE	BASE/PLATE / ANCHORS
C1	8x8 D FRL No.2 OR BETTER	SIMPSON AUBURN CAST IRON POSTER TO POST & 6" x 6" HT. THREADED ROD + HLT HT-HY 200 ADHESIVE OR APPROVED ALTERNATIVE
C2	(3)-2#6 BUILT-UP COLUMN	APPROVED SIMPSON POST BASE

**P.T. RATING:**  
 CSA UC1 - INDOOR WOOD NOT IN CONTACT W/ GROUND OR FOUNDATIONS  
 CSA UC2 - INDOOR WOOD NOT IN CONTACT W/ GROUND OR FOUNDATIONS BUT EXPOSED TO DAMPENESS  
 CSA UC3.1 - OUTDOOR WOOD NOT IN CONTACT TO THE GROUND BUT PROTECTED AGAINST EFFECTS OF WEATHER  
 CSA UC3.2 - OUTDOOR WOOD NOT IN CONTACT W/ GROUND OR FRESHWATER BUT EXPOSED TO THE EFFECTS OF WEATHER  
 CSA UC4.1 - WOOD IN CONTACT WITH THE GROUND OR FRESHWATER, SUBJECT TO SIGNIFICANT SALT WATER SPRAYS OR USED IN ABOVE-GROUND CRITICAL SITUATIONS FAVOURABLE TO DETERIORATION

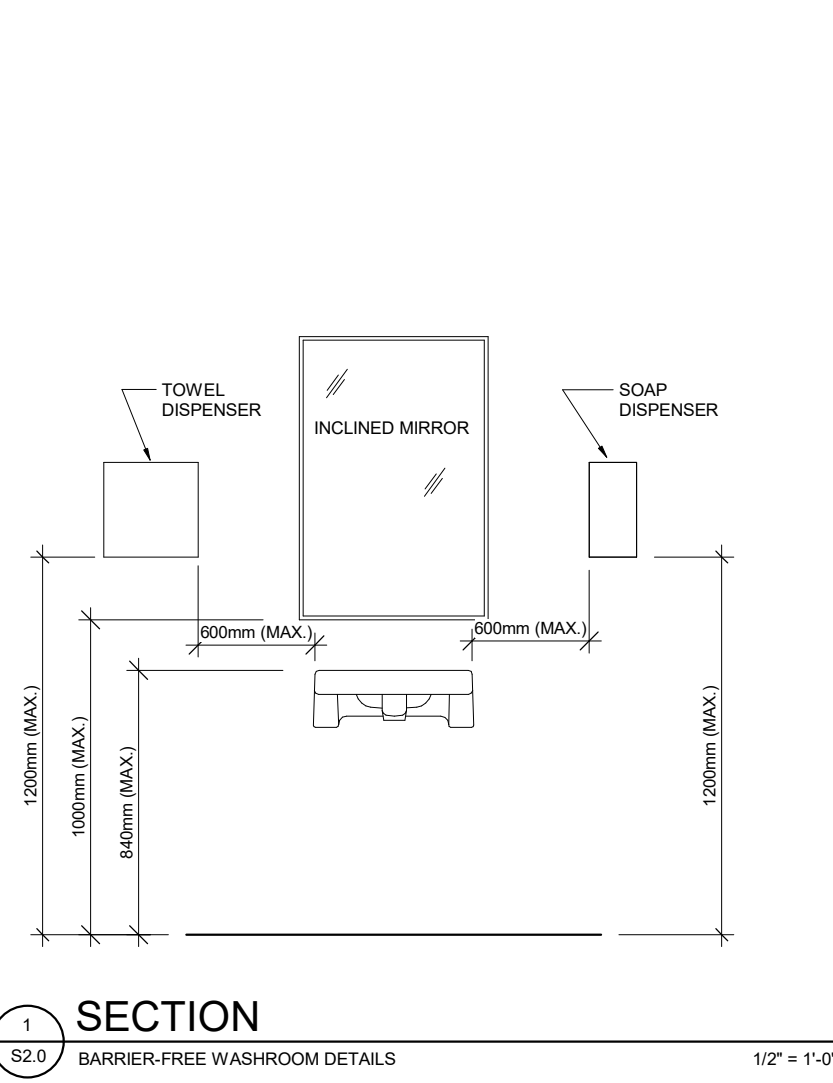
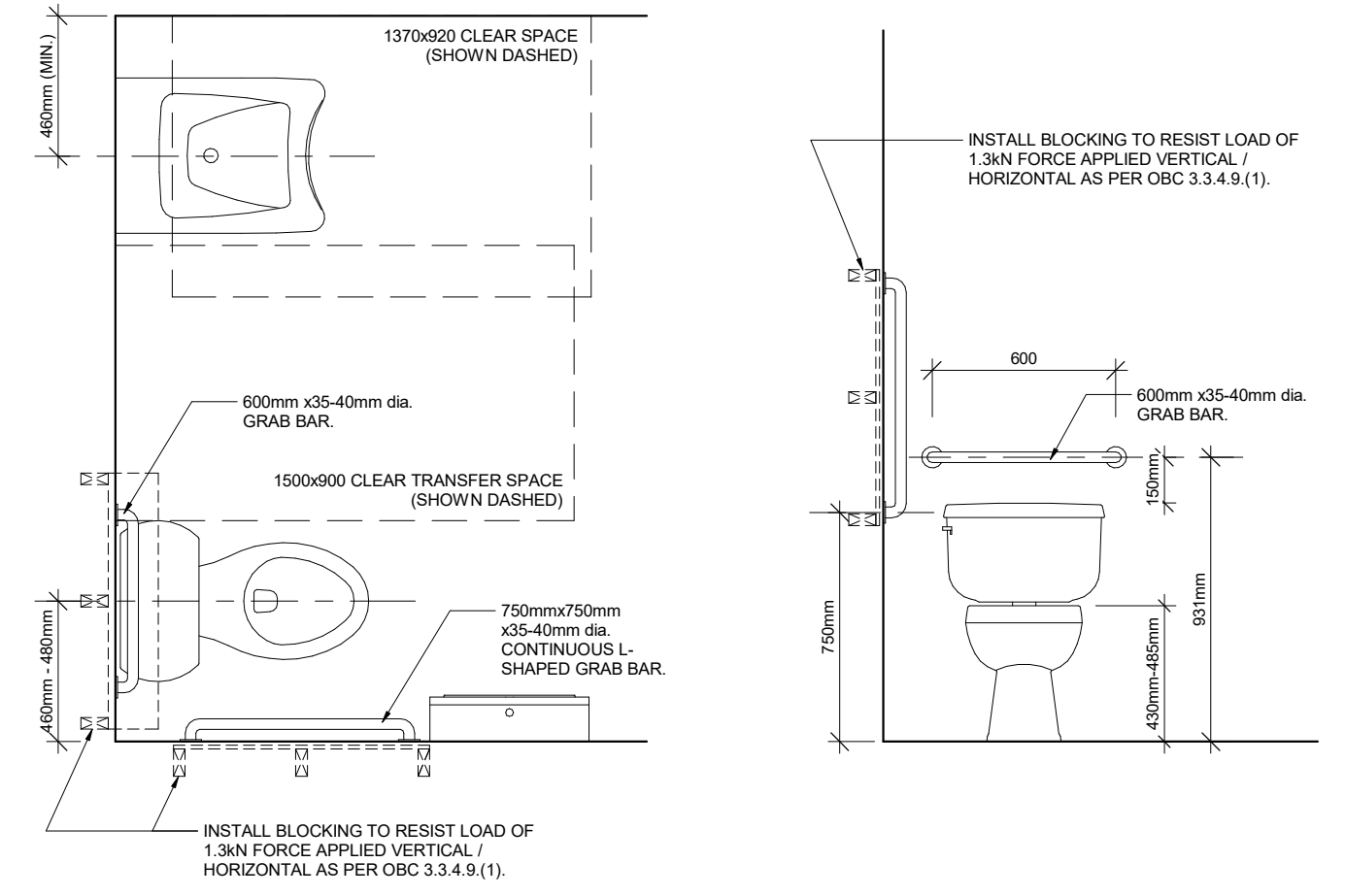
<p><b>STACKED WALL (HEATED)</b>                      UPPER PORTION OF WALL:                      25 Ga. PREFIN METAL CLADDING                      1/4" STRAPPING @ 24" o.c.                      TYPAR AIR BARRIER, JOINTS TAPED                      1/2" EXTERIOR SHEATHING                      2x6 WOOD STUDS @ 16" o.c.                      w/ ROCKWOOL BATT INSULATION (R22 MIN.)                      6mil POLY VAPOUR BARRIER                      1/2" PLYWOOD (PER OWNER)                      LOWER PORTION OF WALL (3'-8" HIGH):                      3" BRICK VENEER OR STONE CLADDING (PER OWNER)                      1" AIRSPACE                      TYPAR AIR BARRIER, JOINTS TAPED                      1/2" EXTERIOR SHEATHING                      2x6 WOOD STUDS @ 16" o.c.                      w/ ROCKWOOL BATT INSULATION (R22 MIN.)                      6mil POLY VAPOUR BARRIER                      1/2" PLYWOOD (PER OWNER)</p>	<p><b>2 HR FRR EXTERIOR WALL U308 (UNHEATED)</b>                      25 Ga. PREFIN METAL CLADDING                      TYPAR AIR BARRIER, JOINTS TAPED                      (2)-3/8" EXTERIOR GFRG TYPE 'X'                      (JOINTS STAGGERED AND EXT. LAYER TAPED AND MUDDED.)                      2x6 WOOD STUDS @ 16" o.c.                      w/ ROCKWOOL BATT INSULATION (R22 MIN.)                      6mil POLY VAPOUR BARRIER                      (2)-5/8" TYPE X GYPSUM BOARD                      6" COMPACTED GRANULAR 'A' FILL</p>	<p><b>SLAB ON GRADE CONSTRUCTION (UNHEATED):</b>                      FLOOR FINISH (PER OWNER)                      6" CONCRETE FLOOR SLAB                      6" COMPACTED GRANULAR 'A' FILL</p> <p><b>SLAB ON GRADE CONSTRUCTION (HEATED):</b>                      FLOOR FINISH (BY OWNER)                      6" CONCRETE FLOOR SLAB                      6" POLY VAPOUR BARRIER                      2" EXTRUDED POLYSTYRENE INSULATION (R10 MIN.)                      6" COMPACTED GRANULAR 'A' FILL</p>
<p><b>STACKED WALL (UN-HEATED)</b>                      UPPER PORTION OF WALL:                      25 Ga. PREFIN METAL CLADDING                      1/4" STRAPPING @ 24" o.c.                      TYPAR AIR BARRIER, JOINTS TAPED                      1/2" EXTERIOR SHEATHING                      2x6 WOOD STUDS @ 24" o.c.                      (STUDS TO BE ALIGNED UNDER TRUSSES UNDER SNOW SHADOW (MAX @ 24" o.c. SPACING))                      LOWER PORTION OF WALL (3'-8" HIGH):                      3" BRICK VENEER OR STONE CLADDING (PER OWNER)                      1" AIRSPACE                      TYPAR AIR BARRIER, JOINTS TAPED                      1/2" EXTERIOR SHEATHING                      2x6 WOOD STUDS @ 24" o.c.                      (STUDS TO BE ALIGNED UNDER TRUSSES UNDER SNOW SHADOW (MAX @ 24" o.c. SPACING))</p>	<p><b>INTERIOR SEPARATION WALL:</b>                      INTERIOR LINER PANEL (PER OWNER)                      TYPAR AIR BARRIER, JOINTS TAPED                      w/ ROCKWOOL BATT INSULATION (R22 MIN.)                      6mil POLY VAPOUR BARRIER                      1/2" PLYWOOD SHEATHING</p> <p><b>INTERIOR 2x4 PARTITION:</b>                      1/2" GYPSUM BOARD                      2x4 STUDS @ 16" o.c.</p> <p><b>INTERIOR 2x4 PARTITION:</b>                      1/2" GYPSUM BOARD                      2x4 STUDS @ 24" o.c.                      w/ OPTIONAL ROCKWOOL BATT INSULATION (R22 MIN.)                      6mil POLY VAPOUR BARRIER (IF INSUL.)                      5/8" TYPE X GYPSUM BOARD</p> <p><b>ROOF CONSTRUCTION (UNHEATED):</b>                      25 GA. STEEL ROOFING                      ZIP SYSTEM SHEATHING (PER MANF.)                      ROOF FRAMING AS PER PLANS</p> <p><b>ROOF CONSTRUCTION (HEATED):</b>                      25 GA. STEEL ROOFING                      ZIP SYSTEM SHEATHING (PER MANF.)                      ROOF FRAMING AS PER PLANS w/ BLOW-IN PLACE INSULATION (R60, COORD. w/ OWNER)                      6 mil POLY VAPOUR BARRIER (IF INSUL.)                      INTERIOR LINER PANEL (PER OWNER)</p>	<p><b>SHEARWALL (AS INDICATED):</b>                      1/2" PLYWOOD ON ONE SIDE FASTENED W/ 2x3/8" NAILGUN NAILS @ 4" o.c. PANEL EDGES &amp; 12" o.c. IN FIELD. PROVIDE BLOCKING AT 24" o.c. AND ALL PANEL EDGES. PROVIDE (3)-PLY STUD POST EACH END OF SHEARWALL (TYP. U.N.O.) SEE TYPICAL DETAIL.</p> <p><b>NOTE:</b>                      PROVIDE SOLID BLOCKING @ 48" o.c. IN ALL WALLS TALLER THAN 9'-0".</p>



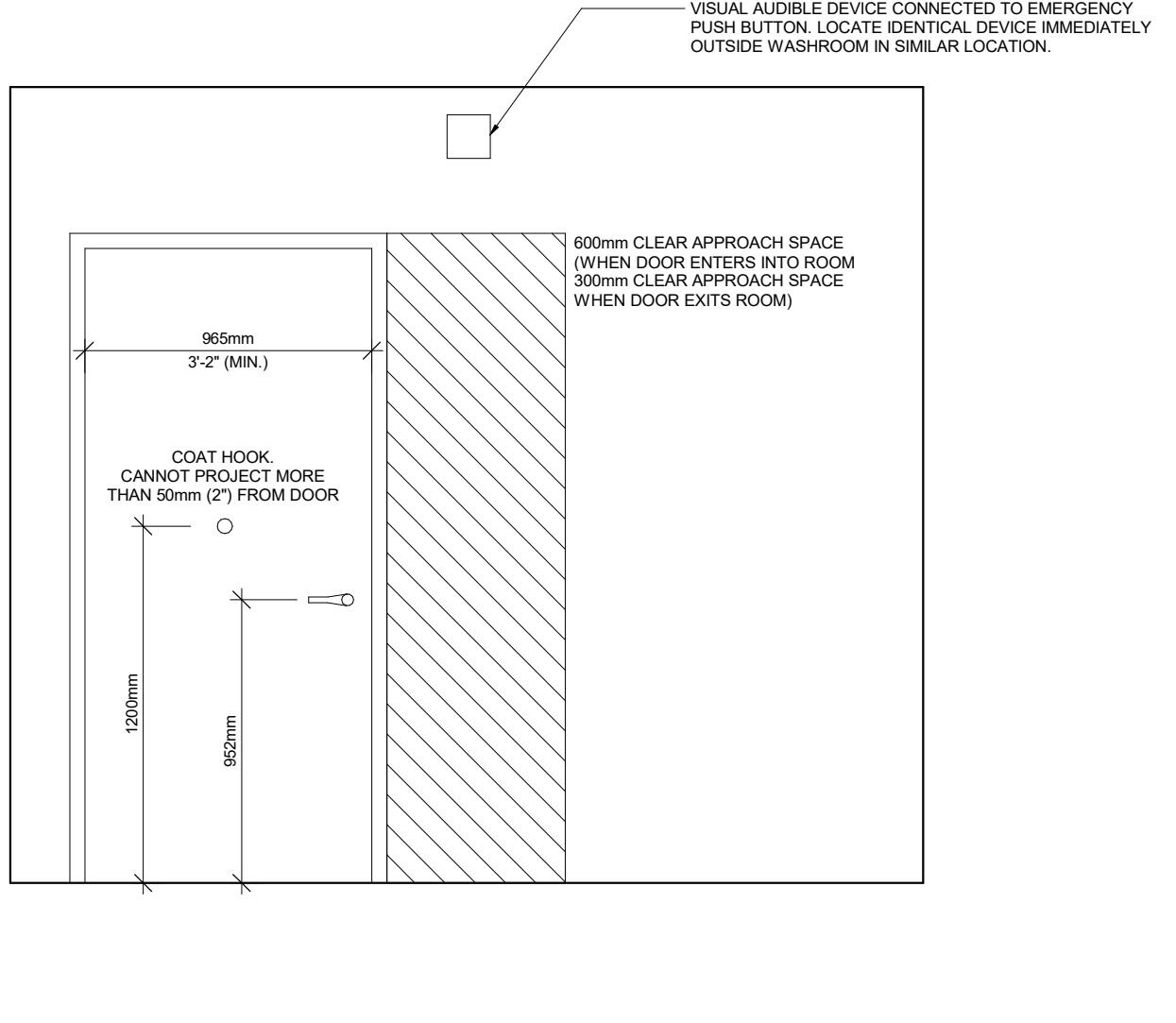
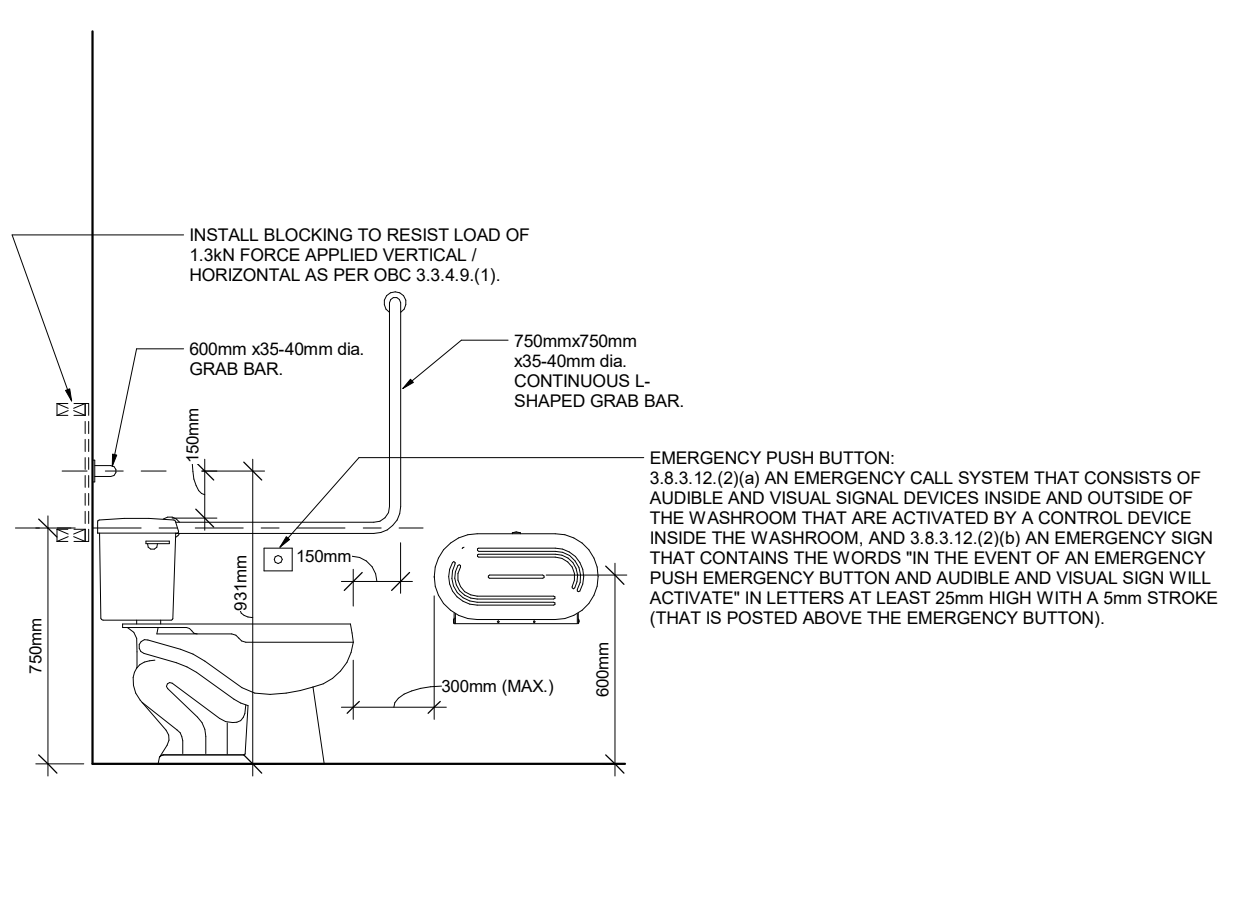
3 DETAIL  
3/2" = 1'-0"



4 PLAN DETAIL  
3/2" = 1'-0"



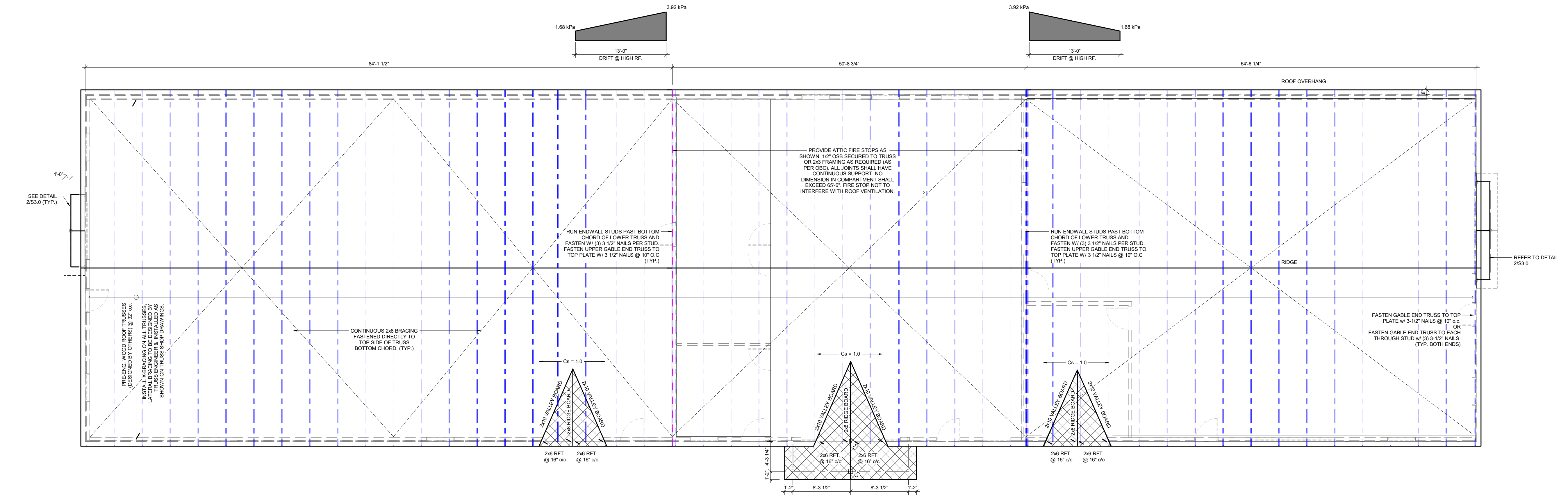
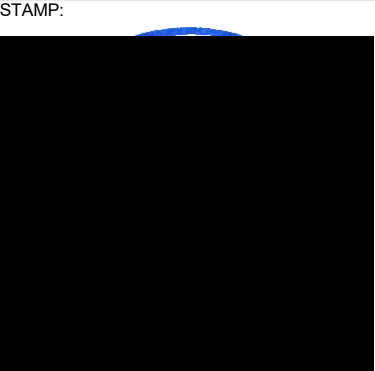
1 SECTION  
3/2" = 1'-0"



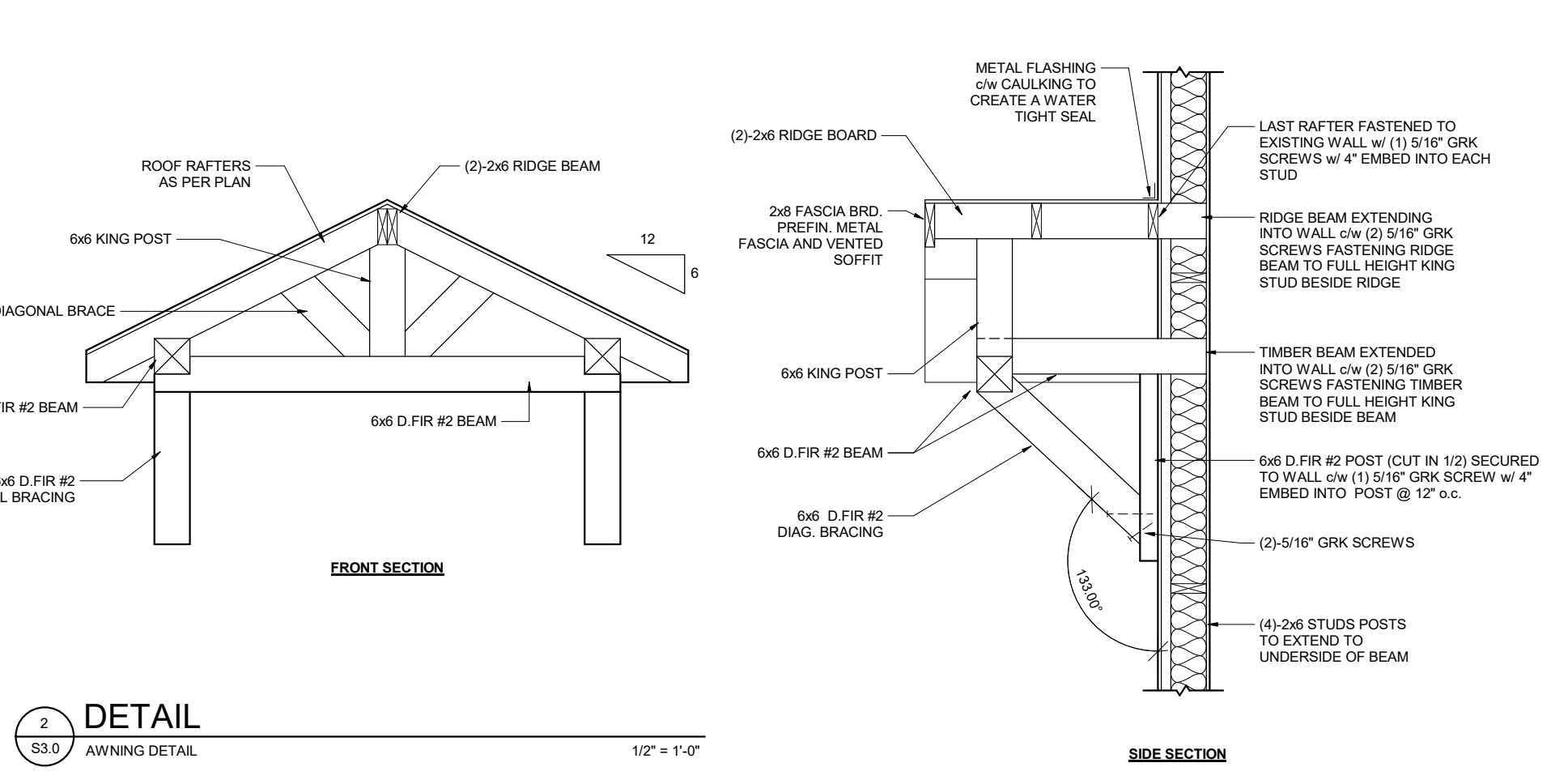
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 119 PINEBUSH RD. UNIT C  
 CAMBRIDGE, ON Phone: 519-267-6789  
 M1T 2R8 Fax: 519-388-9659  
 www.waddelleng.com info@waddelleng.com

PROJECT: PROPOSED STORAGE  
 CLIENT: 6527 ELLIS RD. N2C 2W4 CAMBRIDGE, ON  
 DESIGN BY: AGRES SHEET NO:  
 DRAWING TITLE: PUSLINCH LAKE GOLF COURSE  
 GROUND FLOOR PLAN  
 DRAWN BY: CB DATE: 2023-11-21  
 SCALE: AS NOTED  
 PROJECT NO: 23-06-207  
**S2.0**

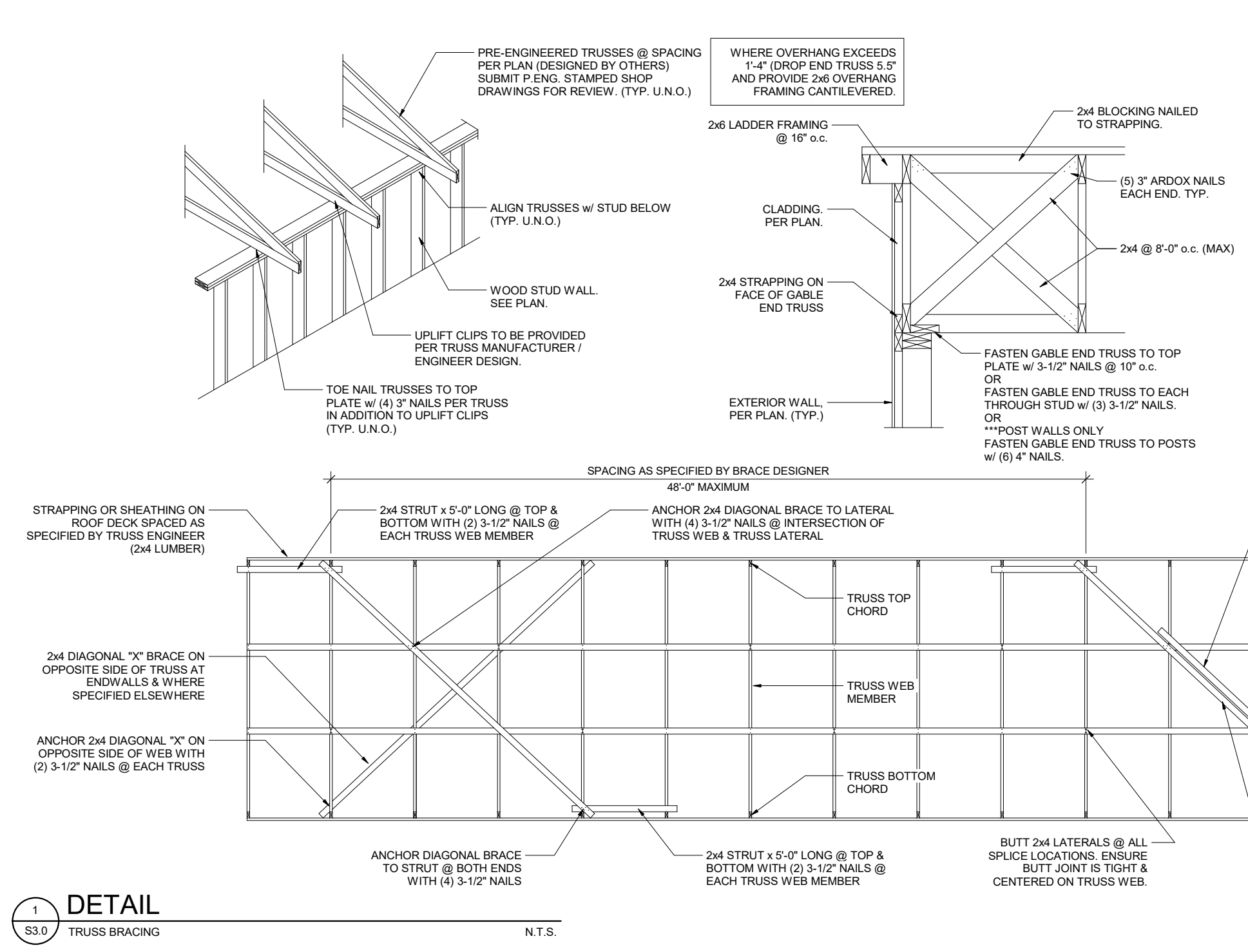
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2	1	0	2023-11-21	REV / BY
1	0	0	2023-11-10	
0	0	0	2023-10-08	



ROOF TRUSS FRAMING PLAN  
1/8" = 1'-0"



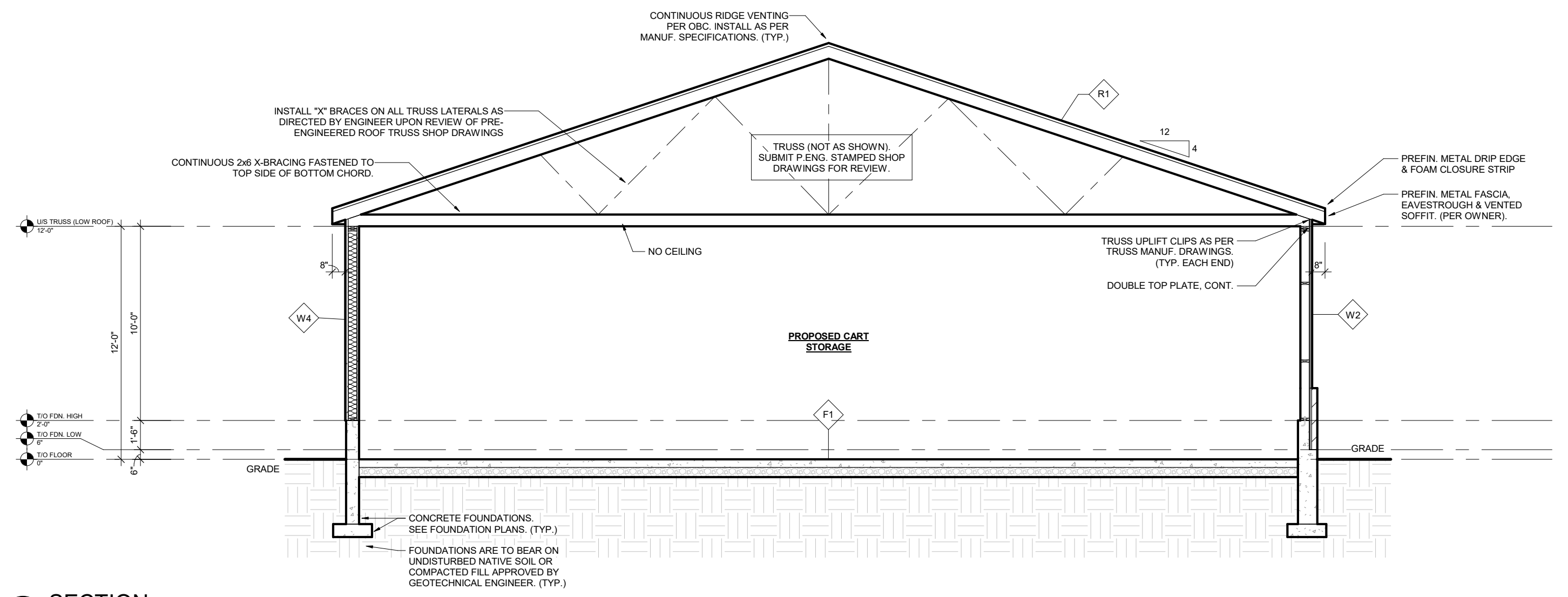
2 DETAIL  
S3.0 AWNING DETAIL  
1/2" = 1'-0"



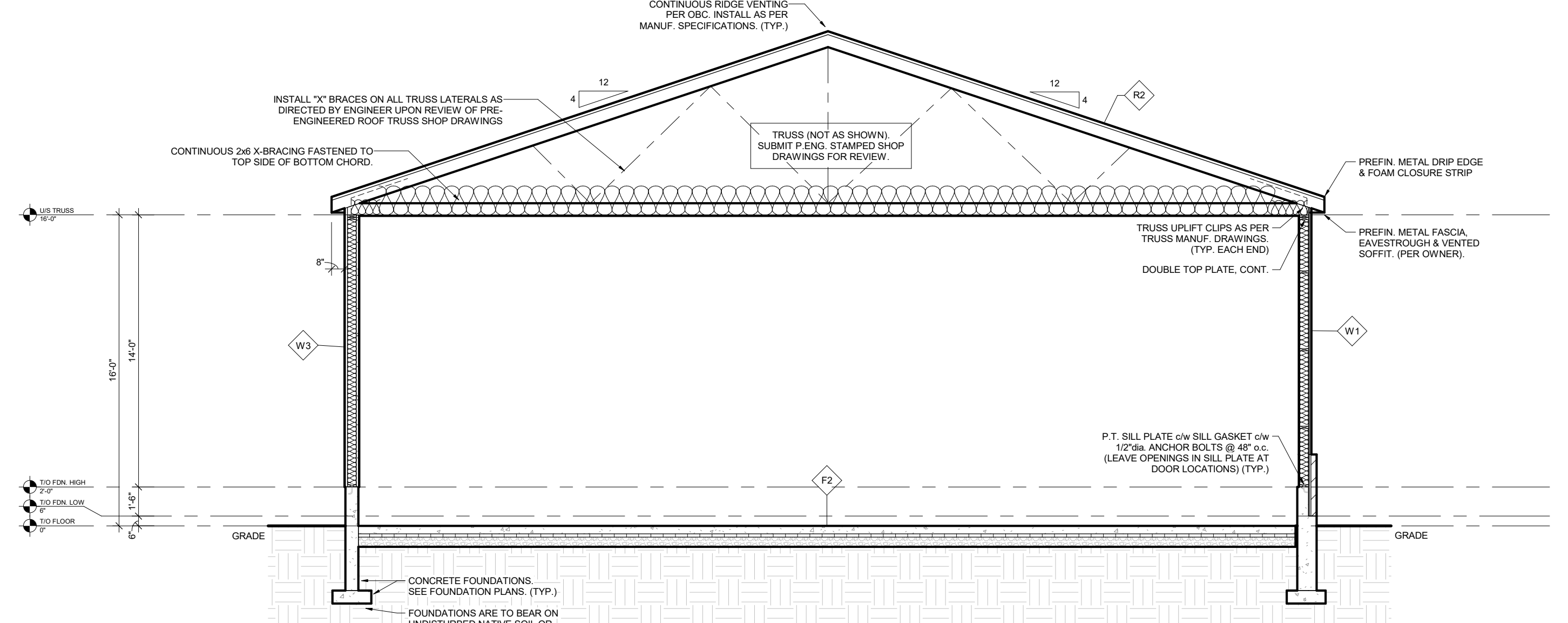
1 DETAIL  
S3.0 TRUSS BRACING  
N.T.S.

**ROOF TRUSS BRACING NOTES**

- CONTRACTOR AND/OR OWNER TO NOTIFY MANUFACTURER OF ANY TRUSS DEFICIENCIES SUCH AS DAMAGED OR BROKEN TRUSSES, WRAPPING OF TRUSS MEMBERS, AND MISSING OR OFFSET TRUSS PLATES.
- DIAGONAL BRACING MUST BE PROVIDED ON ALL WEB MEMBERS THAT REQUIRE LATERAL BRACING. DIAGONAL BRACING SHALL BE SPACED AS NOTED ON THE ATTACHED DRAWINGS. X-BRACING SHALL BE PROVIDED AT ENDWALLS AND AT INTERVALS NOTED ON THE ROOF PLAN. PERMANENT LATERAL BRACING TO BE INSTALLED ON WEB MEMBERS AS INDICATED ON THE ROOF PLAN AND MANUFACTURER'S DRAWINGS.
- PROVIDE DIAGONAL BRACING AT ALL DISCONTINUITIES IN LATERAL BRACING SUCH AS WHERE TRUSS TYPE CHANGES. THE TRUSS SUPPLIER SHALL DESIGN THE TRUSSES FOR THE BRACING NOTED. BRACING DETAILS WILL NOT BE MODIFIED UNLESS SPECIFIED BY THE BUILDING DESIGNER.
- TRUSS SUPPLIER WILL DESIGN TRUSSES FOR BRACING NOTED. BRACING DETAILS WILL NOT BE MODIFIED UNLESS SPECIFIED BY THE BUILDING DESIGNER.



3 SECTION  
S3.0 BLDG. SECTION - PROP. CART STORAGE  
3/16" = 1'-0"



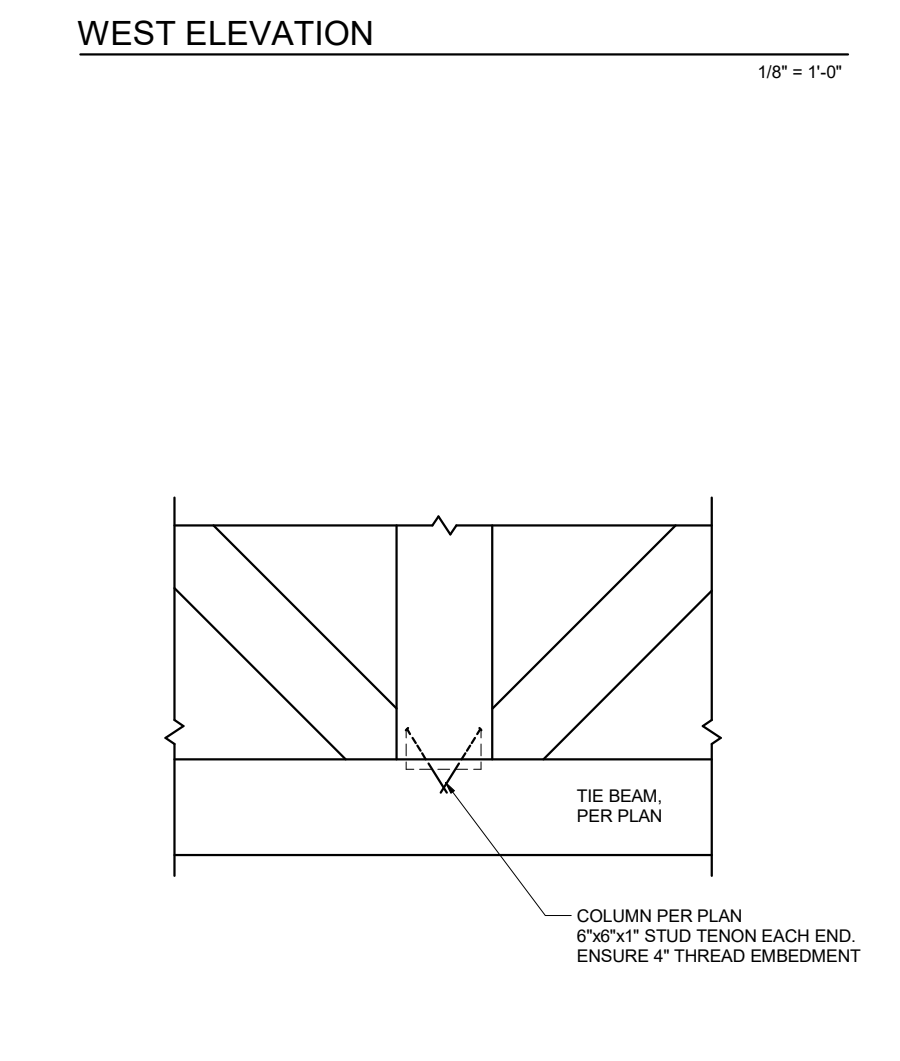
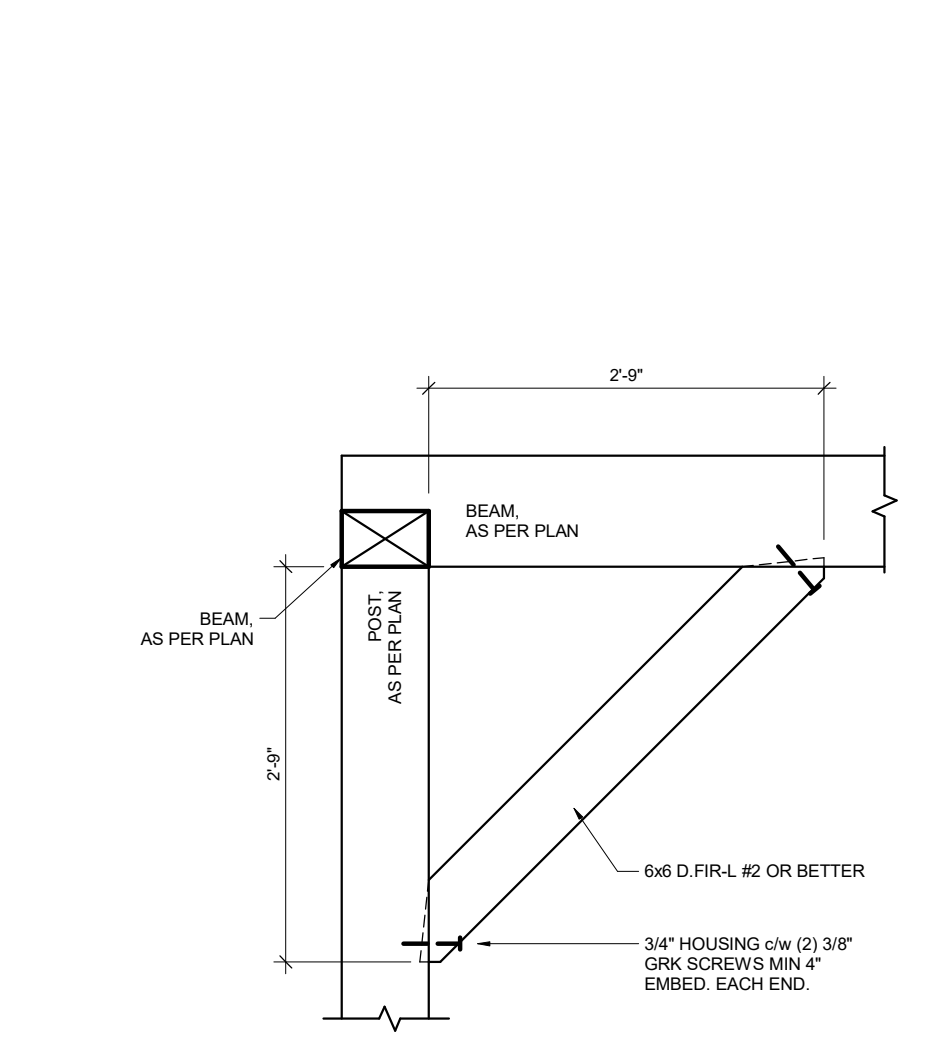
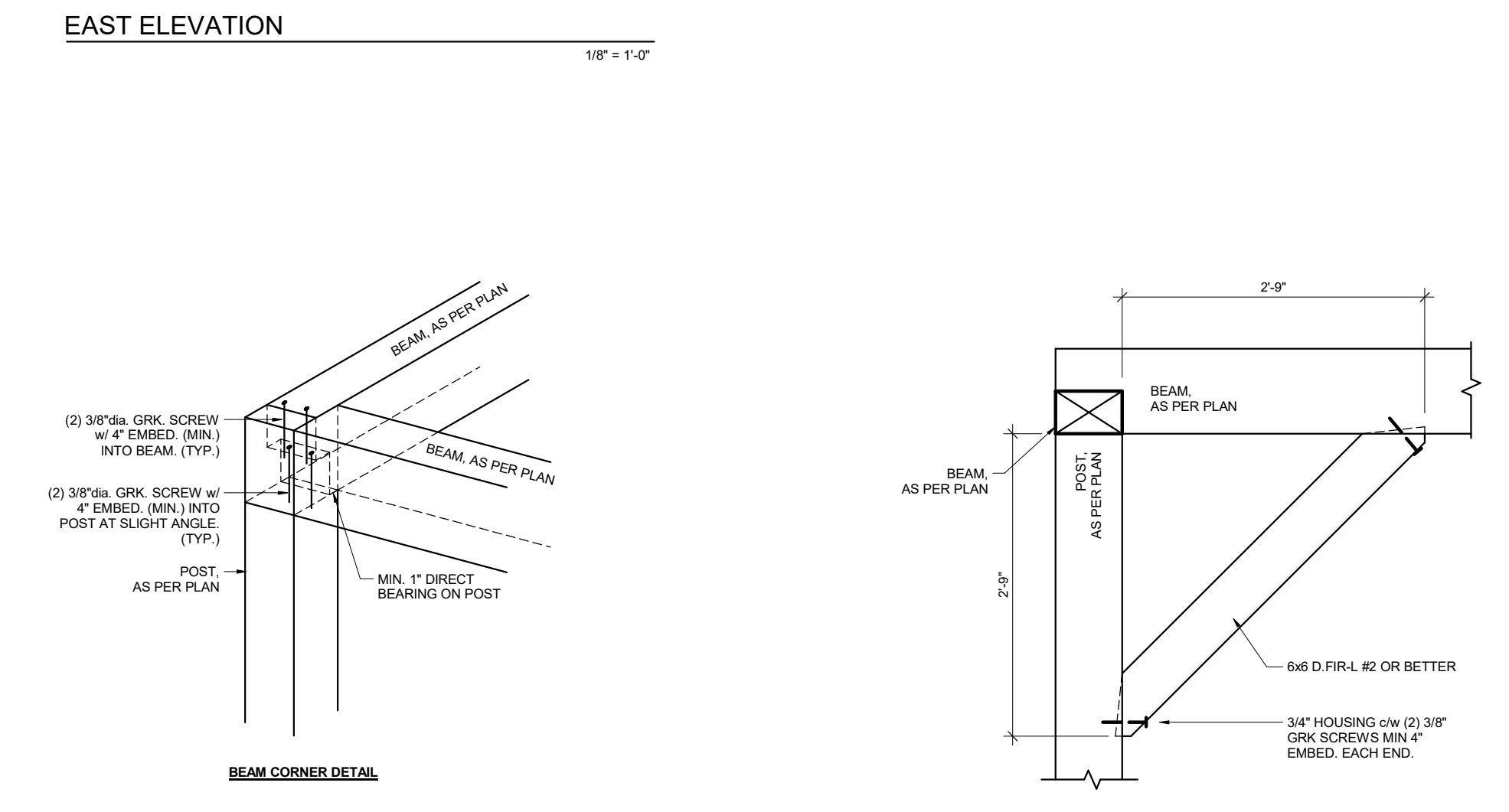
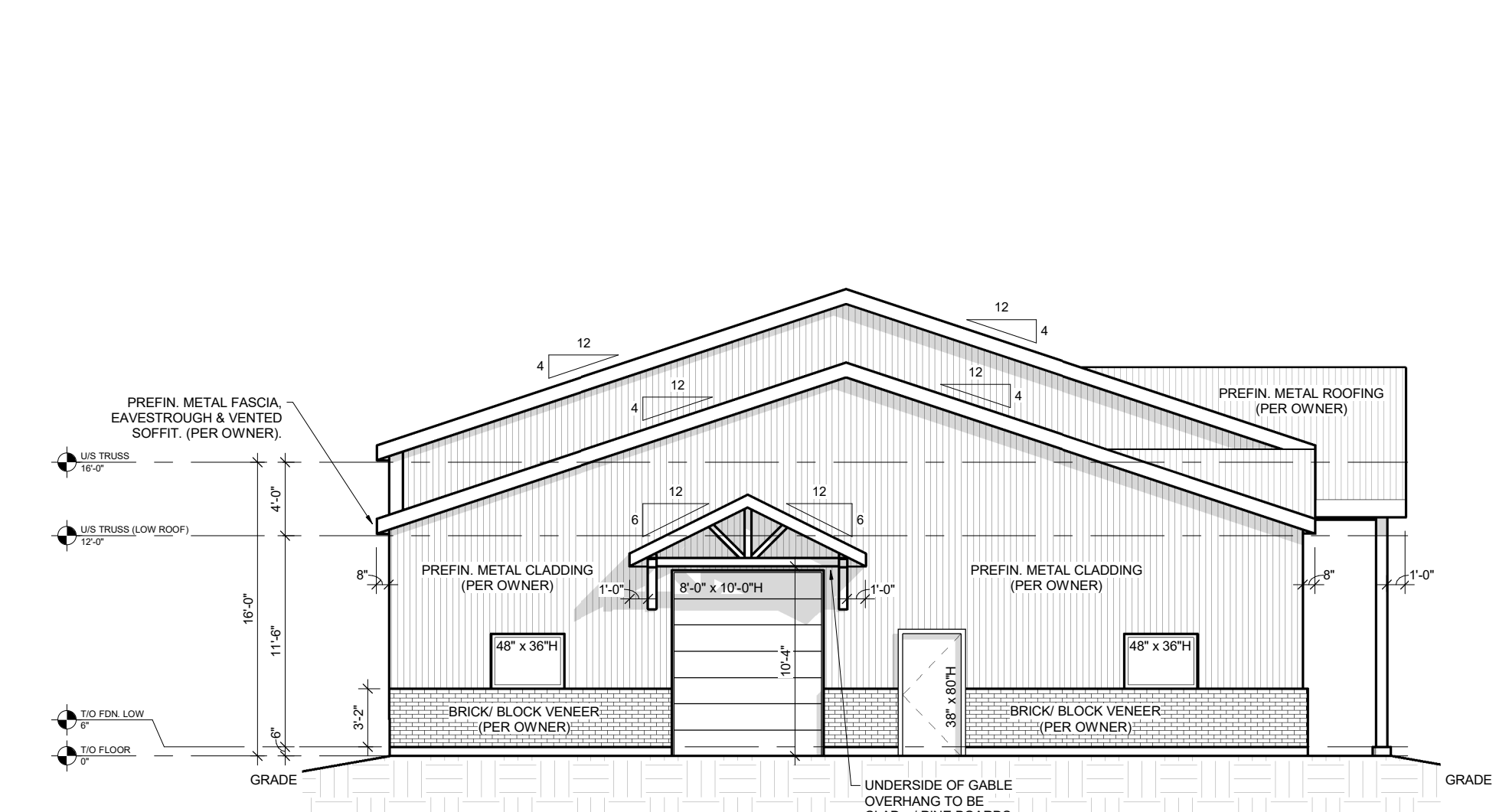
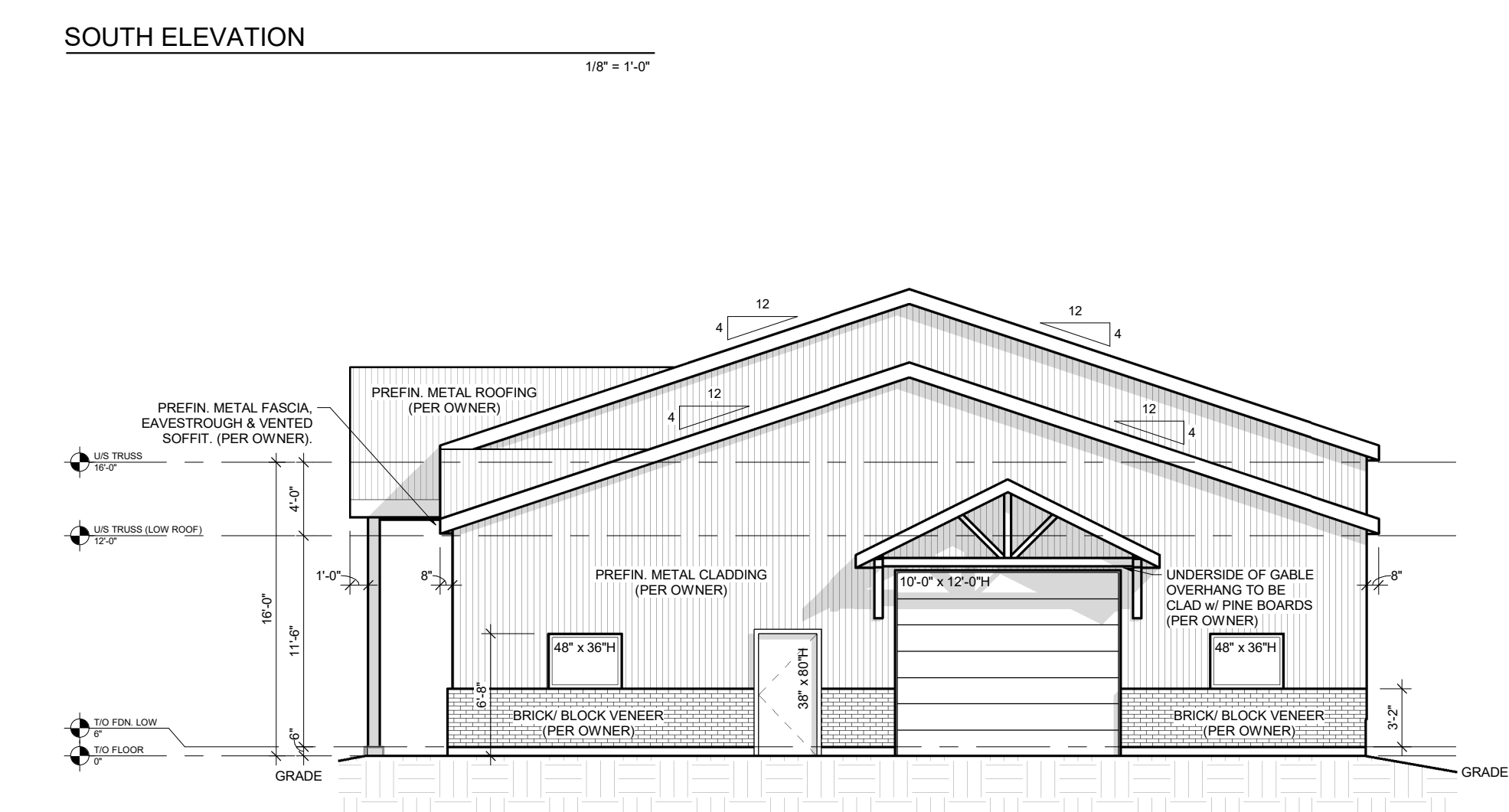
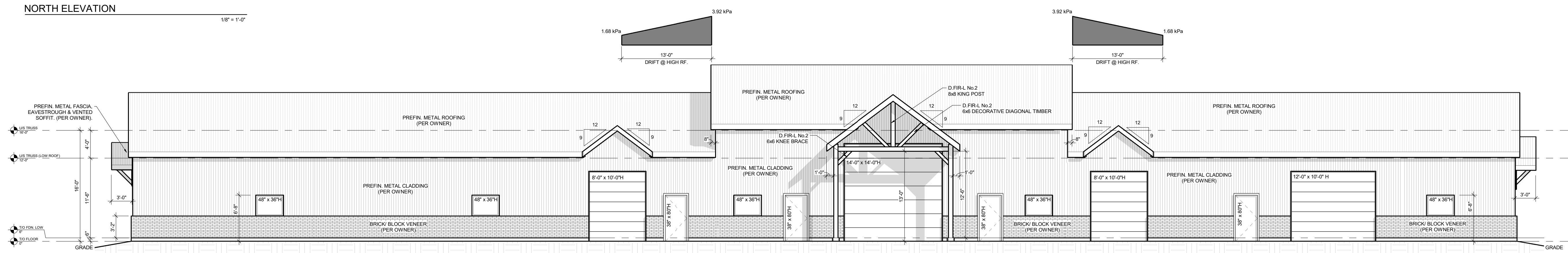
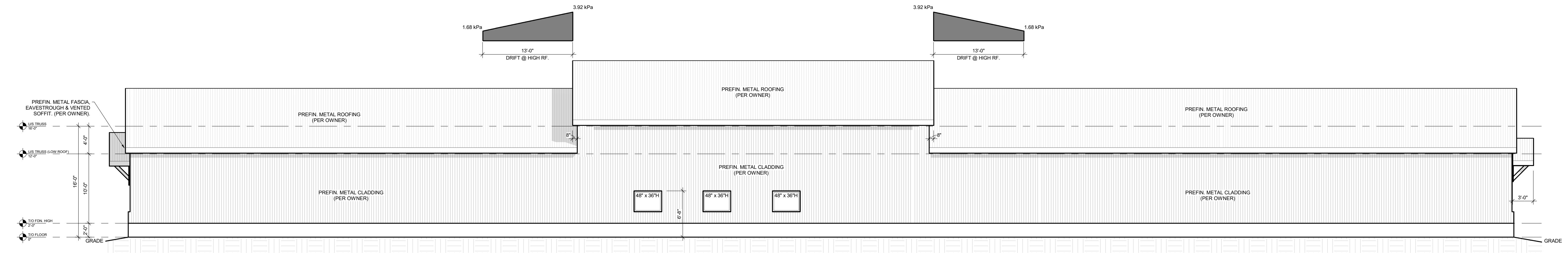
4 SECTION  
S3.0 BLDG. SECTION - PROP. HEATED SHOP  
3/16" = 1'-0"

**WADDELL ENGINEERING LTD.**  
119 FINEBUSH RD. UNIT C  
CAMBRIDGE, ON Phone: 519-267-0700  
MIR T-8 Fax: 519-358-9658  
www.waddelleng.com info@waddelleng.com

PROJECT: PROPOSED STORAGE  
CLIENT: NTC 204  
6527 ELLIS RD CAMBRIDGE, ON  
DRAWING TITLE: PUSLINCH LAKE GOLF COURSE  
ROOF TRUSS FRAMING PLAN  
DRAWN BY: CB DATE: 2023-11-21  
DESIGN BY: AGRES SHEET NO:  
SCALE: AS NOTED  
PROJECT NO: 23-06-207  
**S3.0**



ISSUED FOR REVIEW	ISSUED FOR REVIEW	ISSUED FOR REVIEW	DATE	DESCRIPTION
2	1	0	2023-11-21	
1	0	0	2023-11-10	
0	0	0	2023-10-06	
REV	BY	DATE		



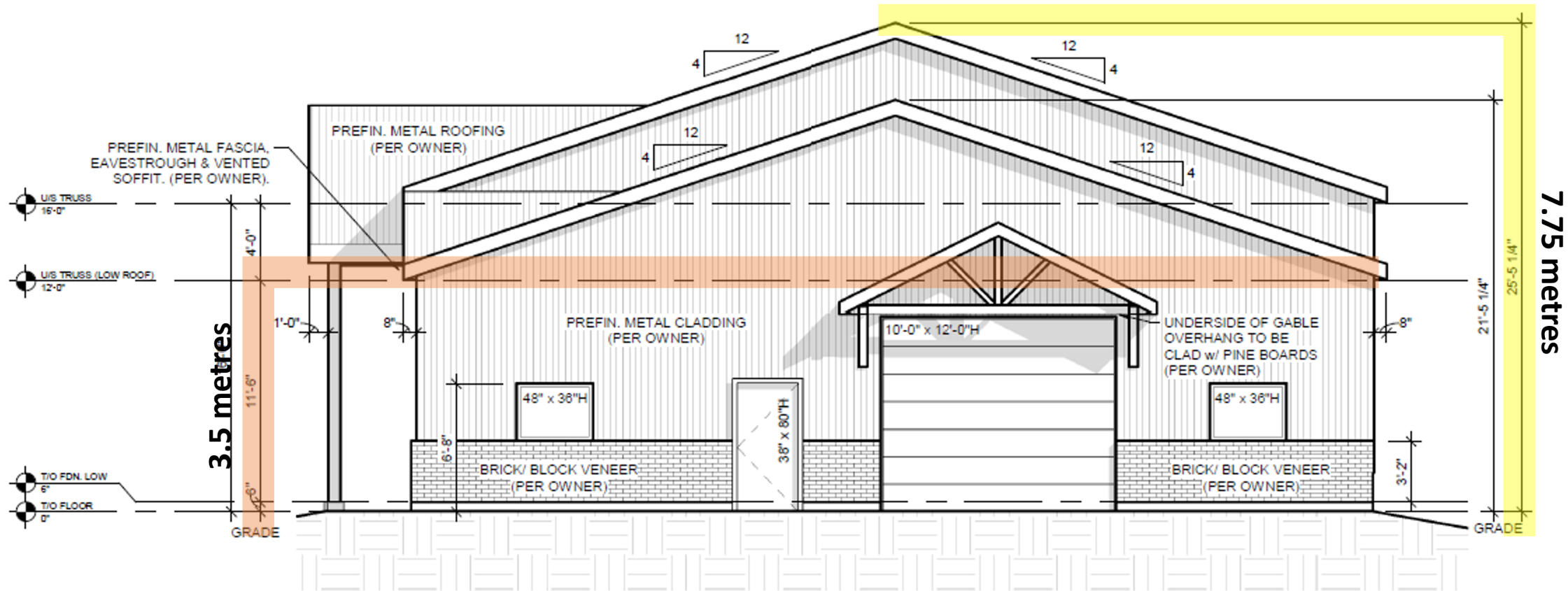
1 DETAIL  
BEAM CONNECTIONS  
3/4" = 1'-0"

2 DETAIL  
KNEE BRACING DETAIL  
3/4" = 1'-0"

3 DETAIL  
GABLE FRAME CONNECTION  
3/4" = 1'-0"

**WADDELL ENGINEERING LTD.**  
119 PINEBUSH RD. UNIT C  
CAMBRIDGE, ON Phone: 519-267-0750  
M1R 1J6 Fax: 519-358-9659  
www.waddelleng.com info@waddelleng.com

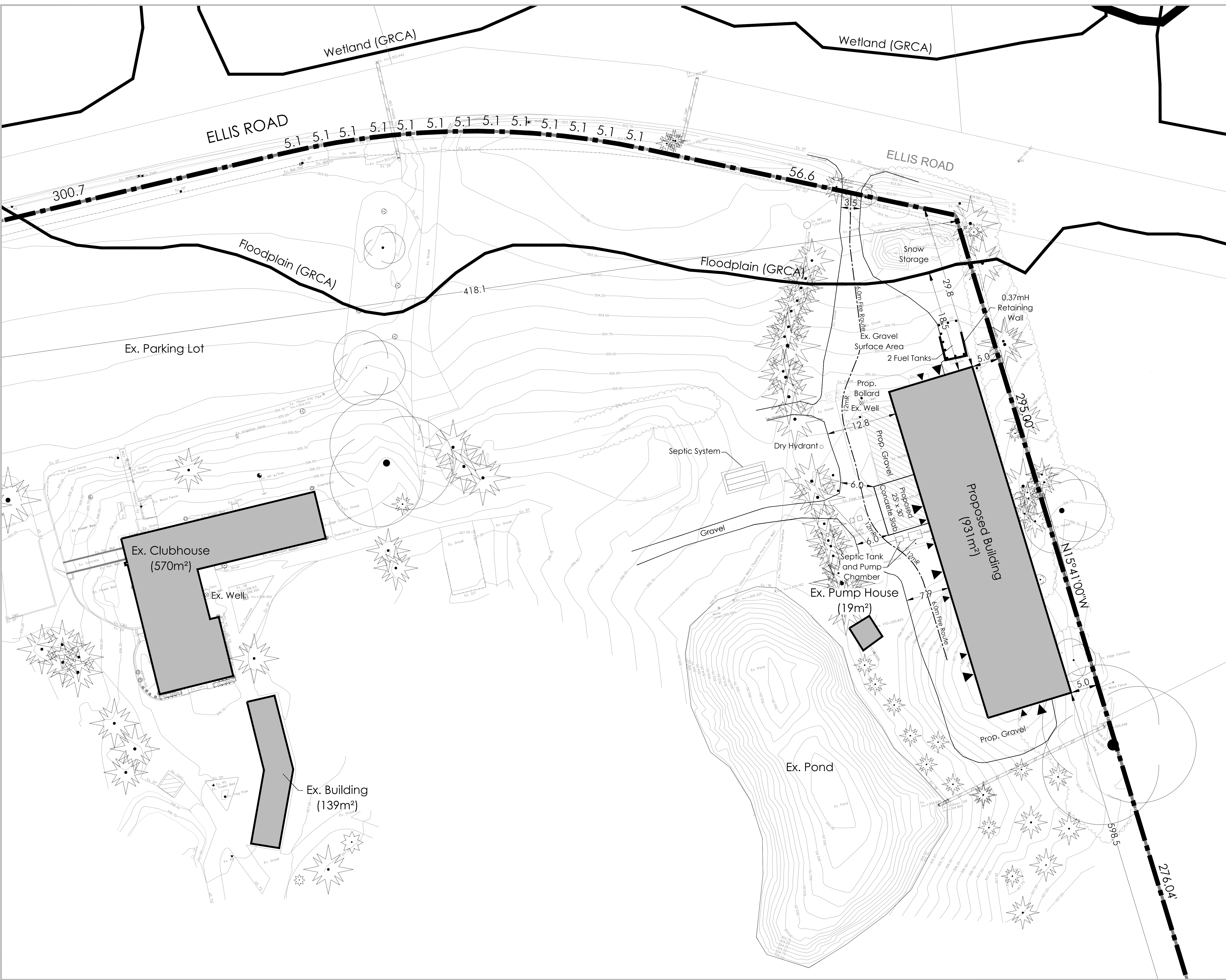
PROJECT: PROPOSED STORAGE  
CLIENT: PUSLINCH LAKE GOLF COURSE  
DRAWING TITLE: BUILDING ELEVATIONS  
DRAWN BY: CB DATE: 2023-11-21  
DESIGN BY: AGRES SHEET NO:  
SCALE: AS NOTED  
PROJECT NO: 23-06-207  
S4.0



EAST ELEVATION

1/8" = 1'-0"

$$\text{Building Height} = \frac{(7.75\text{m} + 3.5\text{m})}{2} = 5.625 \text{ m}$$



**Legal Description**  
 PART LOT 2, CONCESSION 2  
 TOWNSHIP OF PUSLINCH,  
 COUNTY OF WELLINGTON

**Key Plan**

Subject Site

SCALE NTS

**SITE STATISTICS**

Zone Provisions (RC) <b>Golf Course (SP-42)</b> Township of Puslinch Zoning By-law 023-18		
	Required (min)	Provided
Lot Area	0.4ha	±32.8ha
Lot Frontage	30.0m	418.1m
Front Yard	10.0m	29.8m
Int. Side Yard	3.0m (7.5m from adjacent Residential Zone)	5.0m
Ext. Side Yard	3.0m	-
Rear Yard	3.0m (7.5m from adjacent Residential Zone)	598.5m
Lot Coverage (max.)	35%	0.46% (1,501m²)
Accessory Structure Lot Coverage (max.)		0.05% (158m²)
Landscaped Area	15%	97.6% (320,283m²)
Building Height		5.6m
<b>Proposed Building - 931m²</b>		

\* All building floor areas are gross calculations

**NOTES:**  
 - All dimensions are in metres unless otherwise noted  
 - Architectural drawings provided by Waddell Engineering Ltd. (Dec. 30, 2022)  
 - Aerial: County of Wellington (2020)  
 - Topographic survey provided by MTE Consultants Inc.

Revision No.	Date	Issued / Revision	By

**PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE**  
 200-540 BINGHAM'S CENTRE DR. KITCHENER, ON, N2B 3Y9 | P: 519.576.3650 F: 519.576.0121 | WWW.MHBCPLAN.COM

Stamp	Date
	April 24, 2024
Drawn By	CAC/LC
Plan Scale	1:300
File No.	23186A
Checked By	PC

**Project**  
**Puslinch Lake Golf Course**  
 6527 Ellis Rd

File Name	Dwg No.
<b>SITE PLAN</b>	<b>1 of 2</b>



Cloudpermit application number  
CA-3523001-P-2024-18

**Applicant, Agent**

Last name McIntyre	First name Robyn	Corporation or partnership MHBC Planning Ltd.
Street address [REDACTED]	Unit number 200	Lot / Con.
Municipality [REDACTED]	Postal code [REDACTED]	Province Ontario
Other phone	Mobile phone [REDACTED]	
Fax	Email [REDACTED]	

**Property owner, Payer**

Last name Haddaway	First name Geoff	Corporation or partnership Puslinch Lake Golf Course
Street address [REDACTED]	Unit number	Lot / Con.
Municipality [REDACTED]	Postal code [REDACTED]	Province Ontario
Other phone [REDACTED]	Mobile phone [REDACTED]	
Fax	Email [REDACTED]	

**Subject Land Information**

Address	Legal description	Roll number
6527 ELLIS RD (Primary)	CON 2 FRONT PT LOT 2	230100002027000000

## Sworn Declaration of Applicant

Complete in the presence of a Commissioner for taking affidavits

I, MHBC Planning Ltd. (Robyn McIntyre), solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the Applicant is accurate and that the information contained in the documents that accompany this application is accurate, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature of Applicant (sign in the presence of a Commissioner for taking affidavits)

[Redacted Signature]

Signature of Commissioner for taking

[Redacted Signature]

Municipality

City of Kitchener,  
Region of Waterloo.

Day, month, year

30/April/2024.

Place an imprint of your stamp below

## Affidavit and signatures

### Applicant

The Robyn McIntyre, Applicant is required to agree to erect and maintain a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits. The sign will be provided to the applicant for posting on the property by Township planning staff along with instructions on how and where to post the sign. The sign must be posted at least 10 days prior to the Committee of Adjustment meeting date for the application and must remain on the property until the 20 day appeal period is expired.

### Notice with respect to collection of personal information

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.

 Digitally signed on April 30, 2024 at 1:01:41 p.m. EDT by Robyn McIntyre.

**Send correspondence to**

Send correspondence to

 Owner(s)     Agent     Others

Who to send the Invoice to

 Owner     Agent     Other
**Provide a description of the "entire" property**

Concession

2

Lot

PT LOT 2

Registered Plan Number

Area in Hectares

32.8

Area in Acres

81.05

Depth in Meters

864

Depth in Feet

2,834.65

Frontage in Meters

418.1

Frontage in Feet

1,371.7

Width of road allowance (if known)

Unknown

**Reason for Application**

Please indicate the Section of the Planning Act under which this application is being made

 Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.)

 Section 45(2) relates to a change to or expansion of an existing legal non-conforming use

What is the nature and extent of the relief that is being applied for?

Requesting relief from Section 4.4.2 of the Zoning Bylaw to allow a building height of 5.6 metres rather than the requirement of 5 metres. Please see attached building measurement plans and covering letter for additional information.

Why is it not possible to comply with the provisions of the by-law?

The nature of the existing golf course use requires implements of all sizes to maintain the grounds, the height of the building is necessary to accommodate these implements.

**What is the current Official Plan and zoning status?**

Official Plan Designation

Schedule B7 - Land Use: Recreational

Zoning Designation

Resort Commercial, Site Specific Provision 42

What is the access to the subject property?

 Provincial Highway

 Continually maintained municipal road

 Seasonally maintained municipal road

 Other

 Continually maintained county road

What is the name of the road or street that provides access to the subject property?

Ellis Road

If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

n/a

**Existing and Proposed Service**

Indicate the applicable water supply and sewage disposal:

Private Well	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Water	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Provincial Water Taking Permit	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Private Septic	<input checked="" type="checkbox"/> Existing	<input checked="" type="checkbox"/> Proposed
Communal Septic	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Other Provincial Waste Water System	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
How is storm drainage provided? *		
<input type="checkbox"/> Storm Sewers <input checked="" type="checkbox"/> Ditches <input checked="" type="checkbox"/> Swales <input type="checkbox"/> Other means		

**Existing Subject and Abutting Property Land Uses, Buildings and their Locations**

What is the existing use of the subject property?  
Resort Commercial - golf course with accessory buildings.

What is the existing use of the abutting properties?  
Agricultural to the west, Rural Residential to the east.

**Provide the following details for all existing buildings on the subject land**

Main Building Height in Meters Unknown / variable (no change)	Main Building Height in Feet Unknown / variable (no change)	Percentage Lot Coverage in Meters 0.17%
Percentage Lot Coverage in Feet 0.17%	Number of Parking Spaces No change.	Number of Loading Spaces 0
Number of Floors 1.5-2	Total Floor Area in Square Meters Unknown (no change)	Total Floor Area in Square Feet Unknown (no change).
Ground Floor Area (Exclude Basement) in Square Meters 570	Ground Floor Area (Exclude Basement) in Square Feet 6,135.4	

**Provide the following details for all buildings proposed for the subject land**

Main Building Height in Meters 5.6	Main Building Height in Feet 18.4	Percentage Lot Coverage in Meters 0.46%, 931 square metres.
Percentage Lot Coverage in Feet 0.46%, 10,021.2 square feet.	Number of Parking Spaces No change.	Number of Loading Spaces 0, no change.
Number of Floors 1, same as existing.	Total Floor Area in Square Meters 931 square metres.	Total Floor Area in Square Feet 10,021.2 square feet
Ground Floor Area (Exclude Basement) in Square Meters 931 square metres	Ground Floor Area (Exclude Basement) in Square Feet 10,021.2 square feet	

**What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)**

Front Yard in Meters Proposed - 29.8 metres	Front Yard in Feet Proposed - 97.8 feet	Rear Yard in Meters Proposed - 598.5 metres
Rear Yard in Feet Proposed - 1,963.6 feet	Side Yard (interior) in Meters Proposed - 5 metres	Side Yard (interior) in Feet Proposed - 16.4 feet
Side Yard (Exterior) in Meters Proposed - > 200 metres	Side Yard (Exterior) in Feet Proposed - >656.2 feet	

**What are the dates of acquisition and construction of subject property and building property**

Date of acquisition of subject property July 1, 2022	Date of construction of buildings property Various. Additions over time.	How long have the existing uses continued on the subject property? Since the 1960s.
Has the owner previously applied for relief in respect of the subject property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

**Other Related Planning Applications**

Planning Application: Official Plan Amendment <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Zoning By-Law Amendment <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Planning Application: Plan of Subdivision <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Consent (Severance) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Planning Application: Site Plan <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Application: Minor Variance <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Site Plan: File Number Not assigned.	Site Plan: Approval Authority Township of Puslinch	Site Plan: Subject Lands 6527 Ellis Road, Puslinch (same lands)
Site Plan: Purpose Reconstruct maintenance shed.	Site Plan: Status Applicant preparing third resubmission during formal consultation.	

**Minor Variance Application must be commissioned**

Please confirm the following <input checked="" type="checkbox"/> I understand that prior to the Minor Variance Application being deemed complete it must be commissioned by all registered owners or the agent responsible for the application.
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