



PLANNING & DEVELOPMENT ADVISORY COMMITTEE  
VIRTUAL MEETING BY ELECTRONIC PARTICIPATION &  
IN-PERSON AT THE TOWNSHIP MUNICIPAL OFFICE –  
7404 WELLINGTON ROAD 34, PUSLINCH  
OCTOBER 8, 2024  
7:00 p.m.

Register in advance:

<https://us02web.zoom.us/j/89286121849?pwd=9uYqxxTflgomsw27ZG1BZuT8ajMRoN.1>

Or join by phone:

Dial (for higher quality, dial a number based on your current location):

Canada: 1 778 907 2071

1 438 809 7799

1 587 328 1099

1 613 209 3054

1 647 374 4685

1 647 558 0588

Webinar ID: 892 8612 1849

Passcode: 687207

International numbers available: <https://us02web.zoom.us/u/kbaoXhLka>

## AGENDA

### COMMITTEE OF ADJUSTMENT:

≠ Denotes resolution prepared

1. **Call the Meeting to Order (Opening Remarks)**
2. **Roll Call**
3. **Moment of Reflection**
4. **Confirmation of Agenda ≠**
5. **Disclosure of Conflict of Interest**
6. **Approval of Minutes ≠**
  - 6.1 September 10, 2024 Committee of Adjustment Meeting Minutes
7. **Application for Minor Variance or Permission** under section 45 of the Planning Act to be heard by the Committee this date:
  - 7.1 **D13-RAW – Rawnsley, Curtis – 41 Lake Ave PV West**

Whereas the variance requested would provide relief from Section 4.4.2, Table 4.1 of Township Comprehensive Zoning By-law 2018-023, as amended (Zoning By-law),



PLANNING & DEVELOPMENT ADVISORY COMMITTEE  
VIRTUAL MEETING BY ELECTRONIC PARTICIPATION &  
IN-PERSON AT THE PUSLINCH COMMUNITY CENTRE –  
23 BROCK RD S, PUSLINCH  
SEPTEMBER 12, 2023  
7:00 p.m.

requesting permission to allow a 2 metre setback of front yard for a proposed shed instead of a 6 metre

**7.2 D13-MAR – Martinello, John – 4660 Sideroad 10 N**

Whereas the variance requested would provide relief from Section 4.2.a.i) of Township Comprehensive Zoning By-law 2018-023, as amended to allow an increased maximum total floor area of an Additional Residential Unit to be 69.63% of the total floor area of the principal dwelling unit, instead of 45% as required.

**7.3 D13-RSS – RSS Real Estate Holdings Ltd – 6 Winer Rd**

Whereas the variance requested would provide relief from Section 4.22.a.i), of Township Comprehensive Zoning By-law 2018-023, as amended (Zoning By-law), to permit outdoor storage in a front yard and at a setback of 13 metres from a lot line abutting a street instead of the rear or interior side yard and not closer than 20 metres to any lot line abutting a street; and,

Whereas the variance requested would provide relief from 4.22.a.iii), of the Township Zoning By-law, to permit an outdoor storage area of 33 percent and to exceed the total ground floor area of the principal building(s) on the lot instead of not exceeding the lesser of 25 percent of the total lot area or the total ground floor area of the principal building on the lot; and,

Whereas the variance requested would provide relief from Section 4.24.2.c) of the Township Zoning By-law, to permit shipping containers to be located in an interior side yard instead of the rear yard; and,

Whereas the variance requested would provide relief from Section 5.1.4.a.ii) of the Township Zoning By-law, to permit a detached loading space for the use of the new building instead of the loading spaces abutted the building for which the loading space is provided

**8. New Business**

**8.1 Report CofA 2024-005 – Revised Proposed 2024 Committee of Adjustment Meeting Schedule**

**9. Adjournment of Committee of Adjustment #**



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH  
SEPTEMBER 10, 2024 COMMITTEE OF ADJUSTMENT MEETING  
VIRTUAL MEETING BY ELECTRONIC PARTICIPATION & IN PERSON  
AT 7404 WELLINGTON RD 34, PUSLINCH

**MINUTES**

**DATE:** September 10, 2024

**MEETING:** 7:00 p.m.

The September 10, 2024 Committee of Adjustment Meeting was held on the above date and called to order at 7:00 p.m. via electronic participation and in-person at 7404 Wellington Road 34, Puslinch.

**1. CALL THE MEETING TO ORDER**

**2. ROLL CALL**

**ATTENDANCE:**

**PRESENT:**

Councillor John Sepulis, Chair  
Paul Sadhra  
Amanda Knight  
Chris Pickard

**ABSENT:**

None

**STAFF IN ATTENDANCE:**

Lynne Banks, Secretary/Treasurer  
Mehul Safiwala, Junior Planner

**3. MOMENT OF REFLECTION**

**4. CONFIRMATION OF THE AGENDA**

**Resolution No. 2024-035:**

Moved by Committee Member Paul Sadhra and  
Seconded by Committee Member Chris Pickard



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH  
SEPTEMBER 10, 2024 COMMITTEE OF ADJUSTMENT MEETING  
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AT 7404 WELLINGTON RD 34, PUSLINCH

**That the Committee approves the September 10, 2024 Agenda as circulated.**

**CARRIED.**

**5. DISCLOSURE OF CONFLICT OF INTEREST:**

None

**6. APPROVAL OF MINUTES**

**6.1 Approval of the Minutes**

6.1. August 13, 2024

**Item 7.1 - Minor Variance Application D13-LAM**

- John Sepulis asked Mehul Safiwala for an update of Amanda Knight's question regarding a timeline that the applicant must follow to begin construction of the new dwelling.
- Mehul Safiwala advised that the legislation does not set a timeline, and noted that the applicant did advise that they are hoping to begin construction of the new dwelling in the spring.

**Resolution No. 2024-036:**

Moved by Committee Member Amanda Knight and  
Seconded by Committee Member Paul Sadhra

**That the Committee of Adjustment approves the Minutes from the meeting held on August 13, 2024.**

**CARRIED.**

**7. APPLICATIONS FOR MINOR VARIANCE OR PERMISSION** under section 45 of the Planning Act to be heard by the Committee this date:

**7.1 Minor Variance Application D13-AUG – Brian Crawley – 6890 Concession 4, Township of Puslinch. ≠**

Requesting relief of New Comprehensive Zoning By-law # 23-2018, as amended, from from Section 4.16.1. a) to permit, a reduced MDS I setback for the severed parcel to be 347.9 meters instead of 387 meters, as required.



THE CORPORATION OF THE TOWNSHIP OF PUSLINCH  
SEPTEMBER 10, 2024 COMMITTEE OF ADJUSTMENT MEETING  
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- Nancy Shoemaker, agent for the applicant, provided an overview of the application.
- There were no questions or comments from the public.
- Chris Pickard asked for clarification on what the correct MDS setback is being requested.
- Nancy Shoemaker advised that the GRCA requested that the original proposed lot line be moved away from the wetlands located on the property and she advised that the requested MDS setback is 349.7 meters and not 360 meters as requested.
- There were no further questions or comments from the Committee.

**Resolution No. 2024-037:**

Moved by Committee Member Paul Sadhra and  
Seconded by Committee Member Amanda Knight

**That the Minor Variance Decision as made by the Committee be approved with the following condition:**

That the minor variance application is subject to approval of a future consent application.

**CARRIED.**

**8. NEW BUSINESS**  
None

**9. ADJOURNMENT**

**Resolution No. 2024-038:**

Moved by Committee Member Chris Pickard and  
Seconded by Committee Member Paul Sadhra

**That the Committee of Adjustment hereby adjourns at 7:23 p.m.**

**CARRIED.**



## **REPORT D13-2024-013**

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TO: Committee of Adjustment Chair and Members of Committee

PREPARED BY: Mehul Safiwala, Junior Planner

PRESENTED BY: Mehul Safiwala, Junior Planner

MEETING DATE: October 8, 2024

SUBJECT: Minor Variance Application D13/RAW (Curtis Rawnsley)  
41 Lake Ave PV West

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### **RECOMMENDATION**

**That Report D13-2024-013 entitled Minor Variance Application D13/RAW be received; and**

**Whereas the variance requested would provide relief from Section 4.4.2, Table 4.1 of Township Comprehensive Zoning By-law 2018-023, as amended (Zoning By-law), requesting permission to allow a 2 metre setback of front yard for a proposed shed instead of a 6 metre; and**

**Whereas the minor variance application would maintain the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property;**

**Therefore, that planning staff consider the request minor and have no concerns with the application.**

### **Purpose**

<b>Regulation</b>	<b>By-law Section</b>	<b>Required</b>	<b>Proposed</b>	<b>Relief Requested</b>
<b>Comprehensive Zoning By-law # 23-2018, as amended</b>	<b>Accessory Building and Structures Section 4.4.2, Table 4.1</b>	<b>The minimum required front yard for accessory building and structures in Resort Residential Zone is 6 meters</b>	<b>2 metres</b>	<b>4 metres</b>

**Subject Property Key Map**



**Discussion**

Four Tests	Discussion
<p>That the requested variance is <b>minor</b> in nature</p>	<ul style="list-style-type: none"> <li>• The subject lands contain an existing dwelling and an accessory building.</li> <li>• The purpose of the application is to allow a 2 metre front yard setback for a proposed Shed.</li> <li>• Staff consider the variance to be minor in terms of impact and context with the surrounding neighbourhood.</li> </ul>
<p>That the intent and purpose of the <b>Zoning By-law</b> is maintained</p>	<ul style="list-style-type: none"> <li>• The subject lands are within the Resort Residential Zone.</li> <li>• The single detached dwelling unit and accessory building are permitted uses within the Resort Residential Zone, in accordance with section 6.2 and 4.4.1 of the Zoning By-law.</li> <li>• Section 4.4.2, Table 4.1 of the Zoning By-law requires a front yard setback to equal to the minimum front yard requirement for the principal building, in the Resort Residential Zone the required front yard setback is 6.0 metres.</li> <li>• The intent of the application is to allow a 2 metre front yard setback for a proposed shed, which is 26.0129 m<sup>2</sup> (280 ft<sup>2</sup>) in size.</li> <li>• The subject property will have total a lot coverage of 34.40 % with the addition of shed. The Resort Residential Zone allows for a maximum of 40% lot coverage.</li> </ul>

	<ul style="list-style-type: none"> <li>• The intent of requiring a minimum front yard setback is to help preserve neighborhood aesthetics, and ensure adequate space for sidewalks, landscaping, utilities, to allow for access and maintenance of the entire parcel including private septic systems, and to create a sense of consistency within the surrounding neighbourhood.</li> <li>• Based on the site plan submitted it appears that the lot coverage and setbacks for the proposed accessory structure, including rear yard and side yard appears to be met, however a formal review was not conducted at this time and the development will be subject to a formal review during the building permit process.</li> </ul>
<p>That the general intent and purpose of the <b>Official Plan</b> is maintained</p>	<ul style="list-style-type: none"> <li>• The Property is designated Recreational within the County Official Plan.</li> <li>• A single detached dwelling is not a permitted use in the Recreational designation; however, policy 9.8.2 Puslinch Lake Area allow seasonal cottages around the lake that have been replaced by a year-round residential area to be continued.</li> </ul>
<p>That the variance is <b>desirable</b> for the appropriate development and use of the land, building or structure</p>	<ul style="list-style-type: none"> <li>• The subject property is abutted by a residential use to the west and a road right of way to the east.</li> <li>• The proposed variance would allow the proposed shed for the purpose of storage.</li> <li>• The proposed reduced setback maintains adequate space for sidewalks, landscaping, utilities and sufficient setback for access for the maintenance of the property.</li> <li>• Planning staff are satisfied that the minor variance is desirable, and appropriate for the development and use of the land.</li> </ul>

**Conclusion**

In conclusion, planning staff is of the opinion that the requested variance application **meets the four tests** of the *Planning Act*. Staff trust that this report will be of assistance to the Committee in their consideration of this matter.

**Engagement Opportunities**

Township Active Planning Application Website;  
 Public Notice of Hearing and Committee Decision (Statutory);  
 Notice of Public Hearing Resident Guide.



**Attachments**

Schedule "A" Application

Schedule "B" Sketch

Schedule "C" Staff/Public/Agency Comments

**Respectfully submitted,**

**Reviewed by:**

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**Mehul Safiwala,  
Junior Planner**

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**Justine Brotherston,  
Interim Municipal Clerk**

Cloudpermit application number  
CA-3523001-P-2024-60

**Applicant, Property owner, Payer**

Last name Rawnsley	First name Curtis	Corporation or partnership
Street address 41 Lake Ave West PVT	Unit number	Lot / Con.
Municipality PUSLINCH	Postal code N0B 2J0	Province ON
Other phone	Mobile phone [REDACTED]	
Fax	Email [REDACTED]	

**Subject Land Information**

Address	Legal description	Roll number
41 LAKE AVENUE PV W (Primary)	PLAN 373 LOT 5 LOT 23	2301000003172000000

**Sworn Declaration of Applicant**

Complete in the presence of a Commissioner for taking affidavits

I, Curtis Rawnsley, solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the Applicant is accurate and that the information contained in the documents that accompany this application is accurate, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature of Applicant (in presence of a Commissioner for taking affidavits)

Signature of Commissioner for taking affidavits

Municipality

Day, month, year

Township of Puslinch

28 AUG 2024

Place an imprint of your stamp below

Monika Alyse Famcombe, a Commissioner, etc.,  
Province of Ontario, for the Corporation of the  
Township of Puslinch.  
Expires February 14, 2027.

## Affidavit and signatures


### Applicant

The Curtis Rawnsley, Applicant is required to agree to erect and maintain a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits. The sign will be provided to the applicant for posting on the property by Township planning staff along with instructions on how and where to post the sign. The sign must be posted at least 10 days prior to the Committee of Adjustment meeting date for the application and must remain on the property until the 20 day appeal period is expired.

### Notice with respect to collection of personal information

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.

 Digitally signed on August 25, 2024 at 8:54:31 a.m. EDT by Curtis Rawnsley.

Send correspondence to	
Send correspondence to <input checked="" type="checkbox"/> Owner(s) <input type="checkbox"/> Agent <input type="checkbox"/> Others	
Who to send the Invoice to <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Agent <input type="checkbox"/> Other	

Provide a description of the "entire" property			
Concession	Lot LOT 5 LOT 23	Registered Plan Number PLAN 373	
Area in Hectares	Area in Acres	Depth in Meters 348.6912	
Depth in Feet 1144	Frontage in Meters 15.24	Frontage in Feet 50	Width of road allowance (if known)

Reason for Application
Please indicate the Section of the Planning Act under which this application is being made <input checked="" type="checkbox"/> Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.) <input type="checkbox"/> Section 45(2) relates to a change to or expansion of an existing legal non- conforming use

<p>What is the nature and extent of the relief that is being applied for?</p> <p>The current required setback is 6m and we would like a minor variance adjustment to 2m, in line with other structures on the road. On Lake Ave West, all homes consider the road as back yard facing, not front. All fencing, garages, sheds have been constructed with this in mind. For example, 33 Lake Ave W has a garage/shed with a setback of 5m. Other homes have various sheds, raised gardens and fencing commonly associated with backyard set ups. 43 Lake Ave W (our immediate neighbour) has a fence on the property line that is equivalent to our proposed wall height - a visually more imposing structure than our proposed shed. We are asking to locate our shed behind our fence/shrubs, in a very discreet corner our 'backyard',</p>	<p>Why is it not possible to comply with the provisions of the by-law?</p> <p>Based on the location of our septic bed, buried hydro and propane tank, this is the only possible location.</p>
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What is the current Official Plan and zoning status?	
Official Plan Designation ?	Zoning Designation ?
<p>What is the access to the subject property?</p> <p> <input type="checkbox"/> Provincial Highway    <input type="checkbox"/> Continually maintained municipal road    <input type="checkbox"/> Seasonally maintained municipal road  <input checked="" type="checkbox"/> Other    <input type="checkbox"/> Continually maintained county road </p>	<p>If other please specify Private Road</p>
<p>What is the name of the road or street that provides access to the subject property?</p> <p>LAKE AVENUE Private West</p>	<p>If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.</p>

Existing and Proposed Service		
<b>Indicate the applicable water supply and sewage disposal:</b>		
Private Well	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Water	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Provincial Water Taking Permit	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Private Septic	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Septic	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Other Provincial Waste Water System	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
How is storm drainage provided? *		
<input type="checkbox"/> Storm Sewers <input type="checkbox"/> Ditches <input checked="" type="checkbox"/> Swales <input type="checkbox"/> Other means		

Existing Subject and Abutting Property Land Uses, Buildings and their Locations	
What is the existing use of the subject property? Residential	What is the existing use of the abutting properties? To the East, road/right-of-way. To West, residential.

Provide the following details for all existing buildings on the subject land		
Main Building Height in Meters 6	Main Building Height in Feet 20	Percentage Lot Coverage in Meters 22.86
Percentage Lot Coverage in Feet 75	Number of Parking Spaces 2	Number of Loading Spaces 0
Number of Floors 1.5	Total Floor Area in Square Meters 158.346	Total Floor Area in Square Feet 1704.42
Ground Floor Area (Exclude Basement) in Square Meters 138.694	Ground Floor Area (Exclude Basement) in Square Feet 1492.89	

Provide the following details for all buildings proposed for the subject land		
Main Building Height in Meters 4	Main Building Height in Feet 14	Percentage Lot Coverage in Meters 2
Percentage Lot Coverage in Feet 2	Number of Parking Spaces 0	Number of Loading Spaces 0
Number of Floors 1	Total Floor Area in Square Meters 26.013	Total Floor Area in Square Feet 280
Ground Floor Area (Exclude Basement) in Square Meters 0	Ground Floor Area (Exclude Basement) in Square Feet 0	

**What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)**

Front Yard in Meters 2	Front Yard in Feet 6.5	Rear Yard in Meters 3.9
Rear Yard in Feet 13	Side Yard (interior) in Meters 8	Side Yard (interior) in Feet 26.2
Side Yard (Exterior) in Meters 2	Side Yard (Exterior) in Feet 6.5	

**What are the dates of acquisition and construction of subject property and building property**

Date of acquisition of subject property January 17, 2024	Date of construction of buildings property September 15, 2024	How long have the existing uses continued on the subject property? 50+years
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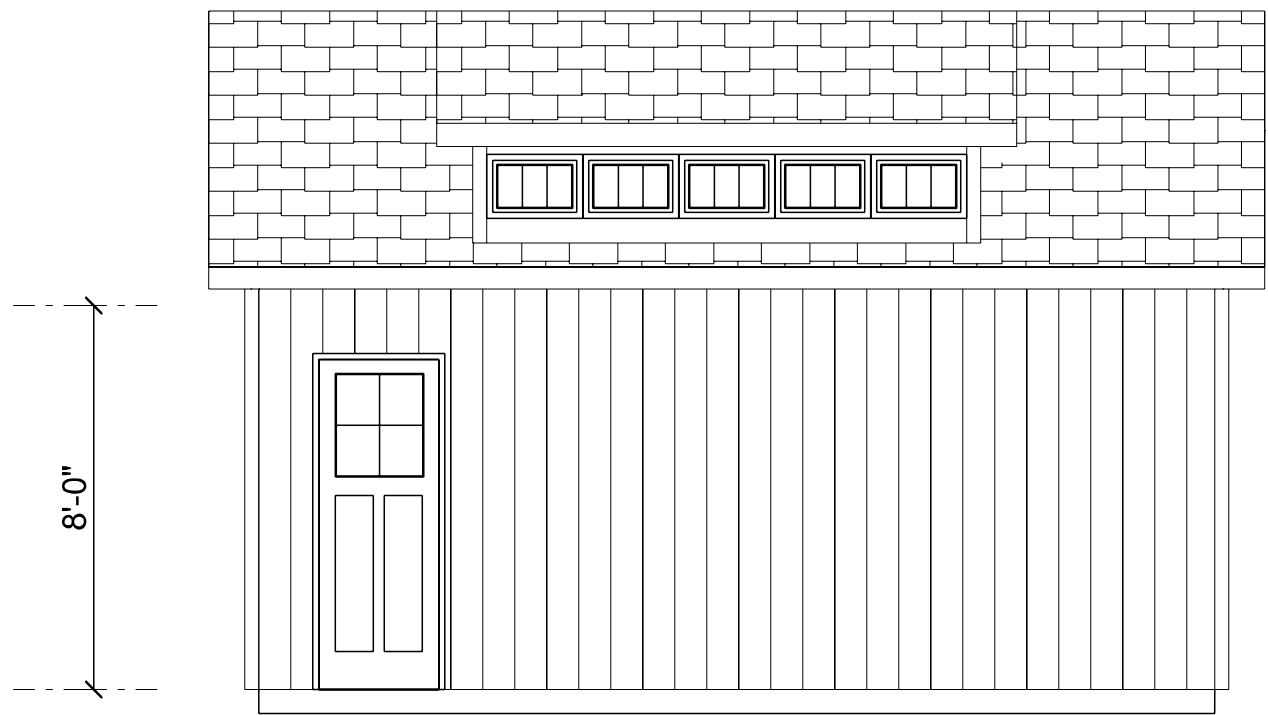
Has the owner previously applied for relief in respect of the subject property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
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**Other Related Planning Applications**

Planning Application: Official Plan Amendment <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Zoning By-Law Amendment <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Planning Application: Plan of Subdivision <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Consent (Severance) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Planning Application: Site Plan <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Minor Variance <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Minor Variance: File Number	Minor Variance: Approval Authority	Minor Variance: Subject Lands
Minor Variance: Purpose	Minor Variance: Status	

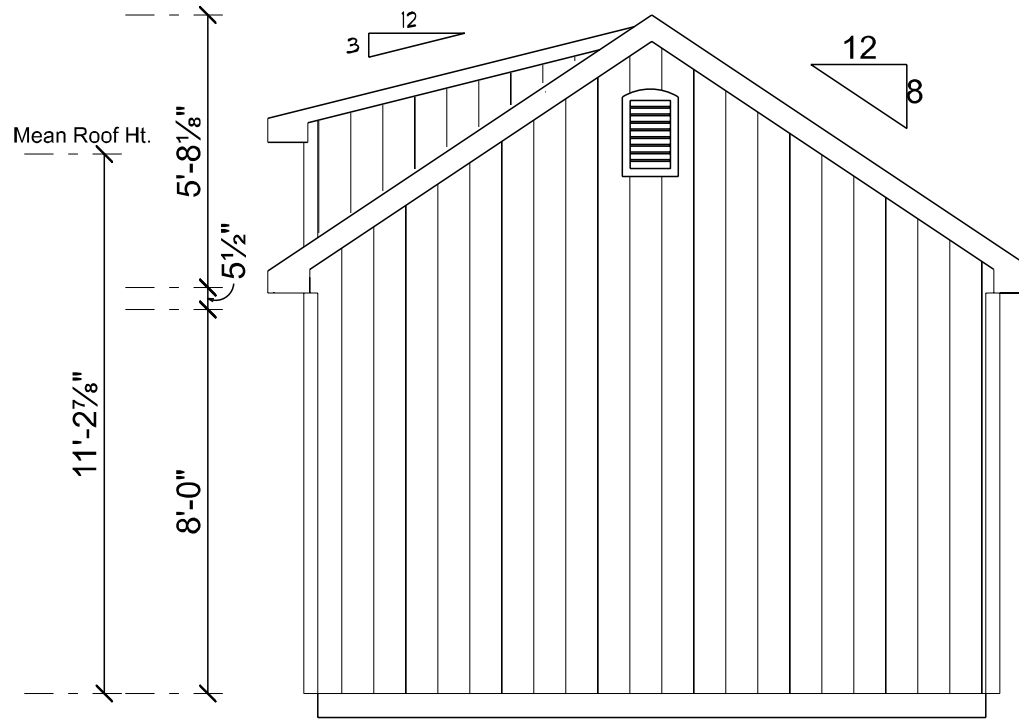
**Minor Variance Application must be commissioned**

Please confirm the following <input checked="" type="checkbox"/> I understand that prior to the Minor Variance Application being deemed complete it must be commissioned by all registered owners or the agent responsible for the application.
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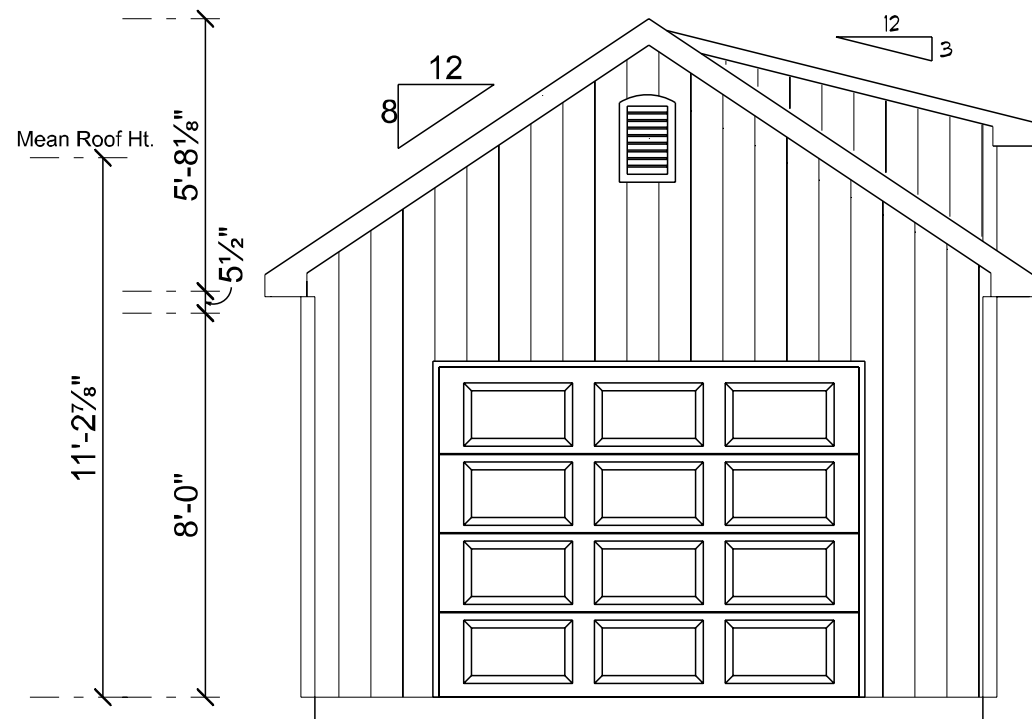
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



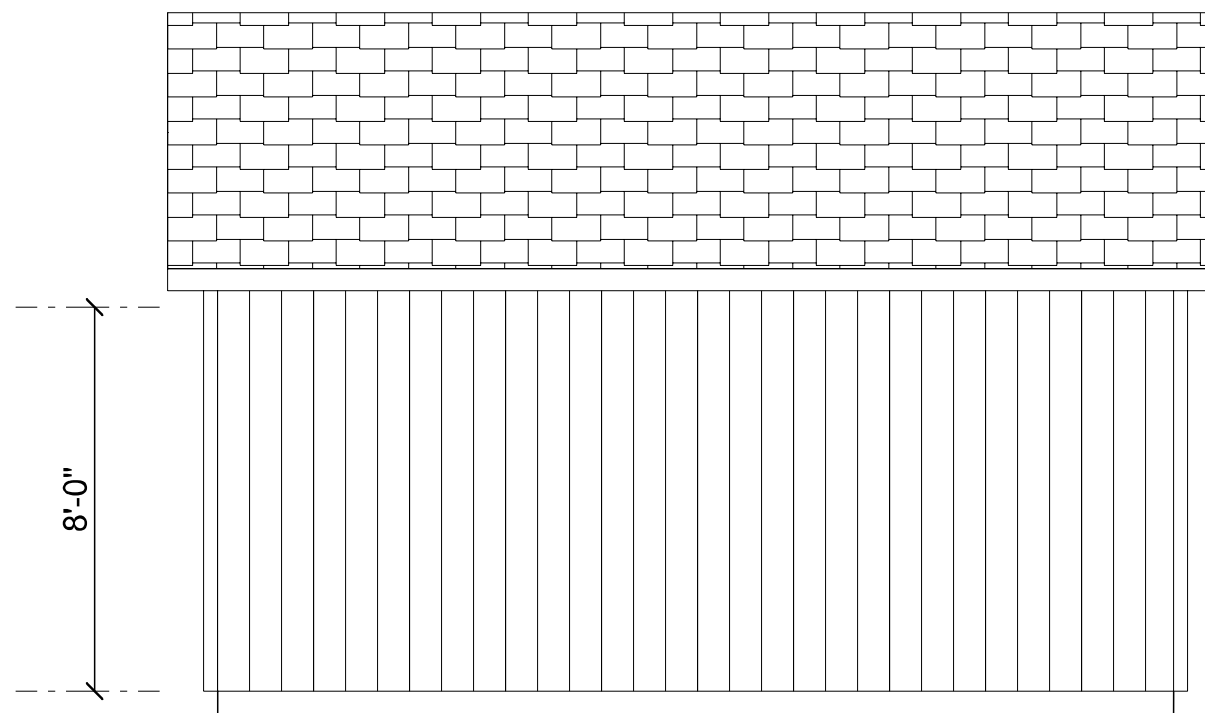
**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

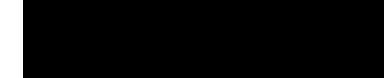
NOTES:

THESE DRAWINGS MUST BE SIGNED TO BE VALID FOR PERMIT. THEY ARE VALID ONLY FOR THE ORIGINAL ADDRESS IN THE TITLE BLOCK



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C-3.2.5.1 of the 2012 O.B.C.



John Vanderwoerd BCIN 21611

**REGISTRATION INFORMATION**  
Required unless design is exempt under Division C-3.2.4.1 of the 2012 O.B.C.  
Firm Name: Vanderwoerd Drafting & Design  
BCIN 38975



John Vanderwoerd, M.A.A.T.O.  
34 Duke Street, Arthur, Ontario N0G 1A0  
www.ontariohomedesign.ca  
519-848-2128

DRAWN BY:

**JOHN VANDERWOERD,  
M.A.A.T.O. BCIN: 21611**

CONTRACTOR

**BOSMAN HOME FRONT INC.  
RR#1 PALMERSTON, ON**

STARTING DATE:  
June 24, 2024

LAST REVISION DATE:  
Jun 27, 2024

CUSTOMER:

**Curtis Rawnsley  
41 Lake Ave West  
Puslinch, ON**

PROJECT:

**14x20 Garden Shed**

DRAWING TITLE:

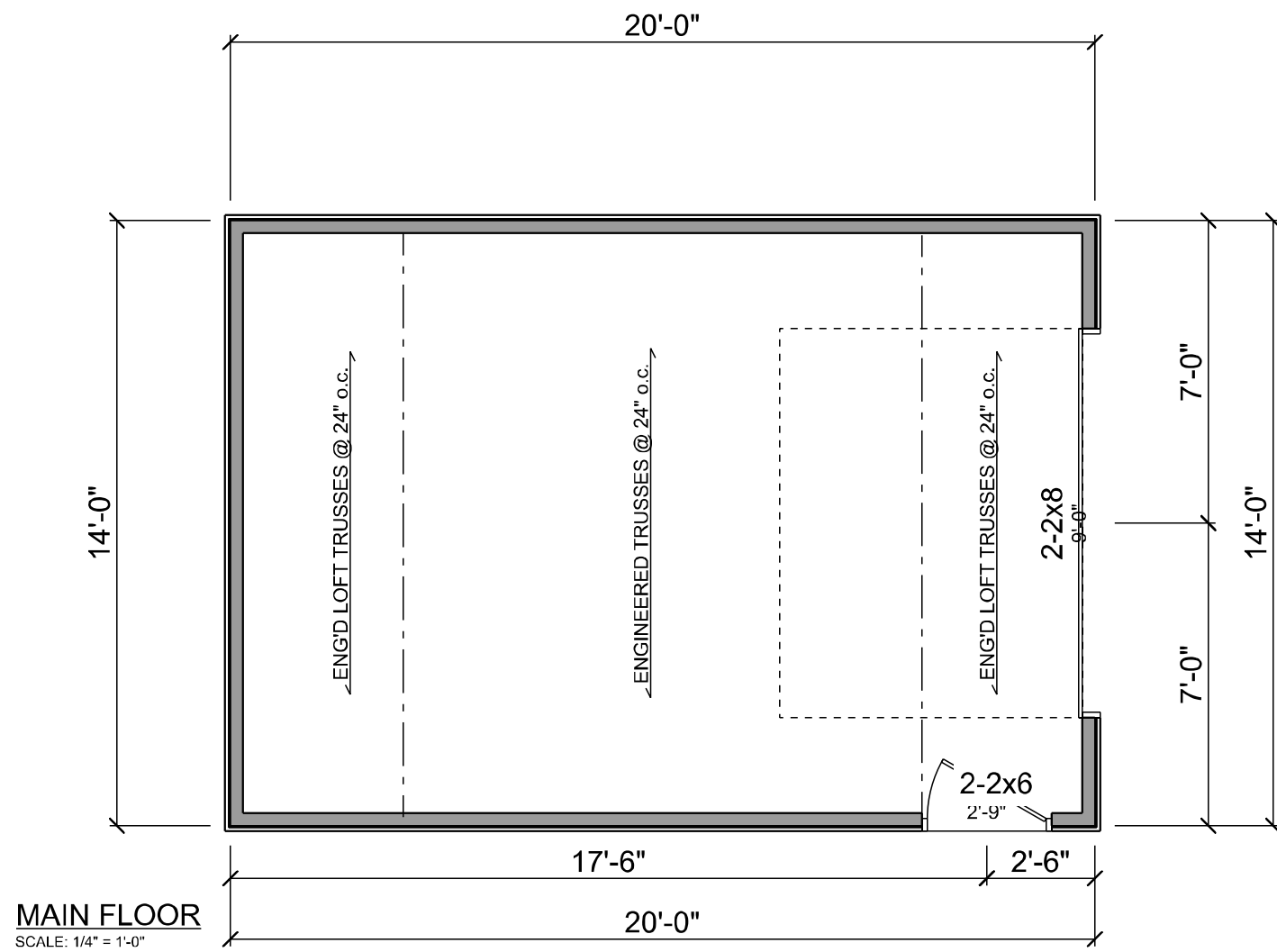
**Elevations**

DRAWING #:  
24-100

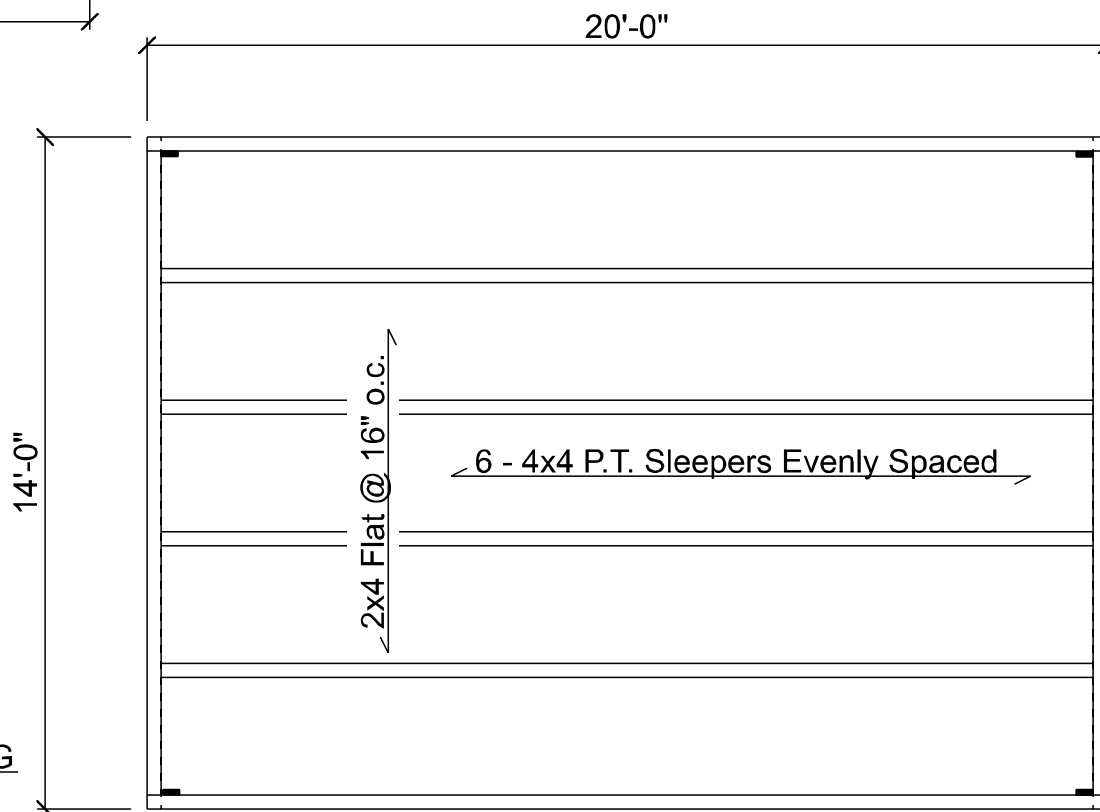
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1/4" = 1'-0"

PAGE #:  
1 of 3

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**FOUNDATION DRAWING**  
SCALE: 1/4" = 1'-0"



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John Vanderwoerd BCIN 21611

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Firm Name: Vanderwoerd Drafting & Design  
BCIN 38975

**VANDERWOERD**  
DRAFTING & DESIGN

John Vanderwoerd, M.A.A.T.O.  
34 Duke Street, Arthur, Ontario N0G 1A0  
www.ontariohomedesign.ca  
519-848-2128

DRAWN BY:  
**JOHN VANDERWOERD,**  
M.A.A.T.O. BCIN: 21611

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**BOSMAN HOME FRONT INC.**  
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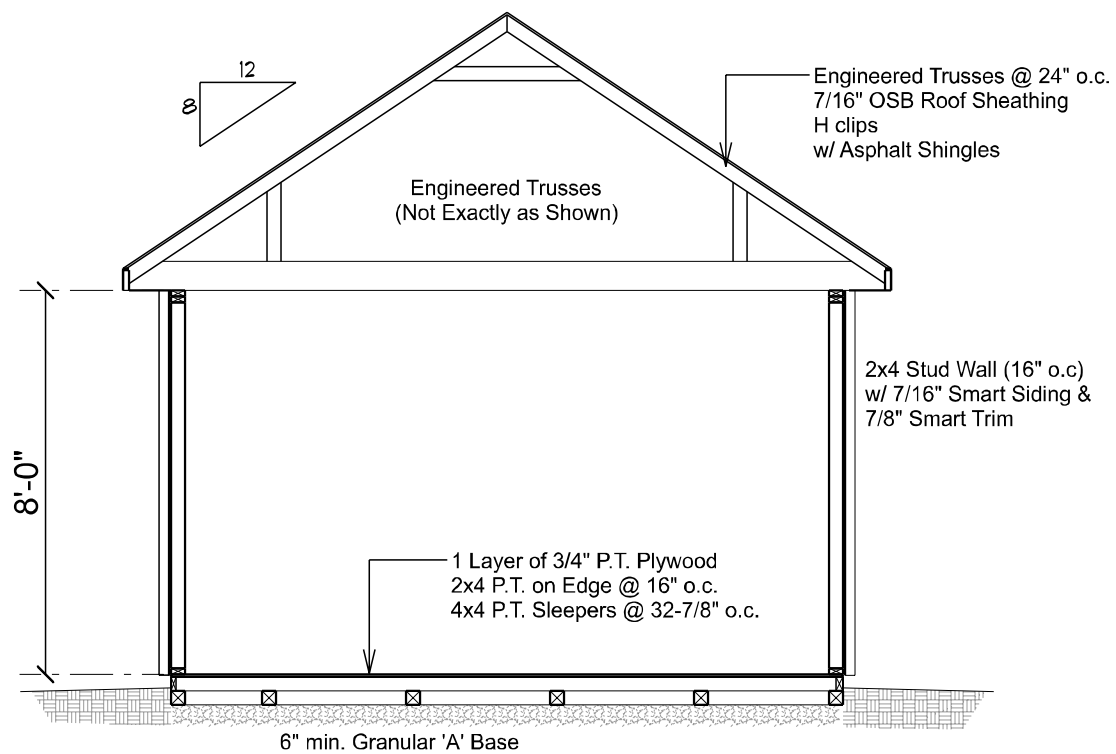
CUSTOMER:  
Curtis Rawnsley  
41 Lake Ave West  
Puslinch, ON

PROJECT:  
14x20 Garden Shed

DRAWING TITLE:  
Floor Plans

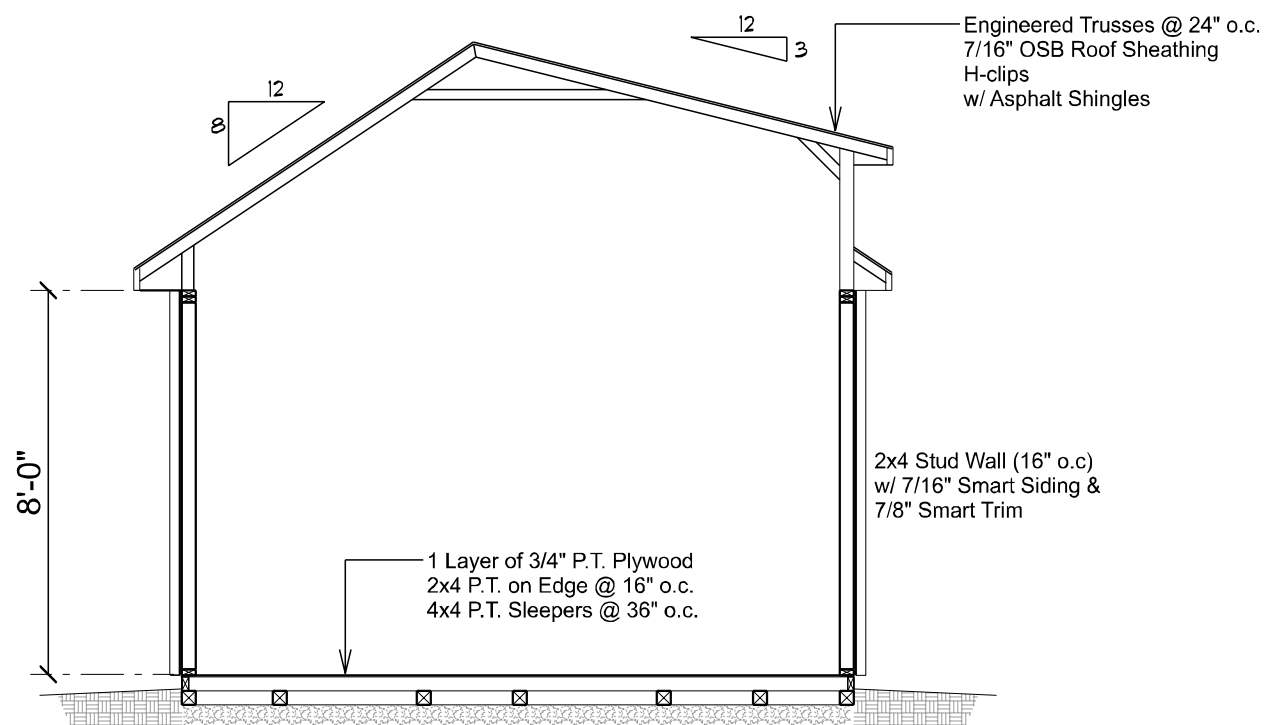
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**SECTION THROUGH**

SECTION  
SCALE: 1/4" = 1'-0"



**SECTION THROUGH**

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THEY ARE VALID ONLY FOR THE  
ORIGINAL ADDRESS  
IN THE TITLE BLOCK



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C-3.2.5.1 of the 2012 O.B.C.

John Vanderwoerd BCIN 21611

**REGISTRATION INFORMATION**  
Required unless design is exempt under Division C-3.2.4.1 of the 2012 O.B.C.  
Firm Name: Vanderwoerd Drafting & Design  
BCIN 38975

**VANDERWOERD**  
DRAFTING & DESIGN

John Vanderwoerd, M.A.A.T.O.  
34 Duke Street, Arthur, Ontario N0G 1A0  
www.ontariohomedesign.ca  
519-848-2128

DRAWN BY:  
**JOHN VANDERWOERD,**  
M.A.A.T.O. BCIN: 21611

CONTRACTOR  
**BOSMAN HOME FRONT INC.**  
RR#1 PALMERSTON, ON

STARTING DATE:  
June 24, 2024

LAST REVISION DATE:  
Jun 27, 2024

CUSTOMER:  
Curtis Rawnsley  
41 Lake Ave West  
Puslinch, ON

PROJECT:  
14x20 Garden Shed

DRAWING TITLE:  
Section

DRAWING #: 24-100  
SCALE: 1/4" = 1'-0"  
PAGE #: 3 of 3

THESE DRAWINGS ARE COPYRIGHT PROTECTED AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN CONSENT OF VANDERWOERD DRAFTING & DESIGN. ALL DIMENSIONS TO BE VERIFIED BY ON-SITE CONTRACTOR AND ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE DESIGNER. WE WILL NOT BE RESPONSIBLE FOR COSTS INCURRED WHICH GO UNREPORTED, OR CHANGES MADE TO THESE PLANS WITHOUT WRITTEN AUTHORIZATION FROM VANDERWOERD DRAFTING & DESIGN.

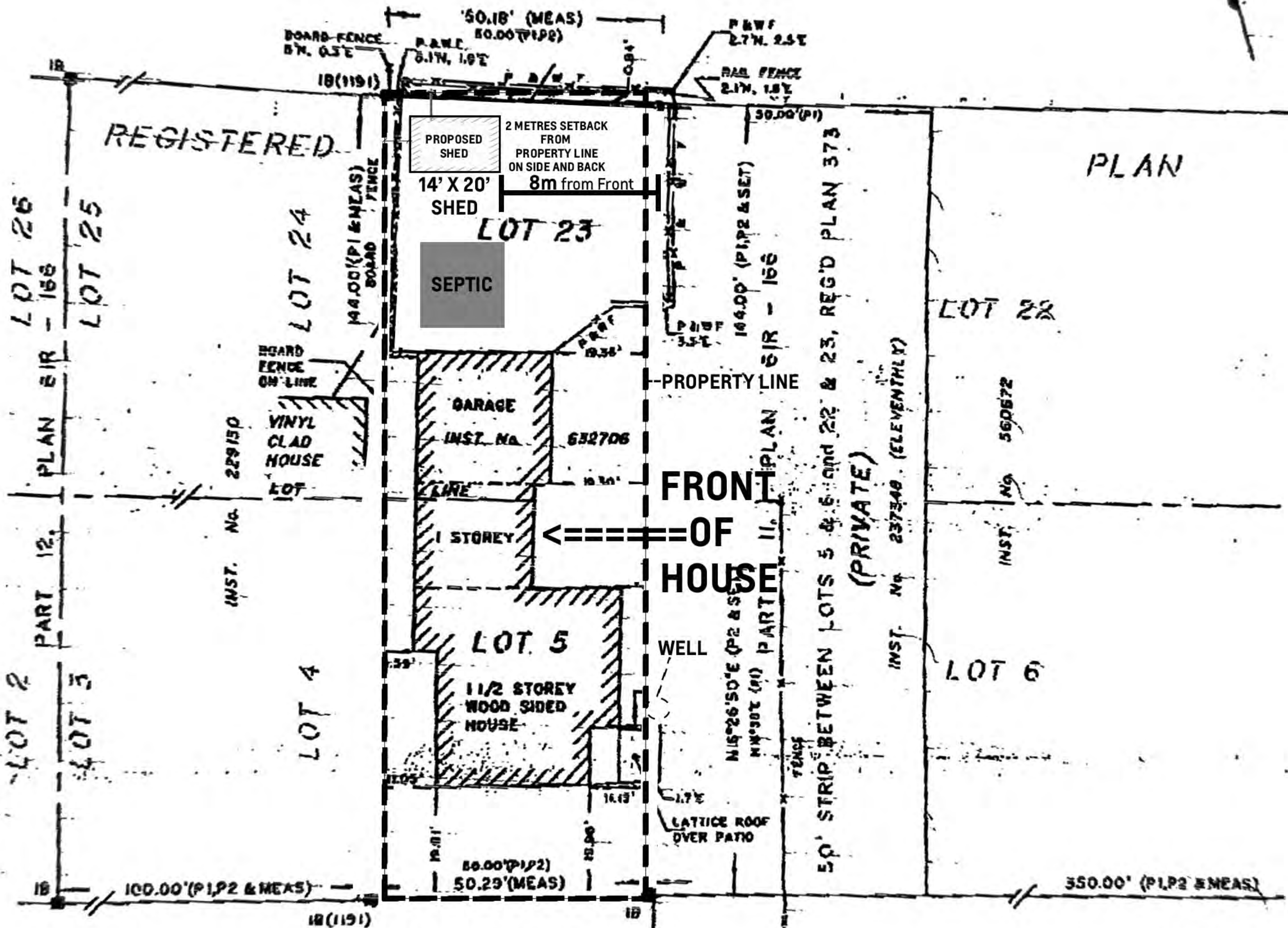
LAKE

(BY REGISTERED PLAN 373)

AVENUE (PRIVATE)



PART 7, PLAN 61R - 166  
INST. No. 237348 (SEVENTHLY)



PLAN

FRONT OF HOUSE

(PRIVATE) BOULEVARD

(BY REGISTERED PLAN 373)

PART

13.

PLAN

61R - 166

INST. No. 237348 (THIRTEENTHLY)



## COUNTY OF WELLINGTON

PLANNING AND DEVELOPMENT DEPARTMENT  
Aldo Salis, BES, M.Sc. MCIP, RPP., DIRECTOR  
TEL: (519) 837-2600  
FAX: (519) 823-1694  
1-800-663-0750

ADMINISTRATION CENTRE  
74 WOOLWICH STREET  
GUELPH, ONTARIO  
N1H 3T9

September 24, 2024

BY E-MAIL

Lynne Banks, Secretary-Treasurer  
Committee of Adjustment  
Township of Puslinch  
7404 Wellington Rd 34  
Puslinch, ON N0B 2J0

Dear Ms. Banks:

**Re: Proposed Minor Variance – D13-RAW  
Curtis Rawnsley  
41 Lake Ave. W. PVT  
Township of Puslinch**

---

Thank you for circulating the above noted application to our office. These comments are offered without the benefit of a site visit. It is our understanding that the following relief is being requested from Zoning By-law No. 023-18, Section 4.4.2, Table 4.1:

- To permit a reduced front yard setback of 2 m, as opposed to a minimum required front yard setback of 6 m.


The subject lands are designated as Recreational in the County Official Plan and are located within the Special Policy Area 9.8.2 for the Puslinch Lake Area. Planning staff note that this relief is to facilitate the construction of an accessory building (shed).

Overall, staff do not have any concerns with the proposed minor variance application.

I trust that these comments will be of assistance to the Committee. We would appreciate a copy of the Committee's decision with respect to this application.

Yours truly,

  
Jamie Barnes  
Junior Planner

  
Asavari Jadhav  
Planner

## **Comments - 41 Lake Ave**

### **Sourcewater**

Since this property is located in a vulnerable area (wellhead protection area, issues contributing area, intake protection zone etc.), but the activity(ies), as indicated, would not create a significant drinking water threat, the application can be screened out and it does not require a Section 59 notice under the Clean Water Act. Please note that we may provide comments on any future applications subject to this property, given the vulnerable areas.

### **Public Works/By-law** - No comments

**Building** - No concerns from building code perspective. Owner is to obtain a building permit prior to commencing construction.

### **Fire**

Puslinch Fire and Rescue reviewed the minor variance application and completed a site inspection to determine if proximity to other structures on adjacent properties would pose an fire exposure concern. . The department has no concerns with the application.

### **County of Wellington Roads** - No comments

**GRCA** – no comments



## **REPORT D13-2024-014**

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TO: Committee of Adjustment Chair and Members of Committee

PREPARED BY: Mehul Safiwala, Junior Planner

PRESENTED BY: Mehul Safiwala, Junior Planner

MEETING DATE: October 8, 2024

SUBJECT: Minor Variance Application D13/MAR (John Martinello)  
4660 Sideroad 10 N  
Puslinch Concession 4 Part Lot 10

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### **RECOMMENDATION**

**That Report D13-2024-014 entitled Minor Variance Application D13/MAR be received; and**

**Whereas the variance requested would provide relief from Section 4.2.a.i), of Township Comprehensive Zoning By-law 2018-023, as amended (Zoning By-law), requesting permission to allow an additional residential unit (ARU) to be maximum of 69.63% (113.48 m<sup>2</sup>) of the total floor area of principal dwelling to satisfy condition of consent application B139/22 (Lot line Adjustment) instead of the 45% of the total floor area of the principal dwelling unit up to a maximum of 130m<sup>2</sup>; and**

**Whereas Township staff have identified that additional information is required in order to process the minor variance applications;**

**Therefore, planning staff recommends deferral of the application until the following conditions are fulfilled:**

- 1. That an updated ground floor plan of the garage/ARU is provided to reflect current built conditions and accurate Zoning By-law relief calculations to the satisfaction of the Chief Building Official; and,**
- 2. That a building permit be obtained and finalized for the finished basement of the principal dwelling unit as the current built conditions of the principal dwelling unit are an essential part of the minor variance application for the ARU calculation of habitable room.**

**Purpose**

Regulation	By-law Section	Required	Proposed	Relief Requested
Comprehensive Zoning By-law # 23-2018, as amended	Additional Residential Units, Section 4.2.a.i,	The maximum total floor area of an additional residential unit shall not exceed 45 percent of the total floor area of the principal dwelling unit up to a maximum of 130 m <sup>2</sup> .	69.63% (113.48 m <sup>2</sup> )	24.63% (40.139 m <sup>2</sup> )

**Subject Property Key Map**



**Discussion**

The below analysis is based on the information provided by the applicant and cannot be confirmed by Township staff until such time that the recommended conditions are fulfilled. Subject to Committee’s decision related to the deferral staff will report back with a detailed review of the four tests once the required information is obtained.

Four Tests	Discussion
<p>That the requested variance is <b>minor</b> in nature</p>	<ul style="list-style-type: none"> <li>• The subject lands contain an existing single family dwelling and an accessory building which includes an additional residential unit (ARU).</li> <li>• The purpose of the application is to satisfy the condition of consent application <b>B139/22</b> to comply with the Zoning By-law, to recognise and allow an existing Additional Residential unit of 113.48 m<sup>2</sup> (1221.49 ft<sup>2</sup>) in accessory building on the subject lands.</li> <li>• It is noted that the building permit <b>TOP-2020-0144</b> was issued for the Accessory building (detached garage with accessory apartment) in 2021, however this permit has not been finalized due to changes noted to the floor plan during abuilding inspection.</li> <li>• This application reflects the owner's current intention to construct, and a permit revision would be required to be submitted for the building permit.</li> </ul>
<p>That the intent and purpose of the <b>Zoning By-law</b> is maintained</p>	<ul style="list-style-type: none"> <li>• The subject lands are within an Agricultural Zone.</li> <li>• The single detached dwelling unit and accessory building containing an additional residential unit are permitted uses within the Reduced Agricultural Zone, in accordance with section 11.2, Table 11.1 of the Zoning By-law.</li> <li>• The intent of the subject application is to facilitate construction of additional accessory dwelling unit with an increased maximum <b>69.63% (113.48m<sup>2</sup>)</b> total floor area of the principal dwelling unit, whereas Section 4.4.a.i) state that the maximum total floor area of an additional residential unit shall not exceed 45 percent of the total floor area of the principal dwelling unit of the Zoning By-law, which exceeds permission by <b>24.63% (40.139 m<sup>2</sup>)</b>. The application has indicated that the proposed new accessory building has 2 stories, with ground floor being a garage and 2<sup>nd</sup> floor as an ARU.</li> <li>• The ARU appears to meet all the requirement of the Zoning By-law.</li> <li>• The accessory building is 139.36 m<sup>2</sup> (1500 ft<sup>2</sup>) in size, with a three (3) car garage on the main floor and the ARU having a floor area of 113.48 m<sup>2</sup> (1221.49 ft<sup>2</sup>) on the second floor; Whereas total maximum allowed lot coverage for accessory building and structures is 200 m<sup>2</sup> according to section 4.4.2, Table 4.1 of the Zoning By-law.</li> <li>• It is noted that the total principal dwelling lot coverage is 2.00 %; the maximum allowed lot coverage of the subject land is 30% and with new building being introduced, it amounts to 5.58%.</li> </ul>

	<ul style="list-style-type: none"> <li>The intent of providing a maximum total floor area is to ensure that the Additional Residential unit use is clearly secondary and subordinate to the principal dwelling unit, that the size and massing of the buildings/structures on the property are compatible with the neighbourhood, and to ensure there is adequate space to accommodate servicing on a portion of the property.</li> </ul>
<p>That the general intent and purpose of the <b>Official Plan</b> is maintained</p>	<ul style="list-style-type: none"> <li>The Property is designated Secondary Agricultural within the County Official Plan.</li> <li>The subject lands are identified as being within the Paris Galt Moraine Policy.</li> <li>A single detached dwelling is a permitted use in the Secondary Agricultural designation.</li> </ul>
<p>That the variance is <b>desirable</b> for the appropriate development and use of the land, building or structure</p>	<ul style="list-style-type: none"> <li>The subject property is surrounded by rural residential and agricultural uses.</li> <li>The proposed variance would facilitate recognition of the construction of an accessory building to provide secondary residential space in addition to 3 parking space garage.</li> <li>Driveway access to both the principal dwelling unit and secondary dwelling unit is shared and limited to one, therefor no new entrance from the road has proposed.</li> <li>The proposed accessory building meets the required setback.</li> </ul>

**Conclusion**

In conclusion, planning staff is recommending deferral until an updated drawing for Garage/ARU is submitted. Staff trust that this report will be of assistance to the Committee in their consideration of this matter.

**Engagement Opportunities**

Township Active Planning Application Website;  
 Public Notice of Hearing and Committee Decision (Statutory);  
 Notice of Public Hearing Resident Guide.

**Attachments**

Schedule “A” Application  
 Schedule “B” Sketch  
 Schedule “C” Staff/Public/Agency Comments



Respectfully submitted,

Reviewed by:

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Mehul Safiwala,  
Junior Planner

---

Justine Brotherston,  
Interim Municipal Clerk

Cloudpermit application number  
CA-3523001-P-2024-66

**Applicant**

Last name Shoemaker	First name Nancy	Corporation or partnership
Street address [REDACTED]	Unit number [REDACTED]	Lot / Con.
Municipality Guelph	Postal code N1H 8J1	Province Ontario
Other phone [REDACTED]	Mobile phone [REDACTED]	
Fax	Email [REDACTED]	

**Subject Land Information**

Address	Legal description	Roll number
4660 SIDEROAD 10 N (Primary)	PUSLINCH CON 4 PT LOT 10 RP;61R21817 PART 1	2301000001015030000

**Sworn Declaration of Applicant**

Complete in the presence of a Commissioner for taking affidavits

I, Nancy Shoemaker, solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the Applicant is accurate and that the information contained in the documents that accompany this application is accurate, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature of Applicant (sign in the presence of a Commissioner for taking affidavits)

[REDACTED]

Signature of Commissioner for taking affidavits

[REDACTED]

Municipality

*City of Guelph*

Day, month, year

*22 / 08 / 2024*

Place an imprint of your stamp below

*Kerry Francis Hillis, a Commissioner, etc.,  
Province of Ontario, for J.D. Barnes Limited.  
Expires April 11, 2025*

**Affidavit and signatures**

**Applicant**

The Nancy Shoemaker, Applicant is required to agree to erect and maintain a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits. The sign will be provided to the applicant for posting on the property by Township planning staff along with instructions on how and where to post the sign. The sign must be posted at least 10 days prior to the Committee of Adjustment meeting date for the application and must remain on the property until the 20 day appeal period is expired.

**Notice with respect to collection of personal information**

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.

Signature

Date



*August 22, 2024*

Nancy Shoemaker

Send correspondence to	
Send correspondence to <input checked="" type="checkbox"/> Owner(s) <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Others	Please provide the name of Other Nancy Shoemaker
Who to send the Invoice to <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Agent <input type="checkbox"/> Other	

Provide a description of the "entire" property			
Concession 4	Lot Part Lot 10	Registered Plan Number	
Area in Hectares 0.67 HA	Area in Acres 1.65 AC	Depth in Meters 121.98 m	
Depth in Feet 400 ft	Frontage in Meters 55 m	Frontage in Feet 180.4 ft	Width of road allowance (if known) 20 m

Reason for Application	
Please indicate the Section of the Planning Act under which this application is being made <input checked="" type="checkbox"/> Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.) <input type="checkbox"/> Section 45(2) relates to a change to or expansion of an existing legal non-conforming use	
What is the nature and extent of the relief that is being applied for? Relief to Section 4.2 a i) that limits an additional residential dwelling to 45% of the total floor area of the principal dwelling	Why is it not possible to comply with the provisions of the by-law? The additional residential dwelling is located on the second floor of an existing accessory dwelling. Using the full second floor of the accessory building maximizes the use of this building and provides a reasonable layout for an ARU. The principal building is very modest and limiting the ARU to 45% for smaller dwellings is too restrictive. The proposed ARU is less than the maximum floor area of 130 sq.m.

What is the current Official Plan and zoning status?	
Official Plan Designation Secondary Residential	Zoning Designation Agricultural (A)
What is the access to the subject property? <input type="checkbox"/> Provincial Highway <input checked="" type="checkbox"/> Continually maintained municipal road <input type="checkbox"/> Seasonally maintained municipal road <input type="checkbox"/> Other <input type="checkbox"/> Continually maintained county road	
What is the name of the road or street that provides access to the subject property? Sideroad 10 North	If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

**Existing and Proposed Service**

Indicate the applicable water supply and sewage disposal:

Private Well	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Water	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Provincial Water Taking Permit	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Private Septic	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Septic	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Other Provincial Waste Water System	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
How is storm drainage provided? *		
<input type="checkbox"/> Storm Sewers <input checked="" type="checkbox"/> Ditches <input type="checkbox"/> Swales <input type="checkbox"/> Other means		

**Existing Subject and Abutting Property Land Uses, Buildings and their Locations**

What is the existing use of the subject property? Rural Residential Dwelling with separate 3 car garage that included ARU on second floor of garage	What is the existing use of the abutting properties? Rural Residential and Agricultural
--	--

**Provide the following details for all existing buildings on the subject land**

Main Building Height in Meters 4.8 m (house) 6 m (detached garage)	Main Building Height in Feet 16 ft. (house) 20 ft (garage)	Percentage Lot Coverage in Meters 1.5% (house 100.3 sqm.) 2% (garage - 139.35 sq.m)
Percentage Lot Coverage in Feet 1.5% (house 1080 sq.ft) 2% (garage 1500 sq.ft.)	Number of Parking Spaces 3	Number of Loading Spaces N/A
Number of Floors 1 with finished basement (house) 2 (detached garage)	Total Floor Area in Square Meters 188.1 sq.m. (house) 265.8 (garage)	Total Floor Area in Square Feet 2025 sq.ft. House) 2862 sq.ft. (garage)
Ground Floor Area (Exclude Basement) in Square Meters 100.3 sq.m. (house) 139.35 (gargae)	Ground Floor Area (Exclude Basement) in Square Fee 1080 sq.ft (house) 1500 sq.ft. (garage)	

Provide the following details for all buildings proposed for the subject land		
Main Building Height in Meters No new building proposed	Main Building Height in Feet N/A	Percentage Lot Coverage in Meters N/A
Percentage Lot Coverage in Feet N/A	Number of Parking Spaces N/A	Number of Loading Spaces N/A
Number of Floors N/A	Total Floor Area in Square Meters N/A	Total Floor Area in Square Feet N/A
Ground Floor Area (Exclude Basement) in Square Meters N/A	Ground Floor Area (Exclude Basement) in Square Feet N/A	

What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)		
Front Yard in Meters 22.25 m (house) 27.4 m (garage)	Front Yard in Feet 73 ft. (house) 90 ft. (garage)	Rear Yard in Meters 89.3 m (house) 79.2 m (garage)
Rear Yard in Feet 293 ft. (house) 260 ft. (garage)	Side Yard (interior) in Meters L - 38.8 m R- 4.5 m (house) L- 4.5 m R- 41.3 m (garage)	Side Yard (interior) in Feet L - 127.5 ft. R- 15 ft. (house) L-15 ft. R- 135.5 ft. (garage)
Side Yard (Exterior) in Meters N/A	Side Yard (Exterior) in Feet N/A	

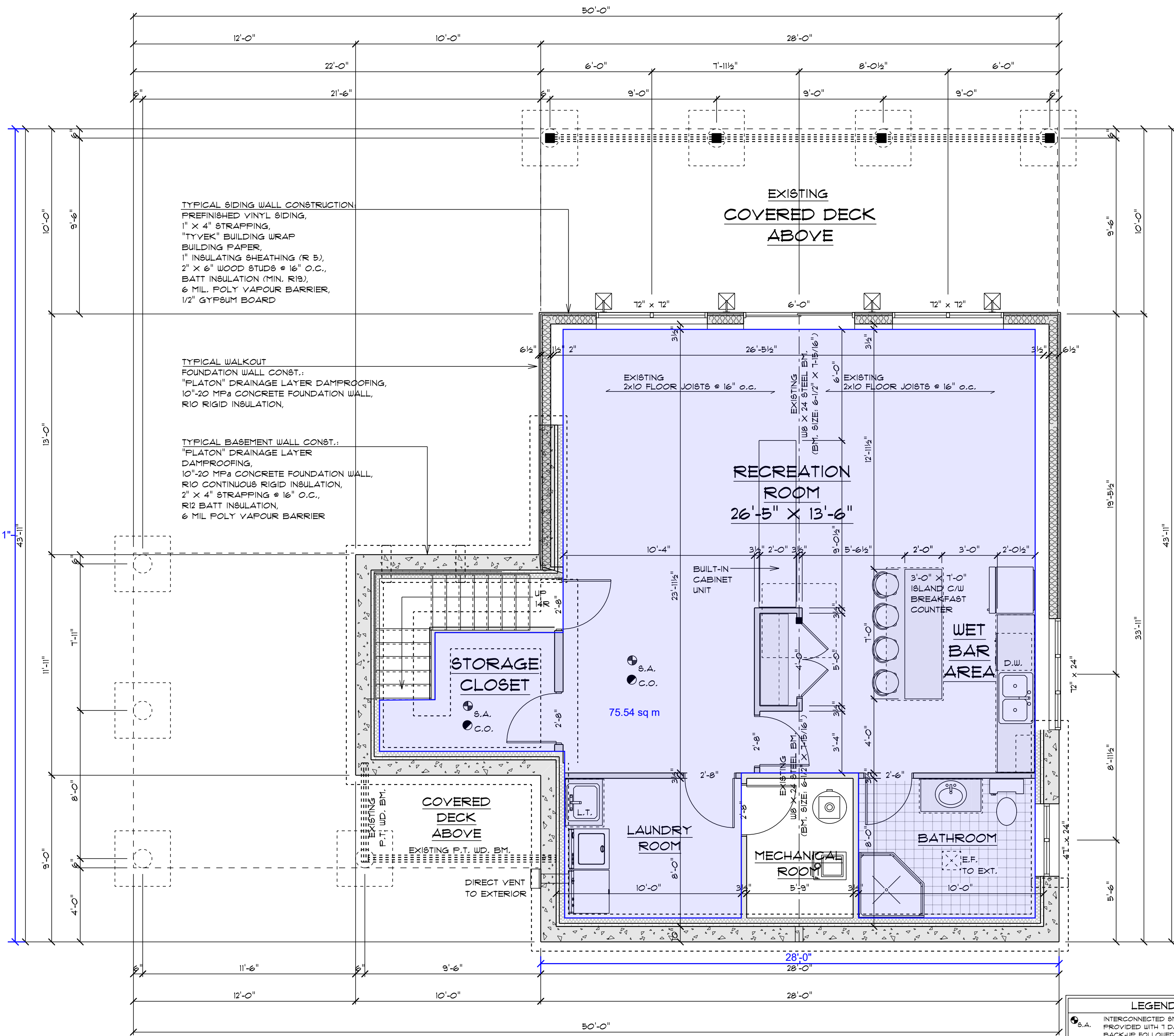
What are the dates of acquisition and construction of subject property and building property		
Date of acquisition of subject property December 22, 2020	Date of construction of buildings property 2021	How long have the existing uses continued on the subject property? 2 years
Has the owner previously applied for relief in respect of the subject property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

Other Related Planning Applications		
Planning Application: Official Plan Amendment <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Zoning By-Law Amendment <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Planning Application: Plan of Subdivision <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Consent (Severance) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Planning Application: Site Plan <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Minor Variance <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Consent (Severance): File Number B139-22	Consent (Severance): Approval Authority County of Wellington	Consent (Severance): Subject Lands Subject Lands & 4670 Sideroad 10 North
Consent (Severance): Purpose Lot Line Adjustment		Consent (Severance): Status Conditional Approval

**Minor Variance Application must be commissioned**

Please confirm the following

- I understand that prior to the Minor Variance Application being deemed complete it must be commissioned by all registered owners or the agent responsible for the application.



**TYPICAL SIDING WALL CONSTRUCTION:**  
 PREFINISHED VINYL SIDING,  
 1" X 4" STRAPPING,  
 "TYVEK" BUILDING WRAP  
 BUILDING PAPER,  
 1" INSULATING SHEATHING (R 5),  
 2" X 6" WOOD STUDS @ 16" O.C.,  
 BATT INSULATION (MIN. R19),  
 6 MIL. POLY VAPOUR BARRIER,  
 1/2" GYPSUM BOARD

**TYPICAL WALKOUT FOUNDATION WALL CONST.:**  
 "FLATON" DRAINAGE LAYER DAMPROOFING,  
 10"-20 MPa CONCRETE FOUNDATION WALL,  
 RIGID INSULATION,

**TYPICAL BASEMENT WALL CONST.:**  
 "FLATON" DRAINAGE LAYER DAMPROOFING,  
 10"-20 MPa CONCRETE FOUNDATION WALL,  
 RIGID INSULATION,  
 2" X 4" STRAPPING @ 16" O.C.,  
 R12 BATT INSULATION,  
 6 MIL POLY VAPOUR BARRIER

**EXISTING COVERED DECK ABOVE**

**RECREATION ROOM**  
 26'-5" X 13'-6"

**STORAGE CLOSET**

**WET BAR AREA**

**LAUNDRY ROOM**

**MECHANICAL ROOM**

**BATHROOM**

75.54 sq m

**THE MARTINELLO RESIDENCE**  
**4660 SIDE ROAD 10 NORTH, PUSLINC, ONTARIO N1H 6J3**  
**BASEMENT FLOOR PLAN-FINISHED**

SCALE: 1/4" = 1'-0"  
 FINISHED BASEMENT FLOOR AREA: 945 SQ. FT.  
 PLOT DATE: August 15, 2024

**GENERAL NOTES:**

- ALL CEILING HEIGHTS = 7'-0" UNLESS OTHERWISE NOTED.
- CEILING HEIGHT TO UNDERSIDE OF BEAMS AND DUCTWORK = 6'-5" MINIMUM.
- ALL WALL FINISHES TO BE 1/2" DRYWALL, TAPED, SANDED AND PAINTED UNLESS OTHERWISE NOTED.
- ALL CEILING FINISHES TO BE 1/2" DRYWALL, TAPED, SANDED AND PAINTED UNLESS OTHERWISE NOTED.
- ALL PARTITIONS TO BE 2" X 4" W.D. STUDS @ 16" O.C. WITH 1/2" DRYWALL BOTH SIDES, TAPED, SANDED & PAINTED.
- ALL CEILINGS TO BE 1/2" DRYWALL C/W "CALIFORNIA FINISH" UNLESS OTHERWISE NOTED.
- ALL FORCED AIR SUPPLY DUCTWORK TO BE EXTENDED TO FLOOR LEVEL.
- ALL PHONE AND CABLE LOCATIONS TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.

**LEGEND**

⊙ S.A.	INTERCONNECTED SMOKE ALARM PROVIDED WITH 1 DAY BATTERY BACK-UP FOLLOWED BY 4 MINUTES OF ALARM.
⊙ C.O.	CARBON MONOXIDE ALARM
(FAN)	CEILING MOUNTED EXHAUST FAN TO BE VENTED TO EXTERIOR. ALL BATHROOMS AND WATER CLOSET ROOMS TO BE MECHANICALLY VENTED. VENTILATION TO BE DETERMINED IN CONFORMANCE TO O.B.C. (9.32) BY H.V.A.C. CONTRACTOR

**GENERAL NOTES:**

- ALL CONCRETE WORK, FRAMING, HEATING, PLUMBING AND ELECTRICAL WORK IS TO MEET THE ONTARIO BUILDING CODE REQUIREMENTS (LATEST EDITION).
- ALL ELECTRICAL TO COMPLY WITH THE ONTARIO BUILDING CODE SECTION 9.34 (LATEST EDITION).
- WHERE WOOD IS IN CONTACT WITH CONCRETE, WOOD IS TO BE SET ON 6 MIL. POLY. OR BE OF P.T. MATERIAL.
- PROVIDE CONTINUOUS SILL GASKETS UNDER ALL SILL PLATES.
- ALL JOISTS TO HAVE 1-1/2" MIN. BEARING AT EACH END UNLESS NOTED OTHERWISE.
- ALL BEAMS TO HAVE 3-1/2" MIN. BEARING AT EACH END UNLESS NOTED OTHERWISE.
- PROVIDE JOIST BLOCKING @ 48" O.C. BELOW PARALLEL NONBEARING WALLS.
- ALL EXHAUST FANS TO BE VENTED TO EXTERIOR.
- ALL INTERIOR DOORS TO HAVE 85" HIGH R.S.O.
- ENSURE ALL BRICK LINTELS HAVE A MINIMUM OF 8" BEARING EACH SIDE TYPICAL.
- MAXIMUM HOT WATER TEMP. NOT TO EXCEED 49C EXCEPT FOR CLOTHES & DISH WASHERS.
- INSULATION IS REQ'D TO BE CONTINUOUS.
- GUARDS CONFORMING TO OBC 9.8.8. & 9.8.1 ARE REQUIRED FOR PORCHES EXCEEDING 24" ABOVE GRADE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCING THE WORK.
- DRAWINGS ARE NOT TO BE SCALED.

**DRAWINGS BY:**



53 Pleasant Road, Guelph, Ontario, Canada N1E 3Z5  
 tel: 519.822.5687 fax: 519.822.6062 email: billspira@sympatico.ca

I WILLIAM SPIRA, DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.4 OF DIVISION C. OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES.

INDIVIDUAL BCIN: 19438  
 FIRM BCIN: [REDACTED]  
 SIGNATURE: [REDACTED]

NO.	DATE	REVISION

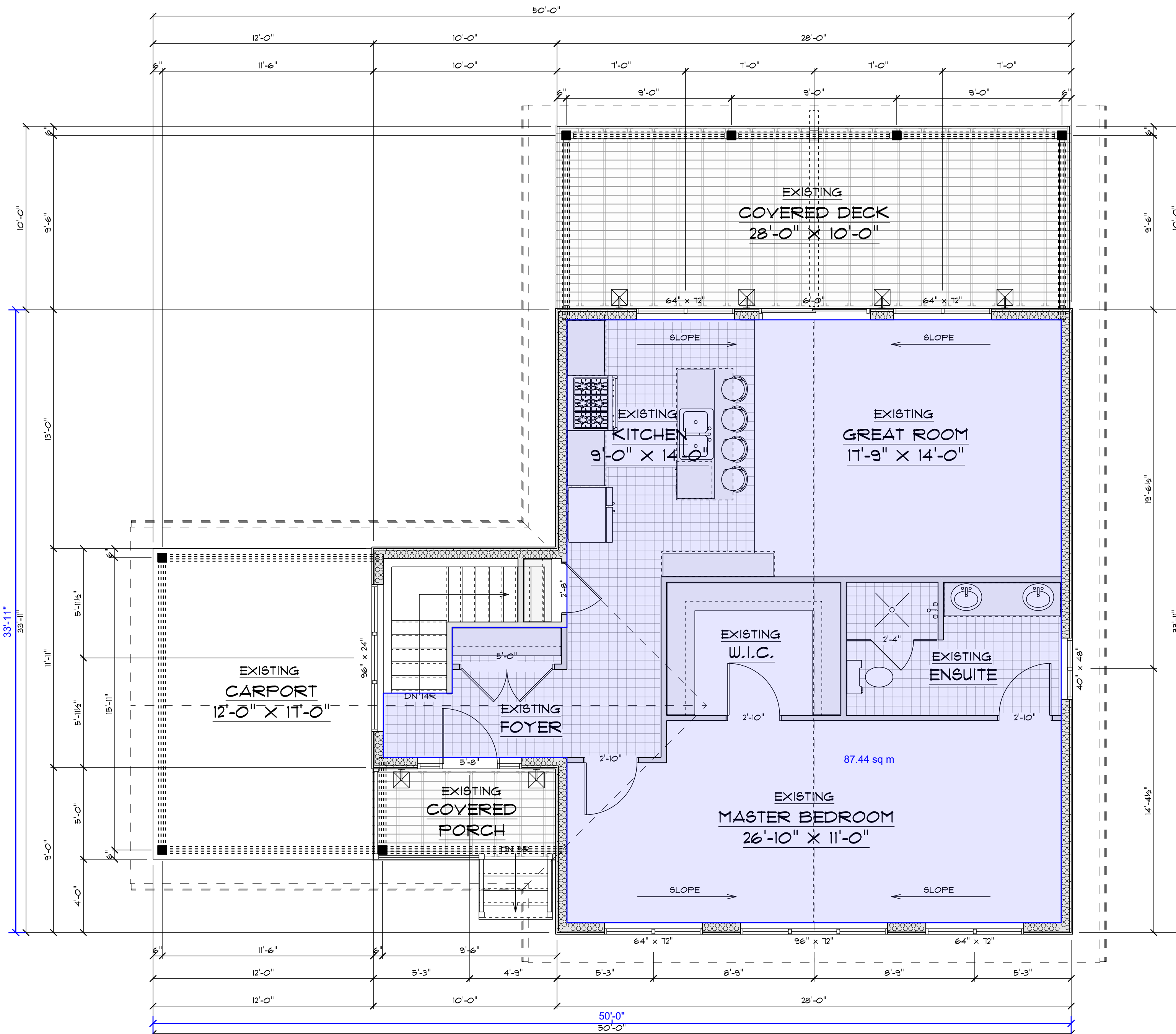
**CLIENT:**  
**KATHRYN & JOHN MARTINELLO**  
 4660 SIDE ROAD 10 NORTH,  
 PUSLINC, ONTARIO N1H 6J3

**PROJECT:**  
**PROPOSED BASEMENT FINISHES:**  
**THE MARTINELLO RESIDENCE**  
 4660 SIDE ROAD 10 NORTH,  
 PUSLINC, ONTARIO N1H 6J3

**DRAWING:**  
**BASEMENT FLOOR PLAN**

SCALE: 1/4" = 1'-0"	DRAWING NO. <b>A1</b>
DRAWN BY: B. SPIRA	
PLOT DATE: August 15, 2024	
DATE: August 2024	





**THE MARTINELLO RESIDENCE**  
**4660 SIDE ROAD 10 NORTH, PUSLINCH, ONTARIO N1H 6J3**  
**MAIN FLOOR PLAN-EXISTING**

SCALE: 1/4" = 1'-0"  
 PLOT DATE: August 15, 2024

MAIN FLOOR AREA: 1080 SQ. FT.  
 FINISHED BASEMENT FLOOR AREA: 945 SQ. FT.  
 TOTAL FLOOR AREA: 2025 SQ. FT.



53 Pleasant Road, Guelph, Ontario, Canada N1E 3Z5  
 tel: 519.822.5687 fax: 519.822.6062 email: billspira@sympatico.ca

I WILLIAM SPIRA, DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 5.2.4 OF DIVISION C, OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES.

INDIVIDUAL BCIN: 19438  
 FIRM BCIN: 23841  
 SIGNATURE: [Redacted]

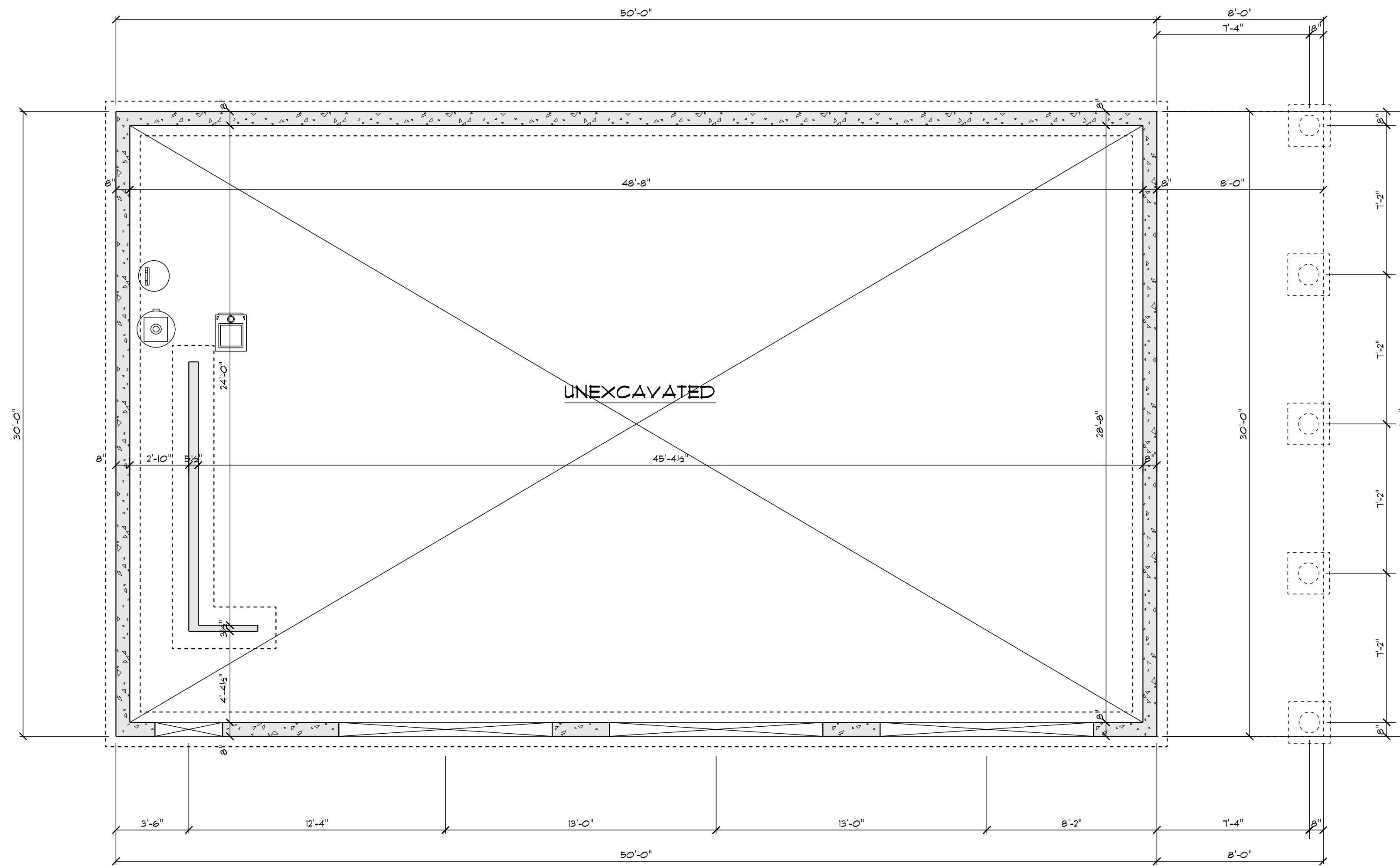
NO.	DATE	REVISION

CLIENT:  
**KATHRYN & JOHN MARTINELLO**  
 4660 SIDE ROAD 10 NORTH,  
 PUSLINCH, ONTARIO N1H 6J3

PROJECT:  
**PROPOSED BASEMENT FINISHES:  
 THE MARTINELLO RESIDENCE**  
 4660 SIDE ROAD 10 NORTH,  
 PUSLINCH, ONTARIO N1H 6J3

DRAWING:  
**MAIN FLOOR PLAN (EXISTING)**

SCALE: 1/4" = 1'-0"	DRAWING NO.
DRAWN BY: B. SPIRA	<b>A2</b>
PLOT DATE: August 15, 2024	
DATE: AUGUST 2024	

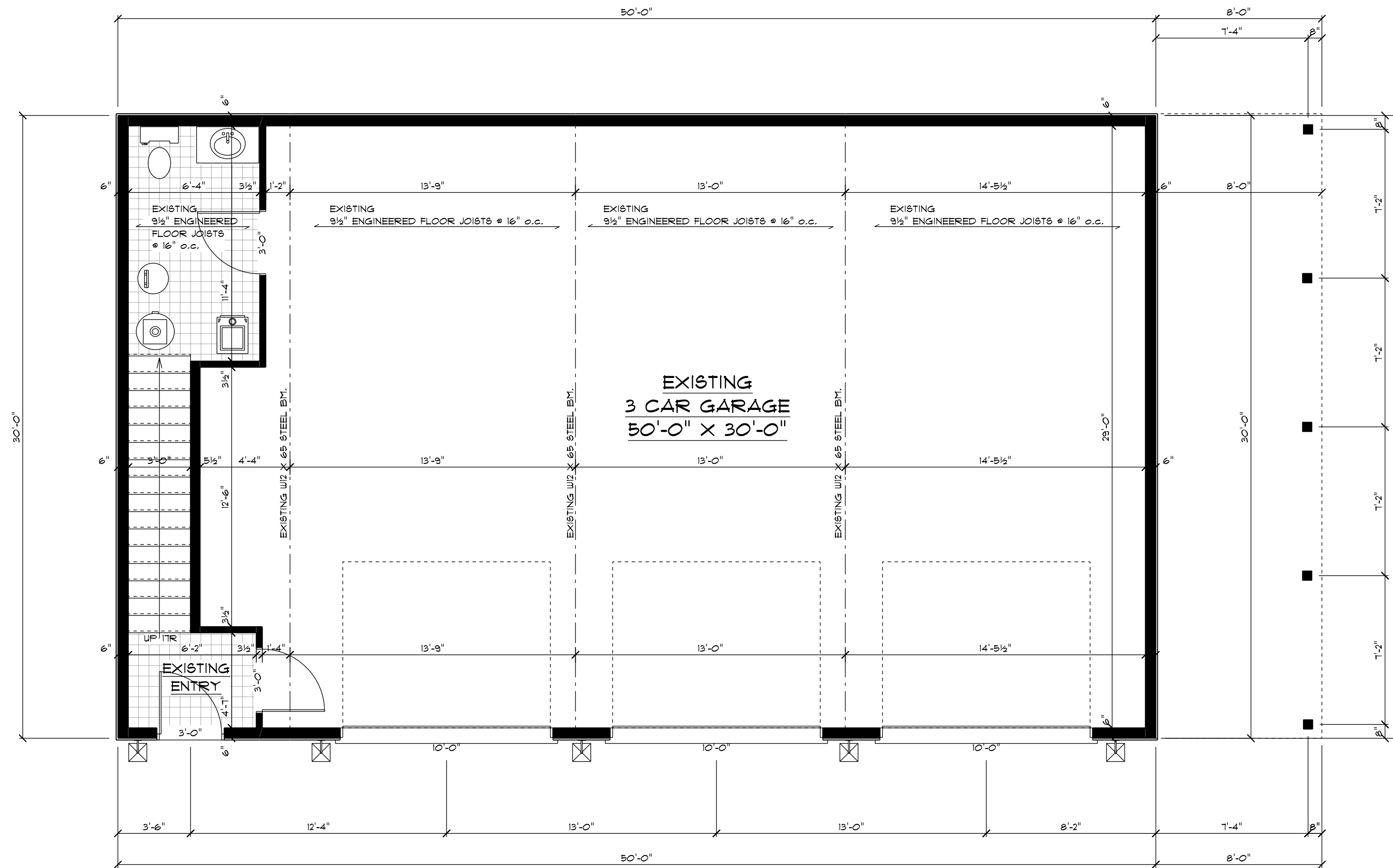


THE MARTINELLO RESIDENCE  
 ACCESSORY RESIDENTIAL DWELLING UNIT  
 4660 SIDE ROAD 10, PUSLINCH, ONTARIO NOB 2J0  
 FOUNDATION PLAN-EXISTING

SCALE: 1/4" = 1'-0"  
 PLOT DATE: July 22, 2024



63 Pleasant Road, Guelph, Ontario, Canada N1E 2Z5  
 Tel: 519.822.2807 Fax: 519.822.9962 www.williamspira.com



**THE MARTINELLO RESIDENCE**  
**ACCESSORY RESIDENTIAL DWELLING UNIT**  
**4660 SIDE ROAD 10, PUSLINCH, ONTARIO NOB 2J0**  
**MAIN FLOOR PLAN-EXISTING**



53 Pleasant Road, Guelph, Ontario, Canada N1E 3Z5  
 tel: 519.822.5887 fax: 519.822.6052 email: billspira@symptacco.ca

MAIN FLOOR AREA (EXISTING): 1930 SQ. FT.  
 MAIN FLOOR ACCESSORY APARTMENT AREA (ENTRY): 21 SQ. FT.  
 UPPER FLOOR ACCESSORY APARTMENT AREA: 1362 SQ. FT.  
 TOTAL ACCESSORY APARTMENT FLOOR AREA: 1383 SQ. FT.  
 TOTAL BUILDING FLOOR AREA (BOTH FLOORS): 2893 SQ. FT.

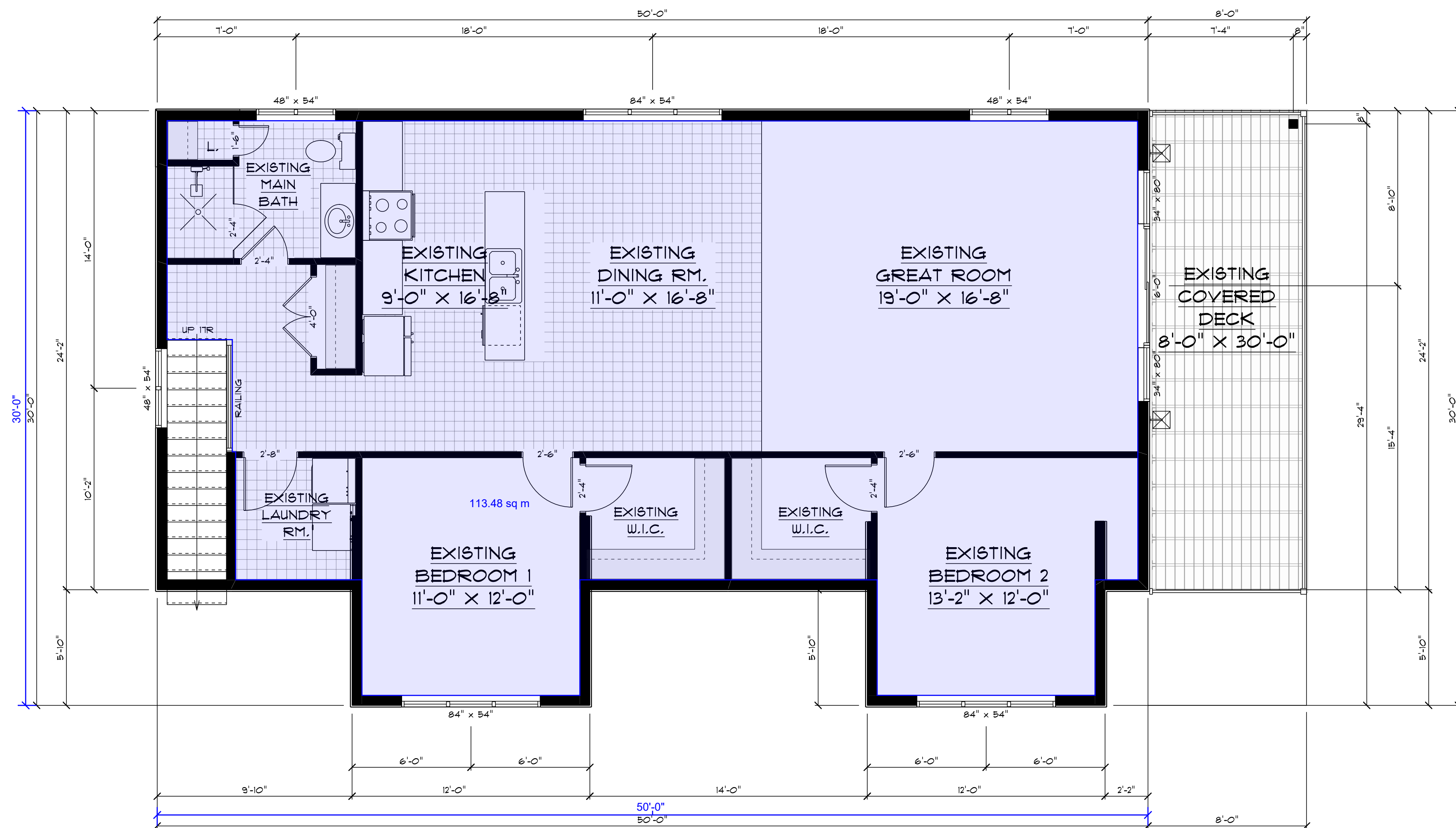
SCALE: 1/4" = 1'-0"  
 PLOT DATE: July 22, 2024

**ACCESSORY APARTMENT DATA:**

BASEMENT FLOOR AREA (MAIN HOUSE): 945 SQ. FT.  
 MAIN FLOOR AREA (MAIN HOUSE): 1080 SQ. FT.  
 TOTAL FLOOR AREA (BASEMENT + MAIN FLOOR): 2025 SQ. FT.

PROPOSED ACCESSORY APARTMENT FLOOR AREA: 1383 SQ. FT.

TOTAL FLOOR AREA (HOUSE ALL FLOORS): 2025 SQ. FT.  
 PERCENTAGE OF APARTMENT TO TOTAL FLOOR AREA: 1383 SQ. FT./2025 SQ. FT. = 68.5%  
 APARTMENT IS 68.5% OF THE TOTAL MAIN HOUSE FLOOR AREA AND LESS THAN 50% (1400 SQ. FT.)  
 MEETING SOME REQUIREMENTS REF. 4.2.a.) TOWNSHIP OF PUSLINCH ZONING BY-LAW.



THE MARTINELLO RESIDENCE  
 ACCESSORY RESIDENTIAL DWELLING UNIT  
 4660 SIDE ROAD 10, PUSLINCH, ONTARIO NOB 2J0  
 UPPER FLOOR PLAN-EXISTING



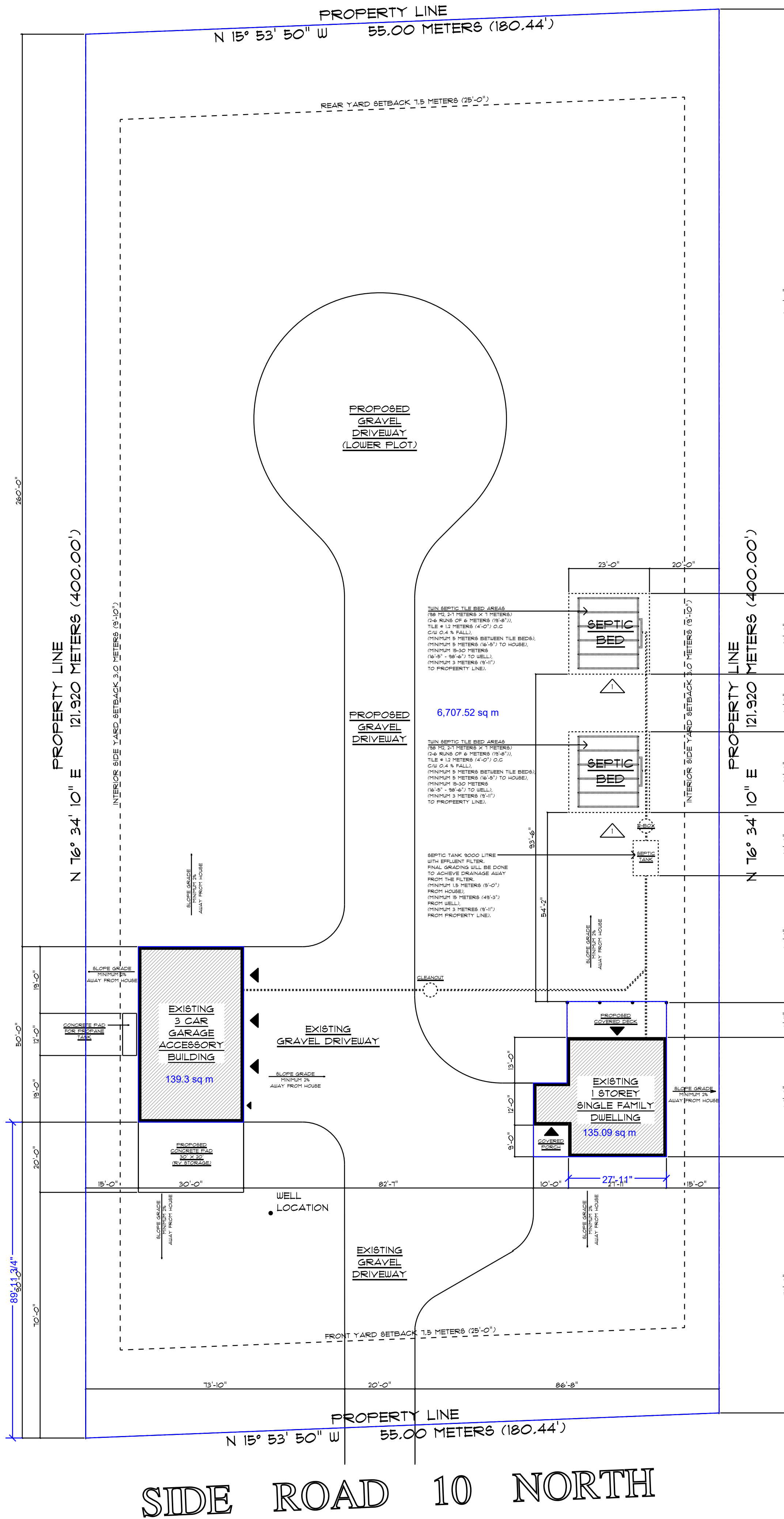
53 Pleasant Road, Guelph, Ontario, Canada N1E 3Z5  
 Tel: 519.822.9987 Fax: 519.822.8062 Email: bill@spiraillustration.com

UPPER FLOOR ACCESSORY APARTMENT AREA: 1362 SQ. FT.

SCALE: 1/4" = 1'-0"  
 PLOT DATE: July 22, 2024

**PLAN OF SURVEY  
FORESTELL ROAD & SIDE ROAD 10 NORTH,  
PART OF LOT 11 & 12, CONCESSION 4,  
PUSLINCH ONTARIO, COUNTY OF WELLINGTON**

SITE INFORMATION PROVIDED FROM  
BUILDING LOCATION & SURVEY  
PROJECT # 28152-20  
PREPARED BY VAN HARTEN SURVEYING INC.  
LAND SURVEYORS AND ENGINEERS  
JULY 6, 2020.



**SITE PLAN**  
SCALE: 1" = 20'

*William Spira*  
ARCHITECTURAL ILLUSTRATION & DESIGN

53 Pleasant Road, Guelph, Ontario, Canada N1E 3Z5  
tel: 519.822.5687 fax: 519.822.6062 email: bills@spira.com

**THE MARTINELLO RESIDENCE**

FORESTELL ROAD & SIDE ROAD 10 NORTH, PART OF LOT 11 & 12, CONCESSION 4, PUSLINCH ONTARIO, CANADA N0B 2J0

△ GENERAL SEPTIC BED REVISIONS-APRIL 20, 2022.



## COUNTY OF WELLINGTON

PLANNING AND DEVELOPMENT DEPARTMENT  
Aldo Salis, BES, M.Sc. MCIP, RPP., DIRECTOR  
TEL: (519) 837-2600  
FAX: (519) 823-1694  
1-800-663-0750

ADMINISTRATION CENTRE  
74 WOOLWICH STREET  
GUELPH, ONTARIO  
N1H 3T9

September 24, 2024

BY E-MAIL

Lynne Banks, Secretary-Treasurer  
Committee of Adjustment  
Township of Puslinch  
7404 Wellington Rd 34  
Puslinch, ON N0B 2J0

Dear Ms. Banks:

**Re: Proposed Minor Variance – D13/MAR  
John David Martinello  
4660 Sideroad 10 N  
Township of Puslinch**

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Thank you for circulating the above noted application to our office. These comments are offered without the benefit of a site visit. It is our understanding that the following relief is being requested from Zoning By-law No. 023-2018, Section 4.2.a.i:


- To permit the total floor area of Additional Residential Unit to be a maximum of 69.36% as opposed to a maximum permitted total floor area of 45%.


The subject lands are designated Secondary Agriculture in the County Official Plan and is located within the Paris Galt Morain Policy Area. Planning staff note that the proposed variance is related to a Lot Line Adjustment application B139/22, that has been granted provisional approval by Wellington County Land Division Committee.

Within the Secondary Agricultural designation, accessory residential units are permitted subject to Section 4.4.6. The County Official Plan provides the policy direction that these dwellings are to be subordinate in scale and function to the main residence. The Township will need to be satisfied that the proposal maintains the intent of the County Official Plan and the unit is secondary and subordinate to the primary residence. It is further noted that an Additional Residential Unit cannot be severed from the subject lands.

I trust that these comments will be of assistance to the Committee. We would appreciate a copy of the Committee's decision with respect to this application.

Yours truly,

  
Jamie Barnes  
Junior Planner

  
Asavari Jadhav  
Planner

## **Comments**

### **Source Water**

Since this property is located in a vulnerable area (wellhead protection area, issues contributing area, intake protection zone etc.), but the activity(ies), as indicated, would not create a significant drinking water threat, the application can be screened out and it does not require a Section 59 notice under the Clean Water Act. Please note that we may provide comments on any future applications subject to this property, given the vulnerable areas.

### **Fire**

Puslinch Fire and Rescue Services have no concerns with the application providing access to the accessory unit is adequate for emergency vehicles.

### **PW/Bylaw**

No comments

### **Building**

1. Provide an updated ground floor plan of the garage/ARU to reflect all the as-built conditions. Changes were observed during the occupancy inspection on March 7, 2022, that there was additional corridor area around the stair well, access to the washroom, laundry and laundry tub were added on the ground floor. These additional ARU areas should be reflected in the minor variance application to represent all the existing conditions.
2. A revision building permit will be required for all changes made to the originally approved drawings in the garage/ARU. The installed septic system will need to be evaluated as part that revision permit.
3. A finished basement building permit is required for the basement of the existing house.

### **GRCA**

No comments

### **County of Wellington Transportation**

No comments



## **REPORT D13-2024-015**

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TO: Committee of Adjustment Chair and Members of Committee

PREPARED BY: Mehul Safiwala, Junior Planner

PRESENTED BY: Mehul Safiwala, Junior Planner

MEETING DATE: October 8, 2024

SUBJECT: Minor Variance Application D13/RSS (RSS Real Estate Holdings LTD)  
6 Winer Road  
Plan 847 Block 5

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### **RECOMMENDATION**

**That Report D13-2024-015 entitled Minor Variance Application D13/RSS be received; and**

**Whereas the variance requested would provide relief from Section 4.22.a.i), of Township Comprehensive Zoning By-law 2018-023, as amended (Zoning By-law), to permit outdoor storage in a front yard and at a setback of 13 metres from a lot line abutting a street instead of the rear or interior side yard and not closer than 20 metres to any lot line abutting a street; and,**

**Whereas the variance requested would provide relief from 4.22.a.iii), of the Township Zoning By-law, to permit an outdoor storage area of 33 percent and to exceed the total ground floor area of the principal building(s) on the lot instead of not exceeding the lesser of 25 percent of the total lot area or the total ground floor area of the principal building on the lot; and,**

**Whereas the variance requested would provide relief from Section 4.24.2.c) of the Township Zoning By-law, to permit shipping containers to be located in an interior side yard instead of the rear yard; and,**

**Whereas the variance requested would provide relief from Section 5.1.4.a.ii) of the Township Zoning By-law, to permit a detached loading space for the use of the new building instead of the loading spaces abutting the building for which the loading space is provided; and,**



Whereas the minor variance application would maintain the general intent and purpose of the Official Plan and Zoning By-law, and is desirable and appropriate for the development of the subject property;

Therefore, that planning staff consider the request minor and recommend the following conditions:

1. The Owner enter into a Site Plan Agreement with the Township to ensure appropriate screening of the outdoor storage areas, and to ensure that the development of the Subject Lands comply with applicable municipal by-laws and policies.

**Purpose**

Regulation & By-law Section	Required	Proposed	Relief Requested
Outdoor Storage uses and Areas, Section 4.22.a.i. of Comprehensive Zoning By-law # 23-2018, as amended	The outdoor storage area shall only be permitted in a rear or interior side yard and shall not be located any closer than 20 meters to any lot line abutting a street.	Permit outdoor storage in front yard and permit outdoor storage 13 metres from a lot line abutting a street.	1. Permit an outdoor storage area in front yard
			2. 7 metres
Outdoor Storage uses and Areas, Section 4.22.a.iii of Comprehensive Zoning By-law # 23-2018, as amended	The outdoor storage area shall not exceed the lesser of 25 percent of the total lot area or the total ground floor area of the principal building on the lot.	The maximum outdoor storage area to be 33% of the total lot area.	7% increased of outdoor storage area.
			The outdoor storage area to exceed the total ground floor area of the principal building(s) on the lot.
Shipping Containers in Agricultural and Industrial Zones, Section 4.24.2.c of Comprehensive Zoning By-law # 23-2018, as amended	Shipping containers shall only be permitted in a rear yard and shall not be permitted in a required parking area.	Proposing to locate shipping containers behind the new proposed building.	To allow shipping containers to be located in an interior side yard.
Loading and Unloading Space	The loading spaces shall abuts the	Proposing one detached loading	The loading space to be detached

<p>Regulations, Section 5.1.4.a.ii) of Comprehensive Zoning By-law # 23-2018, as amended</p>	<p>building for which the loading space is provided.</p>	<p>space for the use of a new building.</p>	<p>from the building which it is provided for.</p>
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**Subject Property Key Map**



**Discussion**

Four Tests	Discussion
<p>That the requested variance is <b>minor</b> in nature</p>	<ul style="list-style-type: none"> <li>• The subject lands contain an existing primary building and the applicant is working to legalize a new garage.</li> <li>• The purpose of the application is to allow an increase in the outdoor storage area on site for the storage of trailers awaiting reefer installation and trailers awaiting pick up post installation.</li> <li>• Due to the irregular shape of the site and the location of the buildings, the area where outdoor storage is permitted is limited, hence the relief being requested for the setback of outdoor storage from an abutting street, the location of the outdoor storage area and location of the shipping containers.</li> </ul>

<p>That the intent and purpose of the <b>Zoning By-law</b> is maintained</p>	<ul style="list-style-type: none"> <li>• The subject lands are within the Industrial Zone.</li> <li>• The use and outdoor storage are a permitted use within the industrial Zone, in accordance with section 9.2, Table 9.1 of the Zoning By-law.</li> <li>• The intent of the subject application is to permit outdoor storage area in front yard and to permit a 13 meter of setback to the lot line abutting the street, whereas Section 4.22.a.i) states that the outdoor storage area shall only be permitted in a rear or interior side yard and shall not be located any closer than 20 meters to any lot line abutting a street.</li> <li>• Further, the application seeks to allow an increase in the permitted maximum outdoor storage area to be 33% of the total lot area, instead of the lesser of 25 percent of the total lot area or the total ground floor area of the principal building on the lot in accordance with Section 4.22.a.iii) of the Zoning By-law.</li> <li>• Additionally, the application seeks to allow shipping containers to be located in the interior side yard (Behind the new garage) in addition to rear yard whereas section 4.24.2.c) states Shipping containers shall only be permitted in a rear yard and shall not be permitted in a required parking area.</li> <li>• Finally, the application seeks allow a loading space to be detached from the building which it is provided for whereas to Section 5.1.4.a.ii) states that the loading spaces shall abuts the building for which the loading space is provided.</li> <li>• It is noted that Mclean Road East is not open and is not used by vehicles along the 6 Winer Road property line, Mclean Road East cannot be considered a street based on definition of <i>Street, public</i> in the Zoning by-law. Furthermore, due to angle having less than 135° of Winer Road on the part of Winer road abutting the south portion of the lot, it would be considered the front lot line based on definition of <i>Lot, corner</i> in the Zoning by-law.</li> <li>• The outdoor storage and shipping containers appear to meet all other requirement of the Zoning By-law. Section 4.22.a. iv. of the Township Zoning By-law requires that the outdoor storage area shall be screened by opaque fencing, a masonry wall, landscaping, or berms, to the satisfaction of the Township. This requirement will be addressed as part of a future Site Plan Application.</li> <li>• The principal building(s) has a ground floor area of 1,281.54 m2 and lot is 2.9ha (29,000m2) in size. The current lot coverage of the property is 4.42%, whereas the allowed maximum lot coverage is 75%.</li> </ul>
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	<ul style="list-style-type: none"> <li>• The intent of providing 75% maximum total lot coverage and Section 4.22.a.iii) is that that traditional industrial sites have a large principal building as buildings require accessory storage spaces, more often indoor storage space, thus limited outdoor storage provision. However, the subject property has smaller building(s) (type of business) and intend to utilise the outdoor storage for reefer equipment and trailers waiting to be installation.</li> </ul>
<p>That the general intent and purpose of the <b>Official Plan</b> is maintained</p>	<ul style="list-style-type: none"> <li>• The Property is designated Rural Employment Area within the County Official Plan.</li> <li>• The subject lands are identified as being within the Paris Galt Moraine Policy.</li> </ul>
<p>That the variance is <b>desirable</b> for the appropriate development and use of the land, building or structure</p>	<ul style="list-style-type: none"> <li>• The subject property is surrounded by industrial uses.</li> <li>• The proposed variance would facilitate the operation of the business.</li> <li>• Plantings are proposed adjacent to the public realm to limit the visual impact of the outdoor storage and enhance the exiting streetscape.</li> <li>• Planning staff are satisfied that the requests are consistent with the character of the area and will allow this business to operate and optimize their operations as intended within industrial areas.</li> </ul>

**Conclusion**

In conclusion, planning staff is of the opinion that the requested variance application **meets the four tests** of the *Planning Act*. Staff trust that this report will be of assistance to the Committee in their consideration of this matter.

**Engagement Opportunities**

Township Active Planning Application Website;  
 Public Notice of Hearing and Committee Decision (Statutory);  
 Notice of Public Hearing Resident Guide.

**Attachments**

Schedule “A” Application  
 Schedule “B” Sketch  
 Schedule “C” Staff/Public/Agency Comments

Respectfully submitted,

Reviewed by:

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Mehul Safiwala  
Junior Planner

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Justine Brotherston  
Municipal Clerk

Cloudpermit application number  
CA-3523001-P-2024-69

**Applicant**

Last name Bossie	First name Rachel	Corporation or partnership GSP Group
Street address 72 Victoria Street South	Unit number Suite 201	Lot / Con.
Municipality Kitchener	Postal code N2G 4Y9	Province Ontario
Other phone +1 2264447848	Mobile phone +1 2267892882	
Fax	Email rbossie@gspgroup.ca	

**Property owner, Payer**

Last name Dyke	First name Chris	Corporation or partnership RSS REAL ESTATE HOLDINGS LTD
Street address 750 Intermodal Dr.	Unit number	Lot / Con.
Municipality Brampton	Postal code L6T0B5	Province ON
Other phone [REDACTED]	Mobile phone [REDACTED]	
Fax	Email chris.dyke@reefersales.com	

**Subject Land Information**

Address	Legal description	Roll number
6 WINER RD (Primary)	PLAN 847 BLOCK 5	2301000006101100000

**Sworn Declaration of Applicant**

Complete in the presence of a Commissioner for taking affidavits

I, GSP Group (Rachel Bossie), solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the Applicant is accurate and that the information contained in the documents that accompany this application is accurate, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature of Applicant (sign in the presence of a Commissioner for taking affidavits)

[Redacted Signature]

Signature of Commissioner for taking affidavits [Redacted Signature]	Municipality KITCHENER	Day, month, year 09-09-2024.
---	---------------------------	---------------------------------

Place an imprint of your stamp below

Natasha Wilson, a Commissioner, etc.,  
Province of Ontario, for GSP Group Inc.  
Expires August 25, 2027.

**Affidavit and signatures**


**Applicant**

The Rachel Bossie, Applicant is required to agree to erect and maintain a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits. The sign will be provided to the applicant for posting on the property by Township planning staff along with instructions on how and where to post the sign. The sign must be posted at least 10 days prior to the Committee of Adjustment meeting date for the application and must remain on the property until the 20 day appeal period is expired.

**Notice with respect to collection of personal information**

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.

 Digitally signed on 2024-09-06, 4:32:02 p.m. EDT by Rachel Bossie.

Send correspondence to	
Send correspondence to <input checked="" type="checkbox"/> Owner(s) <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Others	
Who to send the Invoice to <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Agent <input type="checkbox"/> Other	

Provide a description of the "entire" property			
Concession	Lot	Registered Plan Number Block 5 Plan 847	
Area in Hectares 2.9	Area in Acres 7.17	Depth in Meters 266	
Depth in Feet 872	Frontage in Meters approx 100m	Frontage in Feet approx 328	Width of road allowance (if known)

Reason for Application	
Please indicate the Section of the Planning Act under which this application is being made <input checked="" type="checkbox"/> Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.) <input type="checkbox"/> Section 45(2) relates to a change to or expansion of an existing legal non- conforming use	
What is the nature and extent of the relief that is being applied for? 1. To amend the areas outdoor storage is permitted from the interior side yard and rear yard to add the front yard (Section 4.22 a.i.); 2. To reduce the setback of outdoor storage from a minimum of 20 metres from a lot line abutting a street to a minimum of 13 metres from a lot line abutting a street (Section 4.22a.i.); 3. To increase the maximum outdoor storage from the lesser of 25% of the total lot area or the total ground floor area of the principal building on the lot to a maximum of 33% of the total lot area (Section 4.22a.iii.); 4. To amend the areas where shipping containers are permitted from the rear yard to add the front yard (only behind the new garage) (Section 4.24.2c.); and 5. To allow a loading space not abutting the building which it is provided for (Section 5.1.4 a.ii.)	Why is it not possible to comply with the provisions of the by-law? See cover letter- irregular lot shape and site design, nature of the business.

What is the current Official Plan and zoning status?	
Official Plan Designation Rural Employment Area	Zoning Designation IND
What is the access to the subject property? <input type="checkbox"/> Provincial Highway <input checked="" type="checkbox"/> Continually maintained municipal road <input type="checkbox"/> Seasonally maintained municipal road <input type="checkbox"/> Other <input type="checkbox"/> Continually maintained county road	
What is the name of the road or street that provides access to the subject property? Winer Road	If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road. n/a



Existing and Proposed Service		
Indicate the applicable water supply and sewage disposal:		
Private Well	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Water	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Provincial Water Taking Permit	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Private Septic	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Septic	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Other Provincial Waste Water System	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
How is storm drainage provided? *		
<input type="checkbox"/> Storm Sewers <input checked="" type="checkbox"/> Ditches <input checked="" type="checkbox"/> Swales <input type="checkbox"/> Other means		

Existing Subject and Abutting Property Land Uses, Buildings and their Locations	
What is the existing use of the subject property? industrial- sales and service of mobile refrigeration units and installation of decos	What is the existing use of the abutting properties? industrial

Provide the following details for all existing buildings on the subject land		
Main Building Height in Meters 9.14m	Main Building Height in Feet 30	Percentage Lot Coverage in Meters 4.85
Percentage Lot Coverage in Feet 3.34	Number of Parking Spaces 8	Number of Loading Spaces 1
Number of Floors 2	Total Floor Area in Square Meters 1682	Total Floor Area in Square Feet 18104
Ground Floor Area (Exclude Basement) in Square Meters 841	Ground Floor Area (Exclude Basement) in Square Feet 9052	

Provide the following details for all buildings proposed for the subject land		
Main Building Height in Meters 6.9	Main Building Height in Feet 22	Percentage Lot Coverage in Meters +1.51% (440 sq m)
Percentage Lot Coverage in Feet +1.51 (4736 sq ft)	Number of Parking Spaces +5	Number of Loading Spaces +0
Number of Floors 1	Total Floor Area in Square Meters 440	Total Floor Area in Square Feet 4736
Ground Floor Area (Exclude Basement) in Square Meters 440	Ground Floor Area (Exclude Basement) in Square Feet 4736	

What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)		
Front Yard in Meters existing 235m proposed 210m	Front Yard in Feet existing 770ft proposed 688ft	Rear Yard in Meters existing 23m proposed 59m
Rear Yard in Feet existing 75ft proposed 193ft	Side Yard (interior) in Meters existing 40.5m proposed 5m	Side Yard (interior) in Feet
Side Yard (Exterior) in Meters existing 30m proposed 88m	Side Yard (Exterior) in Feet existing 98ft proposed 288ft	

What are the dates of acquisition and construction of subject property and building property		
Date of acquisition of subject property unknown	Date of construction of buildings property 2004 and 2022	How long have the existing uses continued on the subject property? unknown
Has the owner previously applied for relief in respect of the subject property?  <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

Other Related Planning Applications		
Planning Application: Official Plan Amendment  <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Zoning By-Law Amendment  <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Planning Application: Plan of Subdivision  <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Consent (Severance)  <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Planning Application: Site Plan  <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Application: Minor Variance  <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Site Plan: File Number unknown just did pre-consultation site plan application being submitted shortly.	Site Plan: Approval Authority Town	Site Plan: Subject Lands 6 Winer Road
Site Plan: Purpose industrial	Site Plan: Status to be submitted shortly.	

Minor Variance Application must be commissioned
Please confirm the following  <input checked="" type="checkbox"/> I understand that prior to the Minor Variance Application being deemed complete it must be commissioned by all registered owners or the agent responsible for the application.

**SUBMITTED VIA CLOUDPERMIT**September 9<sup>th</sup>, 2024

File No: 24072

Township of Puslinch  
Planning and Development DepartmentAttention: Lynne Banks  
Development and Legislative CoordinatorRe: **Planning Justification Brief Minor Variance  
6 Winer Road**

---

On behalf of RSS Real Estate Holdings Ltd., (the “Owner”), I am pleased to submit a Planning Justification Brief in support of a Minor Variance application submitted for 6 Winer Road (the “Site”) in the Township of Puslinch.

The Site is located on the northeast side of Winer Road. The Site contains an existing garage/office and a new garage and has an overall lot area of approximately 2.9 hectares. Currently the Owners are working through the Site Plan Approval process for the new garage. This Minor Variance application is being submitted to increase the locations where outdoor storage and shipping containers are permitted, increase the maximum amount of outdoor storage permitted, reduce the setback of outdoor storage from a lot line abutting a street, and to permit a loading space not abutting the principal building.

The Site is designated as Rural Employment Area and is part of a Regionally Significant Economic Development Study Area on Schedule ‘A7’ and ‘B7’ and is part of the Paris Galt Moraine Policy Area on Schedule ‘C7’ of the County of Wellington Official Plan. The Site is zoned Industrial (IND) on Map A-4 ‘Aberfoyle Industrial Area’ of the Township of Puslinch Zoning By-law No. 023/18.

The requested Minor Variances are as follows:

1. To amend the areas outdoor storage is permitted from the interior side yard and rear yard to add the front yard (Section 4.22 a.i.);
2. To reduce the setback of outdoor storage from a minimum of 20 metres from a lot line abutting a street to a minimum of 13 metres from a lot line abutting a street (Section 4.22a.i.);
3. To increase the maximum outdoor storage from the lesser of 25% of the total lot area or the total ground floor area of the principal building on the lot to a maximum of 33% of the total lot area (Section 4.22a.iii.);
4. To amend the areas where shipping containers are permitted from the rear yard to add the front yard and interior side yard (only behind the new garage) (Section 4.24.2c.); and

5. To allow a loading space not abutting the building which it is provided for (Section 5.1.4 a.ii.)

The following is intended to review the Minor Variances and discuss how they meet the four tests as set out on Section 45(1) of the Planning Act.

**Do the Minor Variances maintain the general intent and purpose of the Official Plan?**

The Site is designated as Rural Employment Area and is part of a Regionally Significant Economic Development Study Area on Schedules 'A7' and 'B7' and is part of the Paris Galt Moraine Policy Area on Schedule 'C7' of the County of Wellington Official Plan.

In accordance with Section 6.8.2, within Rural Employment Areas dry industrial uses requiring large lots and major road access such as manufacturing, processing, repairs, servicing and storage of materials shall be permitted. Rural Employment Areas are expected to provide diversity to Wellington's land supply for business. The land use compatibility policies outline that existing and proposed uses are to be compatible. It is important that employment uses make efficient use of land and are designed to ensure optimal success. Due to the nature of the business, it has benefited from being on a large lot located in proximity to major road access. Section 4.2.1 highlights that the County will encourage and support decisions that ensure that an adequate supply of employment land is always available, which includes supporting a wide range of economic activities and ancillary uses that consider the needs of existing and future businesses. Allowing industrial sites within industrial areas to be designed and utilized to meet the current needs of the businesses is essential to supporting economic success and avoiding unnecessary sprawl/ under utilization of employment land. The requested Minor Variances promote efficient use of existing land, are essential to the function of the business and will allow the Owner to optimize their operations in a cost-effective manner while achieving compatibility with the surrounding land uses and character of the area, as intended by the employment policies.

Section 9.8.4 speaks to the Regionally Significant Economic Development Study Area. A Regionally Significant Economic Development Study will be initiated by the Township in consultation with the County, and will include a transportation analysis, a servicing strategy and an agricultural and environmental review. It is my understanding that this study has not been completed.

The Site is located within the Paris and Galt Moraine Policy Area (Schedule 'C7'). In accordance with Section 4.9.7.1, the objective of the Paris and Galt Moraine Policy Area is to protect moraine processes and features to restore or enhance groundwater and surface water resources and to promote stewardship activities on the moraines that maintain, resource or enhance groundwater surface water resources. Through the Site Plan Approval pre-consultation process comments have been provided from the Source Protection Coordinator. The Owners are required to submit a: Drinking Water Threats Disclosure Report, Winter Maintenance Plan, Chemical/ Waste Management Storage Spill Response Plan, and Recharge Infiltration Measures. The Owners Engineer has raised no concerns with this and been in contact with Source Water Protection staff and is working to prepare the required documents that will be reviewed through the Site Plan Approval process.

In accordance with Section 13.7 when evaluating a Minor Variance request in addition to the four tests prescribed under the Planning Act, the Committee of Adjustment shall also consider whether compliance with the Zoning By-law would be unreasonable, undesirable or would pose undue hardship on the applicant. The business sells and installs mobile refrigeration units (reefers) and installs decals on vehicles. The outdoor storage on site is used for the reefer equipment, trailers awaiting reefer installation and trailers awaiting pick up post installation. As the success of the business has grown so has the number of trailers serviced and reefers stored on site. The success of employment uses shall be encouraged and supported as appropriate. Allowing businesses to utilize their site for outdoor storage for items that don't need to be stored inside in industrial areas, promotes efficient use of land, economic success, is practical and offers flexibility to easily expand operations as intended in industrial areas. If the outdoor storage request is not approved it would considerably decrease the amount trailers that could receive a reefer installation, drastically reducing the economic success of the business. The requested outdoor storage location and scale is reasonable and desirable as it is not out of character for the area and screening is proposed adjacent to the public realm which will enhance the existing streetscape and provide a buffer between the outdoor storage and the public realm. This application supports the growth of an industrial use within a Rural Employment Area without negatively impacting the surrounding properties. The requested minor variances maintain the general intent and purpose of the Official Plan.

**Are the Minor Variances in keeping with the general intent and purpose of the Zoning By-law?**

The Site is zoned Industrial (IND) on Map A-4 'Aberfoyle Industrial Area' of the Township of Puslinch Zoning By-law No. 023/18. The Industrial zone permits a range of uses including contractor's yard, industrial use (dry industrial), outdoor storage area, transport terminal and a warehouse. A dry industrial use is defined as any premise used for manufacturing, processing, fabrication and assembly of raw materials or repair, servicing, distribution and storage of materials where no significant water or sewage requirements are necessary as part of the assembly, manufacture, fabrication, repair, packaging and storage activities. The property is used as a dry industrial use with outdoor storage. Outdoor storage is defined as the storage of equipment, goods or raw materials outside of any building or structure in the open area. Overnight parking of vehicles shall not be deemed to be outdoor storage, and it does not include any accessory equipment that is in conjunction with industrial use.

In accordance with Section 4.22a.i., outdoor storage is only permitted in a rear or interior side yard and shall not be located closer than 20 metres to any lot line abutting a street and is required to be screened (Section 4.22a.iv.). In accordance with the Zoning By-law, the front lot line is the curved portion of the lot adjacent to Winer Road and the rear lot line is adjacent to McLean Road East (unopened road allowance). As such, due to the irregular shape of the Site and the location of the buildings, outdoor storage is only permitted to the north (rear yard) and east (interior side yard) of the existing building. A Minor Variance is requested to also allow outdoor storage within the front yard and to reduce the minimum setback from a lot line abutting a street from 20 metres to 13 metres. The request to allow outdoor storage in the front yard is predominately to allow the parking of trailers awaiting reefer installation. A small portion to the north of the stormwater management pond is proposed for reefer storage/ parking for trailers awaiting pick up after installation. It was confirmed with staff that the short-term parking of the trailers would be considered outdoor storage and not parking. If the parking of the trailers was considered parking it would be permitted within the front yard with a minimum planting strip of 1 metre planting strip (Section 5.2.7). While it is understood that trailer parking is outdoor

storage, consideration should be given to Section 5.2.7 that allows parking of vehicles within the front yard setback. The requested outdoor storage (trailer parking) is proposed to be 13 metres from the front lot line and within the 13-metre setback a large planting strip is proposed. This planting strip will enhance the existing streetscape. The request is compatible and in keeping with the character of the adjacent properties.

Section 4.22.a.iii. states that no outdoor storage shall exceed the lesser of 25% of the total lot area or the total ground floor area of the principal building on the lot. The principal building has a ground floor area of approximately 841m<sup>2</sup>, and the lot is 2.9ha (29,000m<sup>2</sup>). A Minor Variance is requested to increase the maximum outdoor storage to a maximum of 33% of the total lot area. Traditional industrial sites typically have a large principal building and any outdoor storage is secondary (overflow or limited in scale) as the building often provide indoor storage. This results in high lot coverage and a lower demand for outdoor storage. The outdoor storage and zoning provisions (maximum lot coverage of 75%) in the Zoning By-law match what would be needed where a large principal building is proposed, and outdoor storage is secondary/limited in scale. There appears to be a shift in how industrial companies are approaching site design, and indoor/ outdoor storage. Specifically, a shift to smaller industrial buildings and increased outdoor storage (where appropriate for the type of business). Utilization of outdoor storage for items that don't need to be stored inside is cost-effective, practical and offers companies flexibility to easily expand operations. On Winer Road adjacent to the Site, it appears that others are also utilizing outdoor storage. With the requested outdoor storage, the Site is appropriately designed to accommodate the existing buildings, parking, garbage, stormwater management and landscaped open space. While the Zoning By-law limits the scale of outdoor storage it is not intending to limit the ability for industrial businesses to operate, expand and optimize their operations as trends in industrial site design evolve. The request is consistent with the character of the area and will allow this business to operate and optimize their operations as intended within industrial areas.

Section 4.24.2c. of the Zoning By-law limits shipping containers to the rear yard. A Minor Variance is requested to allow shipping containers within the front yard (only behind the new garage). Staff confirmed that the rear yard begins behind the existing building which contains a drainage easement, parking, garbage and some outdoor storage. There is one shipping container behind the new garage that would be considered to be in the front yard and two within the interior side yard. These shipping containers are screened from the public realm. Due to the unique site design, there is a very small rear yard (given the size of the Site). The proposed shipping container locations behind the existing garage will not impact the public realm and compatible with how the Site is used.

Section 5.1.4a.ii. requires loading spaces to be abutting the building which it is provided for. A Minor Variance is requested to permit the loading space to not abut the building. The loading space is proposed adjacent to the fuel tanks. Loading spaces are required to be adjacent to the building for convenience and to ensure site functionality. The Owners have found this location works for the business and does not create any on-site issues.

The requested Minor Variances will all the industrial facility to be designed to meet operational needs while achieving compatibility and consistency with the existing character of the area. The requested Minor Variances meet the general intent of the Zoning By-law.

**Is the Minor Variance considered desirable for the appropriate development or use of the land, building or structure?**

The Site is used to sell and install mobile refrigeration units (reefers) and install decals on vehicles. The outdoor storage is for the reefer equipment, trailers that are waiting to have a reefer installed, and for trailers that have had a reefer installed awaiting pick up. The requested outdoor storage and associated Minor Variances are essential to the function of the business and are in keeping with the overall character of the area and emerging industrial site design trends. Plantings are proposed adjacent to the street which will enhance the streetscape. The proposed outdoor storage is considered desirable and appropriate for the Site.

**Is the Minor Variance considered minor in nature?**

When assessing if a Minor Variance is minor in nature, it is essential to assess the impacts of the Minor Variances. The design and use of industrial sites are to be compatible with surrounding uses and in keeping with the general character of the area. The Site is located within an industrial area and is surrounded by industrial uses. The adjacent Sites contain trailer parking and shipping containers adjacent to Winer Road. The request is in keeping with the character of the surrounding area and is compatible with the surrounding uses. Allowing additional outdoor storage and the associated Minor Variances will not negatively impact the surrounding properties and will allow the optimization of the land as intended within employment areas. The plantings proposed adjacent to the public realm will limit the visual impact of the outdoor storage and will enhance the exiting streetscape. Compliance with the source water protection policies is required through the Site Plan Approval process. It is our opinion that the requested Minor Variances are minor in nature.

It is our opinion that the proposed Minor Variances meet the four tests of a Minor Variance as set out in Section 45(1) of the *Planning Act, R.S.O. 1990*.

In support of the required Minor Variance application, please find the supporting documentation:

- Minor Variance Application;
- Site Plan; and
- Landscape Plan.

Should you have any questions or require any additional information, please do not hesitate to contact me at [rbossie@gspgroup.ca](mailto:rbossie@gspgroup.ca) or at 226-444-7848.

Yours truly,  
GSP Group



Rachel Bossie, MCIP, RPP  
Senior Planner

Zoning By-Law 023-18 (Zoned IND - Industrial Section 9.3)	Required	Provided	Conforms
Min. Lot Area	0.4ha	2.9ha	Y
Min. Lot Frontage	30m	100m	Y
Min. Front Yard	6m	23m	Y
Min. Interior Side Yard	5m	5.0m*	Y
Min. Exterior Side Yard	15m	30m	Y
Min. Rear Yard	7.5m	185m*	N/A
Max Lot Coverage	75%	4.85%	Y
Min. Landscaped Area	15%	37.7%	Y
Max. Building Height	25m	6.9m*	Y
Parking	14 spaces	14 spaces	Y
Accessible Parking	1 space	1 space	Y
Bicycle Parking	1 space	1 space	Y
Loading Space	1 space	1 space	Y

\*Applies to Ex Garage only

**13.3 Accessible Parking Control Exemption Signs**

**ACCESSIBLE PARKING PERMIT SIGN (Rb-93)**

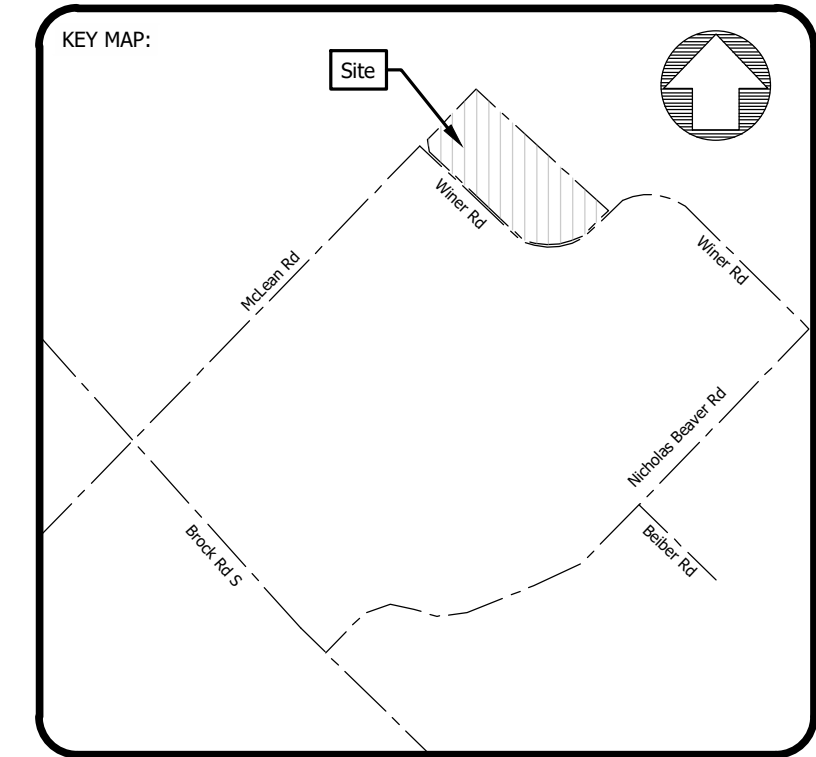
BY PERMIT ONLY

Rb-93 300 mm x 450 mm  
 Font Helvetica Bold Condensed  
 Colour Interdisciplinary Symbol - Red Reflective  
 Symbol of Access and Symbol Border - Blue Reflective  
 Legend & Border - Black Background - White Reflective  
 Minimum Sheet Size Type I

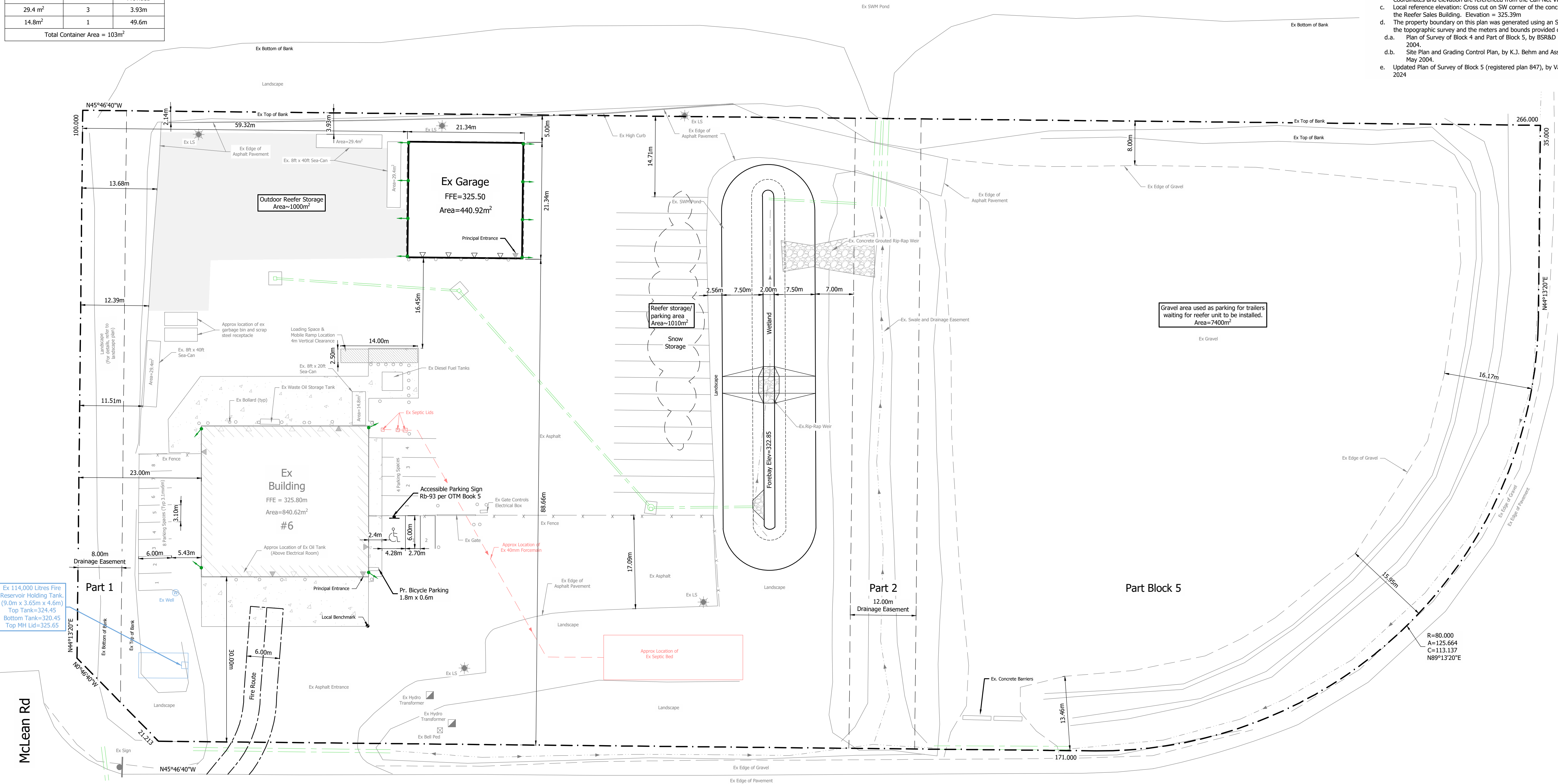
Accessible Parking Sign  
OTM Book 5 - Page 170

Outdoor Storage		
Type of Storage	Approx. Area	Min. Setback Provided
Reefer Storage	1000m <sup>2</sup>	3.93m
Reefer Storage/Parking	1010m <sup>2</sup>	14.71m
Trailer Storage	7400m <sup>2</sup>	8.00m

Shipping Containers Information		
Size	Quantity	Min. Setback Provided
29.4 m <sup>2</sup>	3	3.93m
14.8m <sup>2</sup>	1	49.6m
Total Container Area = 103m <sup>2</sup>		



- Project Notes**
- This drawing is to be read in conjunction with the standard notes, specifications and details shown on Meritech dwg 4706-1 and the following additional information:
    - All dimensions and elevations are in meters unless noted otherwise.
    - Site Plan by Meritech Engineering, dated Aug 2024.
    - Architectural Plans by Hybrid Structures, dated Jul 2022 and MBA Engineering, dated Jul 2022.
    - Geotechnical Report by Naylor Engineering Associates, dated Jul 2004.
    - Stormwater Management Letter by Meritech Engineering, dated Aug 2022.
  - Survey and elevations:
    - Topographic survey completed by Automated Engineering Technologies, dated Sep 2022.
    - Geodetic reference elevation: UTM Coordinates using the NAD 83 Zone 17 Grid. Coordinates and elevation are referenced from the Can-Net VRS Network.
    - Local reference elevation: Cross cut on SW corner of the concrete pad in front of the Reefer Sales Building. Elevation = 325.39m
    - The property boundary on this plan was generated using an SIR that was given by the topographic survey and the meters and bounds provided on two drawings:
      - Plan of Survey of Block 4 and Part of Block 5, by BSR&D Ltd, dated Aug 2004.
      - Site Plan and Grading Control Plan, by K.J. Behm and Associates Inc, dated May 2004.
    - Updated Plan of Survey of Block 5 (registered plan 847), by Van Harten, dated Jul 2024



Ex 114,000 Litres Fire Reservoir Holding Tank (9.0m x 3.65m x 4.6m)  
 Top Tank=324.45  
 Bottom Tank=320.45  
 Top MH Lid=325.65

**MERITECH engineering**

1315 Bishop Street North, Suite 202, Cambridge  
 T 519.623.1140 F 519.623.7334 www.meritech.ca

Information shown on this plan is compiled from various sources, and is not a guarantee of accuracy. Meritech Engineering is responsible for the accuracy of the information. The Contractor is responsible for verifying the information. Meritech Engineering is not responsible for any errors or omissions that may occur in the preparation of this plan. The Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. Meritech Engineering is not responsible for any damage to property or persons that may occur as a result of the use of this plan.

No.	REVISION/ISSUE	DATE	BY
1.	Issued for Review & Approval	Oct 14, 2022	TDK
2.	Revised Site Plan	Oct 18, 2022	TDK
3.	City Comments	Sep 3, 2024	JP

**Site Plan**

OWNER: RSS Real Estate Holdings Ltd  
 LOCATION: Township of Puslinch  
 PROJECT: 6 Winer Road, Aberfoyle

DESIGNED BY: TDK  
 CHECKED BY: MFM  
 CONTRACT: 4706

DRAWN BY: TDK  
 DATE: Oct 14, 2022  
 FILE NAME: 4706

DRAWING: 4706-2  
 SCALE: 1:400  
 SHEET: 2 of 2

File name: 4706.dwg, 4706-2 - Plotter: August 30, 2024 1:21 PM, Julianap





## COUNTY OF WELLINGTON

PLANNING AND DEVELOPMENT DEPARTMENT  
Aldo Salis, B.E.S., M.Sc. MCIP, RPP., DIRECTOR  
TEL: (519) 837-2600  
FAX: (519) 823-1694  
1-800-663-0750

ADMINISTRATION CENTRE  
74 WOOLWICH STREET  
GUELPH, ONTARIO  
N1H 3T9

September 24<sup>th</sup>, 2024

BY E-MAIL

Lynne Banks, Secretary-Treasurer  
Committee of Adjustment  
Township of Puslinch  
7404 Wellington Rd 34  
Puslinch, ON N0B 2J0

Dear Ms. Banks:

**Re: Proposed Minor Variance – D13/RSS  
RSS Real Estate Holding Ltd.  
6 Winer Road  
Township of Puslinch**

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Thank you for circulating the above noted application to our office. These comments are offered without the benefit of a site visit. It is our understanding that the following relief is being requested from Zoning By-law No. 023-18:

- Section 4.22.a.i): To permit outdoor storage in the front yard in addition to permitted interior side yard and rear yard and to permit a reduced setback of 13 m for outdoor storage from a lot line abutting a street as opposed to minimum required setback of 20 m.
- Section 4.22.a.iii): To permit a maximum outdoor storage to be 33% of the total lot area as opposed to maximum permitted outdoor storage of 25%.
- Section 4.24.2.c): To permit shipping containers in the interior side yard in addition to rear yard.
- Section 5.1.4.a.ii): To permit a loading space detached from the building as opposed to a required spaced that abuts the building.

The subject lands are designated Rural Employment in the County Official Plan and is located within the Paris Galt Morain Policy Area. Section 6.8.2 of the Official Plan states that “The Rural Employment Area permits dry industrial uses. Such industrial uses may include manufacturing, processing, fabrication and assembly of raw materials or repair, servicing, distribution and storage of materials. Accessory uses including the retail sale of products produced on-site may be allowed”.

Planning staff note the proposed variance is for the development of the subject property. Overall, planning staff do not have any concerns with the proposed Minor Variance. I trust that these comments will be of assistance to the Committee. We would appreciate a copy of the Committee’s decision with respect to this application

Yours truly,

Jamie Barnes,  
Junior Planner

Asavari Jadhav  
Planner

**Comments - 6 Winer Rd**

**Sourcewater**

No comments

**Public Works/By-law/ Building**

No concerns with this application.

**GRCA** – no comments

**Fire**

Puslinch Fire and Rescue have no concerns with the Minor Variance request providing access to all buildings is maintained at all times for emergency response vehicles.

**County Roads** – no comments



## **REPORT CofA - 2024-005**

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TO: Committee of Adjustment

PREPARED BY: Lynne Banks, Development and Legislative Coordinator

PRESENTED BY: Lynne Banks, Development and Legislative Coordinator

MEETING DATE: October 8, 2024

SUBJECT: Revised Proposed 2025 Committee of Adjustment Meeting Schedule

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### **RECOMMENDATIONS**

**That staff report CofA-2024-005 regarding the Revised Proposed 2025 Committee of Adjustment Meeting Schedule be received for information; and further,**

**That the Revised 2025 Committee of Adjustment Meeting Schedule be approved as presented.**

### **Purpose**

The purpose of this report is to provide the Committee of Adjustment with the revised proposed 2025 Committee Meeting Date Schedule.

### **Background**

The Committee of Adjustment Terms of Reference state that the Committees meet monthly on the second Tuesday of each month at 7:00 p.m., or another time mutually agreed upon by the Committees, and as many additional times as the Committees deem necessary.

The revision is the approved changing the date for the November 11, 2025 meeting falls on Remembrance Day, and as the Township office is closed, the proposed new date is for Wednesday, November 12, 2025 at 7:00 p.m.

### **Comments**

Below are the proposed dates for the revised 2025 Committee of Adjustment Meetings:

<b>2025 Meeting Dates</b>
Tuesday January 14, 2025 @7p.m.

Tuesday February 11, 2025 @7p.m.
Tuesday March 11, 2025 @7p.m
Tuesday April 8, 2025 @7p.m.
Tuesday May 13, 2025 @7p.m.
Tuesday June 10, 2025 @7p.m.
Tuesday July 8, 2025 @7p.m.
Tuesday August 12, 2025 @7p.m
Tuesday September 9, 2025 @7p.m.
Tuesday October 14, 2025 @7p.m.
Wednesday November 12, 2025 @7p.m.
Tuesday December 9, 2025 @7p.m.

**Financial Implications**

None

**Applicable Legislation and Requirements**

None

**Attachments**

None