

Cloudpermit application number
CA-3523001-P-2025-20

Applicant, Agent, Designer

Last name Haslam	First name Meredith	Corporation or partnership Timberworx Custom Homes
Street address 376 Maltby Road East	Unit number	Lot / Con.
Municipality Guelph	Province Ontario	Postal code N1L 1G4
Other phone	Mobile phone +1 519 807 8872	
Fax	Email meredith@timberworx.ca	

Property owner

Last name Bawa	First name Reena	Corporation or partnership
Street address 101 Heritage Lake Drive	Unit number	Lot / Con.
Municipality Puslinch	Province Ontario	Postal code N0B 2J0
Other phone	Mobile phone [REDACTED]	
Fax	Email [REDACTED]	

Property owner, Payer

Last name Gill	First name Manny	Corporation or partnership
Street address 101 Heritage Lake Drive	Unit number	Lot / Con.
Municipality Puslinch	Province Ontario	Postal code N0B 2J0
Other phone	Mobile phone [REDACTED]	
Fax	Email [REDACTED]	

Builder		
Last name Haslam	First name Meredith	Corporation or partnership Timberworx Custom Homes
Street address 5-275 Hanlon Creek Blvd	Unit number	Lot / Con.
Municipality Guelph	Province Ontario	Postal code N1C 0A1
Other phone		Mobile phone +1 5198078872
Fax		Email shawn@timberworx.ca

Subject Land Information		
Address	Legal description	Roll number
101 HERITAGE LAKE DRIVE PV (Primary)	WVLCP 172 LEVEL 1 UNIT 73	2301000002096480000

Sworn Declaration of Applicant		
<p>Complete in the presence of a Commissioner for taking affidavits</p> <p>I, Timberworx Custom Homes (Meredith Haslam), solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the Applicant is accurate and that the information contained in the documents that accompany this application is accurate, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.</p>		
Signature of Applicant (sign in the presence of a Commissioner for taking affidavits)		
Signature of Commissioner for taking affidavits	Municipality	Day, month, year
Place an imprint of your stamp below		

Affidavit and signatures

Applicant

The Meredith Haslam, Applicant is required to agree to erect and maintain a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits. The sign will be provided to the applicant for posting on the property by Township planning staff along with instructions on how and where to post the sign. The sign must be posted at least 10 days prior to the Committee of Adjustment meeting date for the application and must remain on the property until the 20 day appeal period is expired.

Notice with respect to collection of personal information

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Digitally signed on 2025-04-11, 10:04:56 a.m. EDT by Meredith Haslam.

Send correspondence to	
Send correspondence to <input type="checkbox"/> Owner(s) <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Others	
Who to send the Invoice to <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Agent <input type="checkbox"/> Other	

Provide a description of the "entire" property			
Concession		Lot 73	Registered Plan Number PLAN No. 172
Area in Hectares		Area in Acres 0.5164527183	Depth in Meters 54.738
Depth in Feet 179.586614	Frontage in Meters 39.700	Frontage in Feet 130.2493	Width of road allowance (if known)

Reason for Application	
Please indicate the Section of the Planning Act under which this application is being made <input checked="" type="checkbox"/> Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.) <input type="checkbox"/> Section 45(2) relates to a change to or expansion of an existing legal non- conforming use	
What is the nature and extent of the relief that is being applied for? We would like to build an Additional Dwelling Unit in the rear yard that increases the distance from the principal dwelling. To achieve this, we would like the unit positioned with smaller setbacks. I would like to add relief from total lot coverage of 25% to the proposed 27.7%. Also the zoning overlay shows the property in the NE zone	Why is it not possible to comply with the provisions of the by-law? To achieve a greater distance from the principal dwelling, we require the setbacks to be adjusted. The principal dwelling consumes a large portion of the Lot coverage

What is the current Official Plan and zoning status?	
Official Plan Designation Vacant Land Condo	Zoning Designation RUR
What is the access to the subject property? <input type="checkbox"/> Provincial Highway <input checked="" type="checkbox"/> Continually maintained municipal road <input type="checkbox"/> Seasonally maintained municipal road <input type="checkbox"/> Other <input type="checkbox"/> Continually maintained county road	
What is the name of the road or street that provides access to the subject property? Heritage Lake Drive	If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

Existing and Proposed Service		
Indicate the applicable water supply and sewage disposal:		
Private Well	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Water	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Provincial Water Taking Permit	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Private Septic	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Septic	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Other Provincial Waste Water System	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
How is storm drainage provided? *		
<input checked="" type="checkbox"/> Storm Sewers <input type="checkbox"/> Ditches <input checked="" type="checkbox"/> Swales <input type="checkbox"/> Other means		

Existing Subject and Abutting Property Land Uses, Buildings and their Locations	
What is the existing use of the subject property? Single Family Dwelling	What is the existing use of the abutting properties? Single Family Dwelling

Provide the following details for all existing buildings on the subject land		
Main Building Height in Meters 6.7	Main Building Height in Feet 22	Percentage Lot Coverage in Meters 19.75
Percentage Lot Coverage in Feet 64.79	Number of Parking Spaces 4	Number of Loading Spaces N/A
Number of Floors 1	Total Floor Area in Square Meters 575.6	Total Floor Area in Square Feet 6196
Ground Floor Area (Exclude Basement) in Square Meters 287.8	Ground Floor Area (Exclude Basement) in Square Feet 3098	

Provide the following details for all buildings proposed for the subject land		
Main Building Height in Meters 4.87	Main Building Height in Feet 16	Percentage Lot Coverage in Meters 9.92
Percentage Lot Coverage in Feet 32.53	Number of Parking Spaces 1	Number of Loading Spaces N/A
Number of Floors 1	Total Floor Area in Square Meters 98.3	Total Floor Area in Square Feet 1058
Ground Floor Area (Exclude Basement) in Square Meters 98.3	Ground Floor Area (Exclude Basement) in Square Feet 1058	

What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)		
Front Yard in Meters N/A	Front Yard in Feet N/A	Rear Yard in Meters N/A
Rear Yard in Feet N/A	Side Yard (interior) in Meters N/A	Side Yard (interior) in Feet N/A
Side Yard (Exterior) in Meters N/A	Side Yard (Exterior) in Feet N/A	

What are the dates of acquisition and construction of subject property and building property		
Date of acquisition of subject property March 8, 2022	Date of construction of buildings property 2021	How long have the existing uses continued on the subject property? 3 Years
Has the owner previously applied for relief in respect of the subject property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

Other Related Planning Applications	
Planning Application: Official Plan Amendment <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Zoning By-Law Amendment <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Planning Application: Plan of Subdivision <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Consent (Severance) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Planning Application: Site Plan <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Minor Variance <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Minor Variance Application must be commissioned
Please confirm the following <input checked="" type="checkbox"/> I understand that prior to the Minor Variance Application being deemed complete it must be commissioned by all registered owners or the agent responsible for the application.

Sworn Declaration of Applicant

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I, Timberworx Custom Homes (Meredith Haslam), solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the Applicant is accurate and that the information contained in the documents that accompany this application is accurate, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature of Applicant (sign in the presence of a Commissioner for taking affidavits)

Signature of Commissioner for taking affidavits

Municipality

Township of
Puslinch

Day, month, year

09/04/2025

Place an imprint of your stamp below

Laura Elizabeth Emery, a Commissioner, etc.,
Province of Ontario, for the Corporation of the
Township of Puslinch.
Expires August 31, 2026.

Affidavit and signatures

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Signature: [Redacted]

Date: APRIL 9, 2025

I MEREDITH HASLAM HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK AND AM QUALIFIED IN THE APPROPRIATE CATEGORY AS AN "OTHER DESIGNER" UNDER DIV. 'C', PART 3, SUBSECTION 3.2.5 OF THE ONTARIO BUILDING CODE. THESE DESIGNS RELATE TO THE CONSTRUCTION UNDER THE ONTARIO NEW HOME WARRANTIES PLAN ACT.

BCIN #:24188

DATE:

SIGNED:

TIMBERWORK CUSTOM HOMES

376 MALTBY ROAD EAST
N1L 1G4
GUELPH, ONTARIO
TEL. 226 780 0234

STATUS BUILDING-PERMIT

SCALE 3/16"=1'-0"

DWN BY MH

REV. BY MH

DATE FEBRUARY.2025

REVISED

TRIPLE SILL PLATES

PLUMBING TO COMPLY
WITH O.B.C PART #7

NOTE: INSTALL BUILT-UP
POST FULL WIDTH OF
SUPPORTED MEMBER @
ALL BEAM & GIRDER
LOCATIONS

TITLE
MAIN FLOOR
PLAN- ARU

LOCATION
LOT 73
HERITAGE LAKE
PUSLINCH, ONT.

SHEET No.

3 OF 8

*ITEMS DESIGNED BY TACOMA ENGINEERS:

FOR THE FOLLOWING DESIGN LOADS:

SNOW: 1.45 kPa (PART 9)

SNOW: 1.92 kPa (PART 4)

ROOF DEAD = 0.75 kPa

FLOOR DEAD = 1.0 kPa

FLOOR LIVE = 1.9 kPa

PROJECT NUMBER: TE-37420-21

ASSUMED SOIL CAPACITY BELOW

FOOTINGS=150kPa (3000psf) SLS

TYPICAL FOR ALL CERTIFIED SHEETS

CARBON MONOXIDE NOTE:

A CARBON MONOXIDE DETECTOR SHALL BE
LOCATED ADJACENT TO SLEEPING AREAS

SMOKE ALARM NOTE:

A SMOKE ALARM SHALL BE INSTALLED ON
EACH FLOOR LEVEL AND WITHIN EACH
SLEEPING ROOM. ALL SMOKE ALARMS SHALL
BE INTERCONNECTED. EACH DEVICE SHALL
HAVE A VISUAL SIGNALING COMPONENT IN
ADDITION TO THE TEMPORAL PATTERN IN
CONFORMANCE WITH 18.5.3 OF NFPA 72.

FRAMING NOTE:

MAIN BATHROOM TO HAVE STUD
BLOCKING FOR FUTURE INSTALLATION
GRAB BARS ADJACENT TO TUB/SHOWER
AND TOILET

FRAMING NOTE:

ALL DOOR OPENINGS TO
ALLOW FOR 4" TRIM SURROUND

FRAMING NOTE:

ALL POSTS TO EXTEND DOWN TO
FOUNDATION OR BEAM BELOW WITH
SOLID BLOCKING IN JOIST SPACE

NOTE:

HANDRAIL AND GUARD @ 36"
A.F.F PER OBC 9.8 AND SB-7

NOTE:

EEDS COMPLIANCE STANDARD
ENERGUIDE 84

NOTE:

CODE REFERENCES REFER
TO O.B.C 2012 DIVISION B

NOTE:

ALL INTERIOR WALLS ARE
2X6 WOOD CONSTRUCTION
UNLESS OTHERWISE NOTED

NOTE:

REFER TO TRUSS LAYOUT BY WATFORD
ROOF TRUSS LTD. DATED JANUARY 27,
2022 FOR TRUSS SPANS AND EXACT
GIRDER LOCATIONS

NOTE 1:

BEAMS ARE DESIGNED TO SUPPORT
THIN ADHERED TYPE STONE VENEER.
IF 4" STONE IS USED, INSTALL STEEL
LINTELS AS PER O.B.C

NOTE:

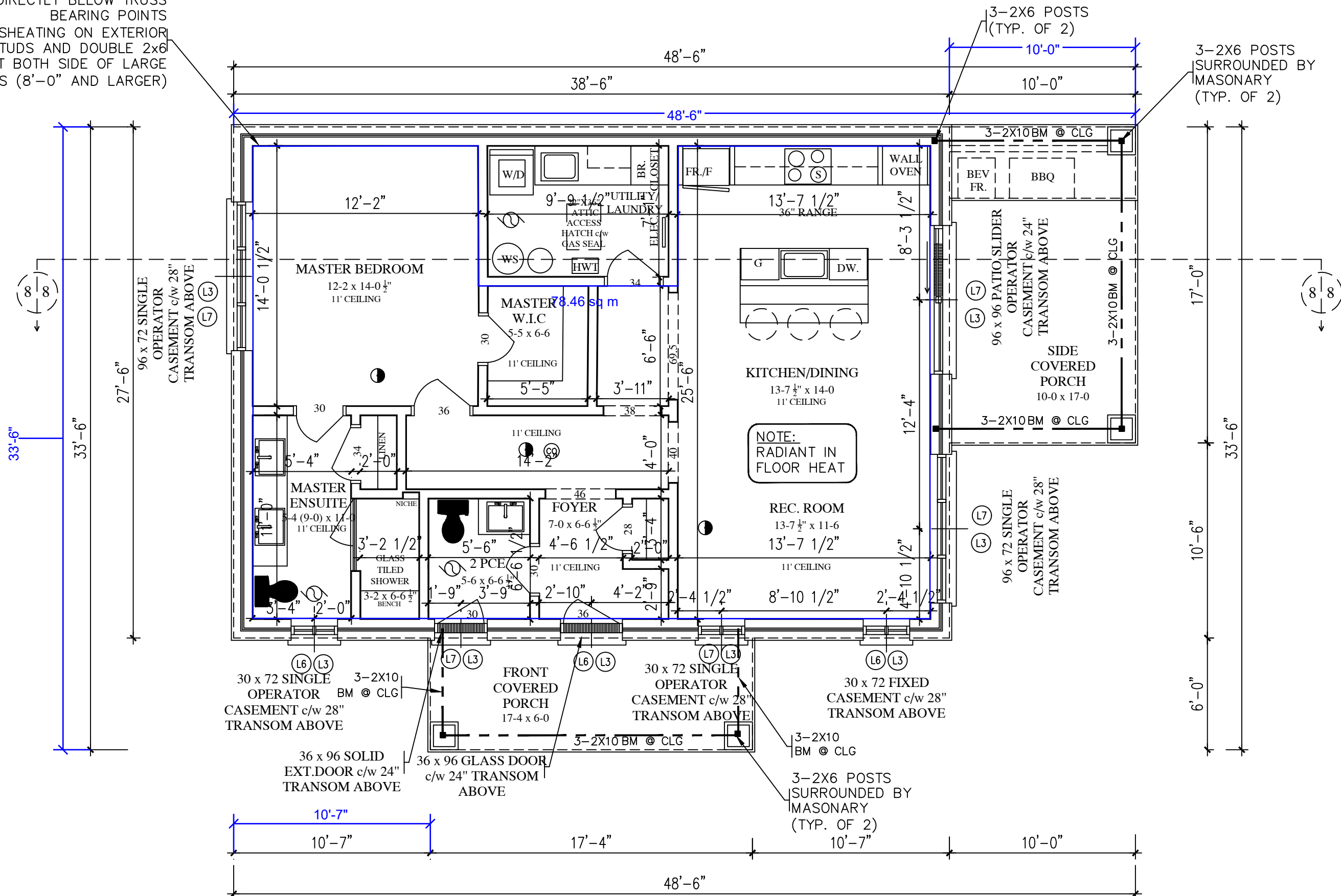
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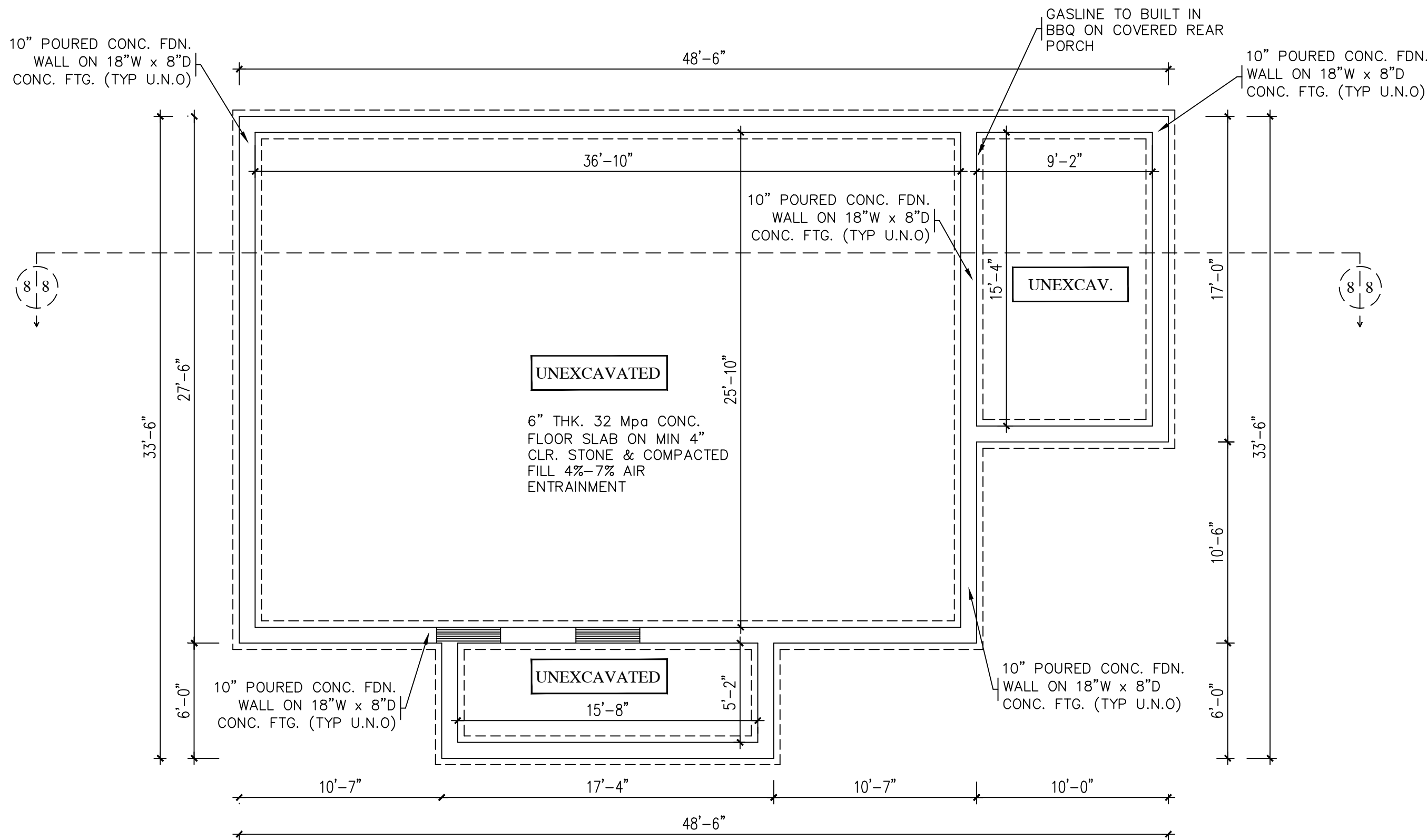
LEGEND:

- (L1) 3-2x8 WOOD LINTEL
C/W 1 JACK AND 1 KING
(L2) 2-2x8 WOOD LINTEL (L3) 2-2x10 WOOD LINTEL (L4) 3-2x10 WOOD LINTEL
(L5) 2-2x12 WOOD LINTEL (L6) L 3 1/2" x 3 1/2" x 1/4" STEEL LINTEL
(L7) L 5" x 3 1/2" x 5/8" STEEL LINTEL (L8) L 3 1/2" x 3 1/2" x 5/8" STEEL LINTEL
(L9) L 6" x 3 1/2" x 3/8" STEEL LINTEL (L10) 8" x 4" x 1/2" STEEL LINTEL
(L11) 2-1 3/4" x 11 7/8" LVL, 2.0E (L12) 2-1 3/4" x 9 1/2" LVL, 2.0E (L13) 1- 1 3/4" x 11 7/8" LVL,

NOTE:
ALL DOORS ARE 8'
IN HEIGHT

11'-0" WALL FRAMING (HOUSE):
-2x6 @ 24" O.C
-INSTALL STUD DIRECTLY BELOW TRUSS
BEARING POINTS
-7/16" WOOD SHEATING ON EXTERIOR
-SINGLE 2x6 JACK STUDS AND DOUBLE 2x6
KING STUDS AT BOTH SIDE OF LARGE
OPENINGS (8'-0" AND LARGER)





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 - (L6) L 3 1/2" x 3 1/2" x 1/4" STEEL LINTEL
 - (L7) L 5" x 3 1/2" x 5/16" STEEL LINTEL
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BCIN #:24188

DATE:

SIGNED:

TIMBERWORX CUSTOM HOMES

376 MALTBY ROAD EAST
N1L 1G4
GUELPH, ONTARIO
TEL. 226 780 0234

STATUS BUILDING-PERMIT

SCALE 3/16"=1'-0"

DWN BY MH

REV. BY MH

DATE FEBRUARY.2025

REVISED

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NOTE: INSTALL BUILT-UP
POST FULL WIDTH OF
SUPPORTED MEMBER @
ALL BEAM & GIRDER
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TITLE
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PLAN- ARU

LOCATION
LOT 73
HERITAGE LAKE
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SHEET No.

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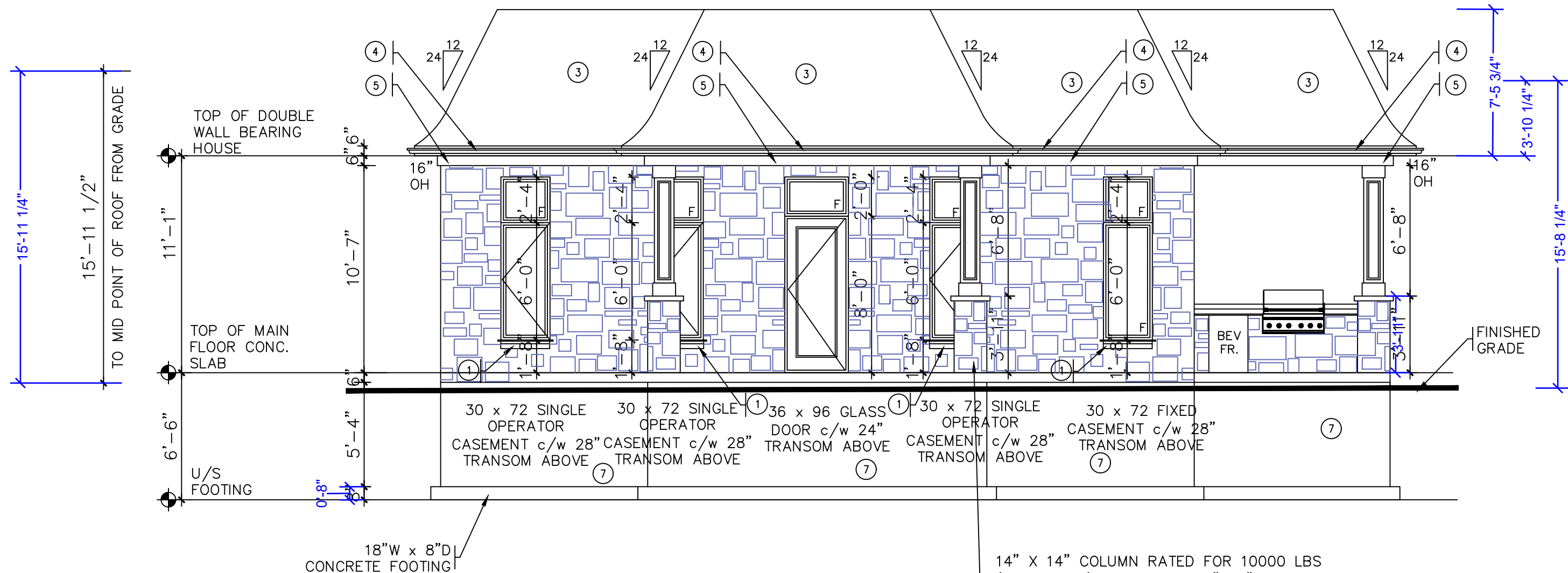
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LOCATION
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SHEET No.

1 OF 8



NOTE:
FOR WALK-OUT & PART WALK-OUT LOTS STEP CONC. FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. OF 4'-0" OF Laterally UNSUPPORTED WALL

NOTE:
PROVIDE GUARDS (SB-7 TYPE GUARDS FOR HOUSING AND SMALL BUILDINGS) AT PORCH WHERE DISTANCE FROM PORCH TO GRADE IS 2'-0" OR GREATER.

NOTE:
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FLOOR DEAD = 1.0 kPa
FLOOR LIVE = 1.9 kPa
PROJECT NUMBER: TW-00488-22
ASSUMED SOIL CAPACITY BELOW FOOTINGS=150kPa (3000psf) SLS
TYPICAL FOR ALL CERTIFIED SHEETS

LEGEND:

- | | |
|--|--|
| ① 5" PRECAST CROWN CONC. SILL PROFILE, SIMPLE | ⑤ 6" WIDE FRIEZE TRIM |
| ② 4" PRECAST DOOR SILL c/w 2" PROJECTION | ⑥ 6" STEPPED ALUM. FASCIA c/w 1" TOP-EDGE REVEAL, 6" PRE-FIN. WOOD FRIEZE TRIM |
| ③ ASPHALT SHINGLES | ⑦ 10" POURED CONC. FOUNDATION |
| ④ PREFIN. ALUM. GUTTER ON 6" PREF. ALUM. FASCIA (TYP.) | |

NOTE:
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NOTE:
EEDS COMPLIANCE STANDARD ENERGUIDE 84

NOTE:
WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.

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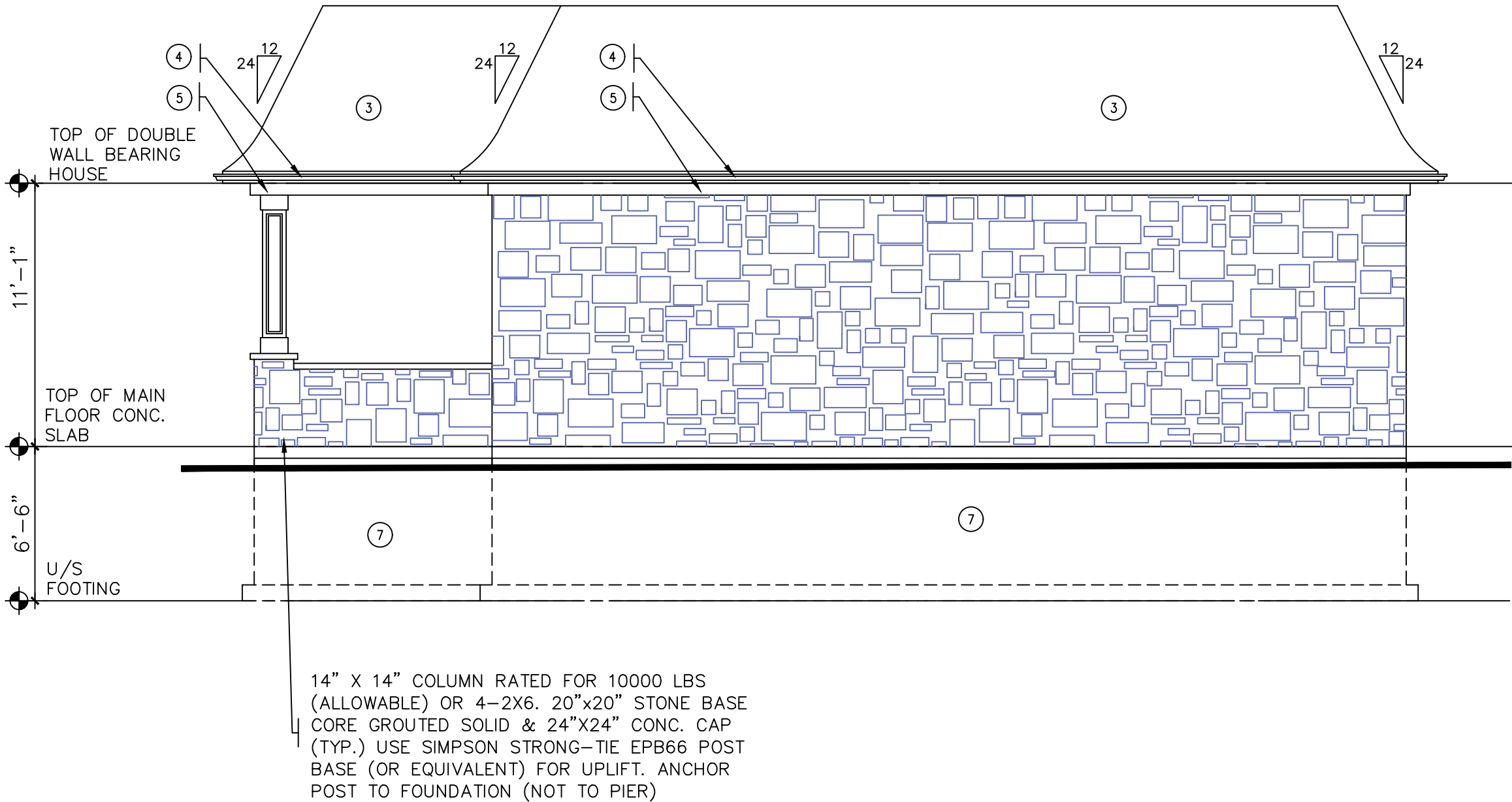
TITLE
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LOCATION
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SHEET No.

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| ② 4" PRECAST DOOR SILL c/w 2" PROJECTION | ⑥ 6" STEPPED ALUM. FASCIA c/w 1" TOP-EDGE REVEAL, 6" PRE-FIN. WOOD FRIEZE TRIM |
| ③ ASPHALT SHINGLES | ⑦ 10" POURED CONC. FOUNDATION |
| ④ PREFIN. ALUM. GUTTER ON 6" PREF. ALUM. FASCIA (TYP.) | |

I MEREDITH HASLAM HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK AND AM QUALIFIED IN THE APPROPRIATE CATEGORY AS AN "OTHER DESIGNER" UNDER DIV. 'C', PART 3, SUBSECTION 3.2.5 OF THE ONTARIO BUILDING CODE. THESE DESIGNS RELATE TO THE CONSTRUCTION UNDER THE ONTARIO NEW HOME WARRANTIES PLAN ACT.

BCIN #:24188

DATE:

SIGNED:

TIMBERWORX
CUSTOM HOMES

376 MALTBY ROAD EAST
N1L 1G4
GUELPH, ONTARIO
TEL. 226 780 0234

STATUS BUILDING-PERMIT

SCALE 3/16"=1'-0"

DWN BY MH

REV. BY MH

DATE FEBRUARY.2025

REVISED

TRIPLE SILL PLATES

PLUMBING TO COMPLY WITH O.B.C PART #7

NOTE: INSTALL BUILT-UP POST FULL WIDTH OF SUPPORTED MEMBER @ ALL BEAM & GIRDER LOCATIONS

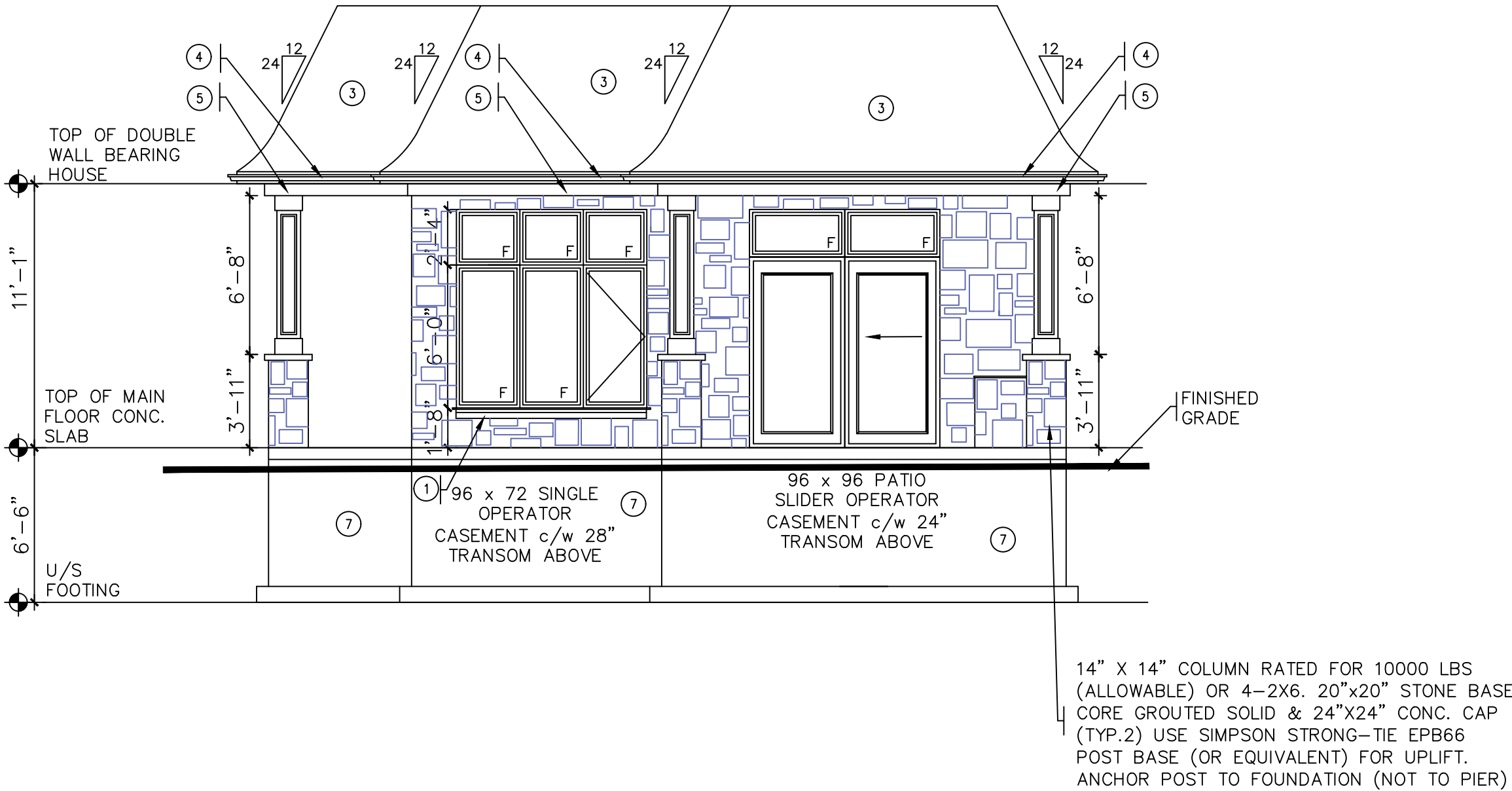
TITLE
RIGHT
ELEVATION-ARU

LOCATION
LOT 73
HERITAGE LAKE

PUSLINCH, ONT.

SHEET No.

5 OF 8



NOTE:
CODE REFERENCES REFER TO O.B.C 2012 DIVISION B

NOTE:
EEDS COMPLIANCE STANDARD ENERGUIDE 84

NOTE:
WINDOW SIZES SHOWN ARE APPROXIMATE. EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.

NOTE:
FOR WALK-OUT & PART WALK-OUT LOTS STEP CONC. FOUNDATION AS REQ'D FOR PROPOSED GRADES ENSURING A MAX. OF 4'-0" OF Laterally UNSUPPORTED WALL

NOTE:
PROVIDE GUARDS (SB-7 TYPE GUARDS FOR HOUSING AND SMALL BUILDINGS) AT PORCH WHERE DISTANCE FROM PORCH TO GRADE IS 2'-0" OR GREATER.

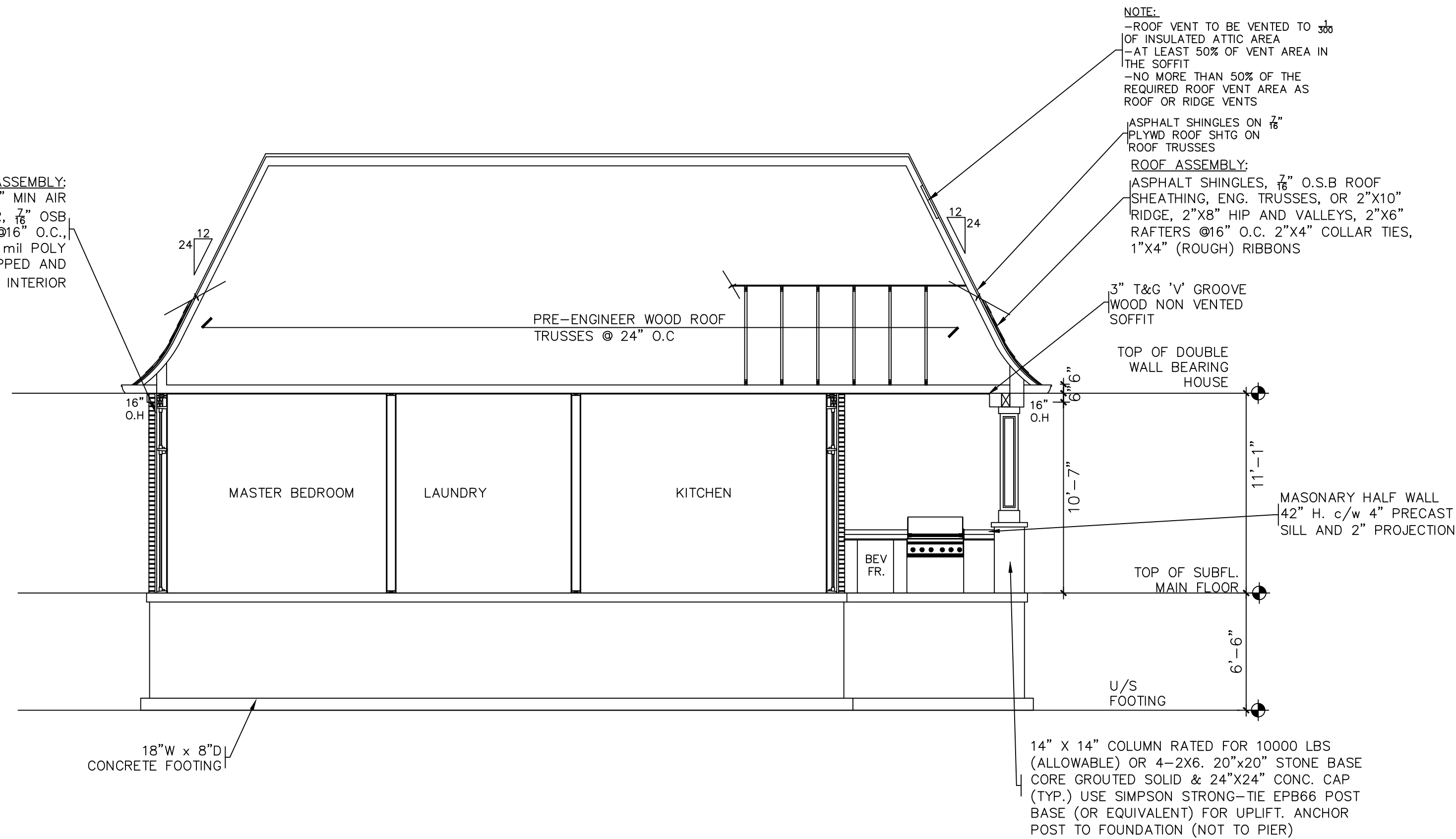
NOTE:
ALL CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE (O.B.C) AND OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. UNLESS NOTED OTHERWISE, THE CODE REFERENCE ARE FROM 2012 O.B.C, REG 332/12 , DIVISION B, PART 9.

*ITEMS DESIGNED BY
TACOMA ENGINEERS:
FOR THE FOLLOWING DESIGN LOADS:
SNOW: 1.45 kPa (PART 9)
SNOW: 1.92 kPa (PART 4)
ROOF DEAD = 0.75 kPa
FLOOR DEAD = 1.0 kPa
FLOOR LIVE = 1.9 kPa
PROJECT NUMBER: TW-00488-22
ASSUMED SOIL CAPACITY BELOW
FOOTINGS=150kPa (3000psf) SLS
TYPICAL FOR ALL CERTIFIED SHEETS

LEGEND:

- | | |
|--|--|
| 1 5" PRECAST CROWN CONC. SILL PROFILE, SIMPLE | 5 6" WIDE FRIEZE TRIM |
| 2 4" PRECAST DOOR SILL c/w 2" PROJECTION | 6 6" STEPPED ALUM. FASCIA c/w 1" TOP-EDGE REVEAL, 6" PRE-FIN. WOOD FRIEZE TRIM |
| 3 ASPHALT SHINGLES | 7 10" POURED CONC. FOUNDATION |
| 4 PREFIN. ALUM. GUTTER ON 6" PREF. ALUM. FASCIA (TYP.) | |

TYPICAL WALL ASSEMBLY:
MASONRY c/w BRICK TIES, 1" MIN AIR
SPACE, 15 LB BUILDNG PAPER, 7/16" OSB
SHEATHING, 2X6 WOOD STUDS @16" O.C.,
R22 BATT INSULATION, R5 ci, 6 mil POLY
VAPOUR/AIR BARRIER OVERLAPPED AND
SEALED, 1/2" GYPSUM ON INTERIOR



NOTE:
CODE REFERENCES REFER
TO O.B.C 2012 DIVISION B

NOTE:
EEDS COMPLIANCE STANDARD
ENERGUIDE 84

NOTE:
WINDOW SIZES SHOWN ARE
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OPENINGS TO BE DETERMINED BY
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SPECIFICATIONS.

NOTE:
FOR WALK-OUT & PART WALK-OUT
LOTS STEP CONC. FOUNDATION AS
REQ'D FOR PROPOSED GRADES
ENSURING A MAX. OF 4'-0" OF
LATERALLY UNSUPPORTED WALL

NOTE:
PROVIDE GUARDS (SB-7 TYPE
GUARDS FOR HOUSING AND SMALL
BUILDINGS) AT PORCH WHERE
DISTANCE FROM PORCH TO GRADE IS
2'-0" OR GREATER.

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OTHERWISE, THE CODE REFERENCE
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TACOMA ENGINEERS:
FOR THE FOLLOWING DESIGN LOADS:
SNOW: 1.45 kPa (PART 9)
SNOW: 1.92 kPa (PART 4)
ROOF DEAD = 0.75 kPa
FLOOR DEAD = 1.0 kPa
FLOOR LIVE = 1.9 kPa
PROJECT NUMBER: TW-00488-22
ASSUMED SOIL CAPACITY BELOW
FOOTINGS=150kPa (3000psf) SLS
TYPICAL FOR ALL CERTIFIED SHEETS

LEGEND:	
① 5" PRECAST CROWN CONC. SILL PROFILE, SIMPLE	⑤ 6" WIDE FRIEZE TRIM
② 4" PRECAST DOOR SILL c/w 2" PROJECTION	⑥ 6" STEPPED ALUM. FASCIA c/w 1" TOP-EDGE REVEAL, 6" PRE-FIN. WOOD FRIEZE TRIM
③ ASPHALT SHINGLES	⑦ 10" POURED CONC. FOUNDATION
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STATUS BUILDING-PERMIT

SCALE 3/16"=1'-0"

DWN BY MH

REV. BY MH

DATE FEBRUARY.2025

REVISED

TRIPLE SILL PLATES

PLUMBING TO COMPLY
WITH O.B.C PART #7

NOTE: INSTALL BUILT-UP
POST FULL WIDTH OF
SUPPORTED MEMBER @
ALL BEAM & GIRDER
LOCATIONS

TITLE
HOUSE
SECTION-ARU

LOCATION
LOT 73
HERITAGE LAKE

PUSLINCH, ONT.

SHEET No.

8 OF 8

*ITEMS DESIGNED BY
TACOMA ENGINEERS:
FOR THE FOLLOWING DESIGN LOADS:
SNOW: 1.45 kPa (PART 9)
SNOW: 1.92 kPa (PART 4)
ROOF DEAD = 0.75 kPa
FLOOR DEAD = 1.0 kPa
FLOOR LIVE = 1.9 kPa
PROJECT NUMBER: TE-37812-21
ASSUMED SOIL CAPACITY BELOW
FOOTINGS=150kPa (3000psf) SLS
TYPICAL FOR ALL CERTIFIED SHEETS

NOTE:
CODE REFERENCES REFER
TO O.B.C 2012 DIVISION B

NOTES:
PROVIDE FIRE SEPARATION IN
ATTIC SPACE. NO SPACE
CAN BE LARGER THAN 3230.
SQFT.

VENT NOTE:
ROOF TO BE VENTED TO $\frac{1}{300}$ OF
INSULATED ATTIC AREA- AT
LEAST 50% OF VENT AREA IN
THE SOFFIT- NO MORE THAN
50% OF THE REQUIRED ROOF
VENT AREA AS ROOF OR RIDGE
VENTS

NOTE:
REFER TO TRUSS LAYOUT BY
WATFORD ROOF TRUSS LTD. DATED
MARCH 19, 2021 FOR TRUSS SPANS
AND EXACT GIRDER LOCATIONS

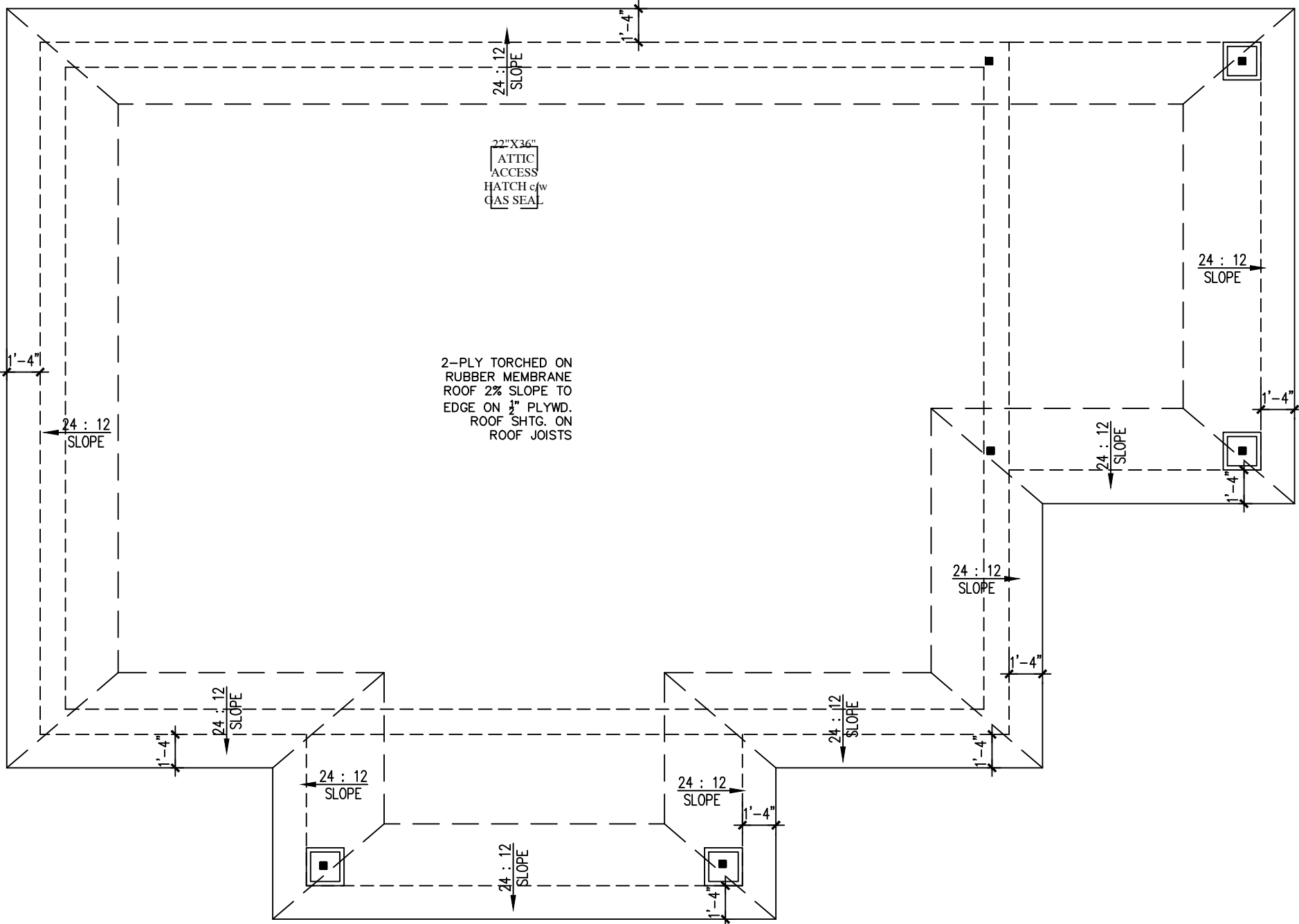
POSTS SUPPORTING GIRDER
TRUSSES:
PLIES OF 2X6 POST TO EQUAL
OF GIRDER TRUSS PLIES
(TYPICAL)

NOTE:
PLEASE REFER TO TRUSS LAYOUT
AND PACKAGE DETAILS FOR TRUSS
DETAILS, HEEL HEIGHTS AND NOTES

NOTE:
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THE ONTARIO BUILDING CODE (O.B.C.)
AND OTHER APPLICABLE CODES AND
AUTHORITIES HAVING JURISDICTION.
UNLESS NOTED OTHERWISE, THE CODE
REFERENCE ARE FROM 2012 O.B.C, REG
332/12 , DIVISION B, PART 9.

LEGEND:

- (L1) 3-2x8 WOOD LINTEL
C/W 1 JACK AND 1 KING
(L2) 2-2x8 WOOD LINTEL (L3) 2-2x10 WOOD LINTEL (L4) 3-2x10 WOOD LINTEL
(L5) 2-2x12 WOOD LINTEL (L6) L 3 1/2" x 3 1/2" x 1/4" STEEL LINTEL
(L7) L 5" x 3 1/2" x 5/16" STEEL LINTEL (L8) L 3 1/2" x 3 1/2" x 5/16" STEEL LINTEL
(L9) L 6" x 3 1/2" x 3/8" STEEL LINTEL (L10) 8" x 4" x 1/2" STEEL LINTEL
(L11) 2-1 3/4" x 11 7/8" LVL, 2.0E
(L12) 2-1 3/4" x 9 1/2" LVL, 2.0E (L13) 1- 1 3/4" x 11 7/8" LVL,



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POST FULL WIDTH OF
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ALL BEAM & GIRDER
LOCATIONS

TITLE
ROOF
PLAN- ARU

LOCATION
LOT 73
HERITAGE LAKE
PUSLINCH, ONT.

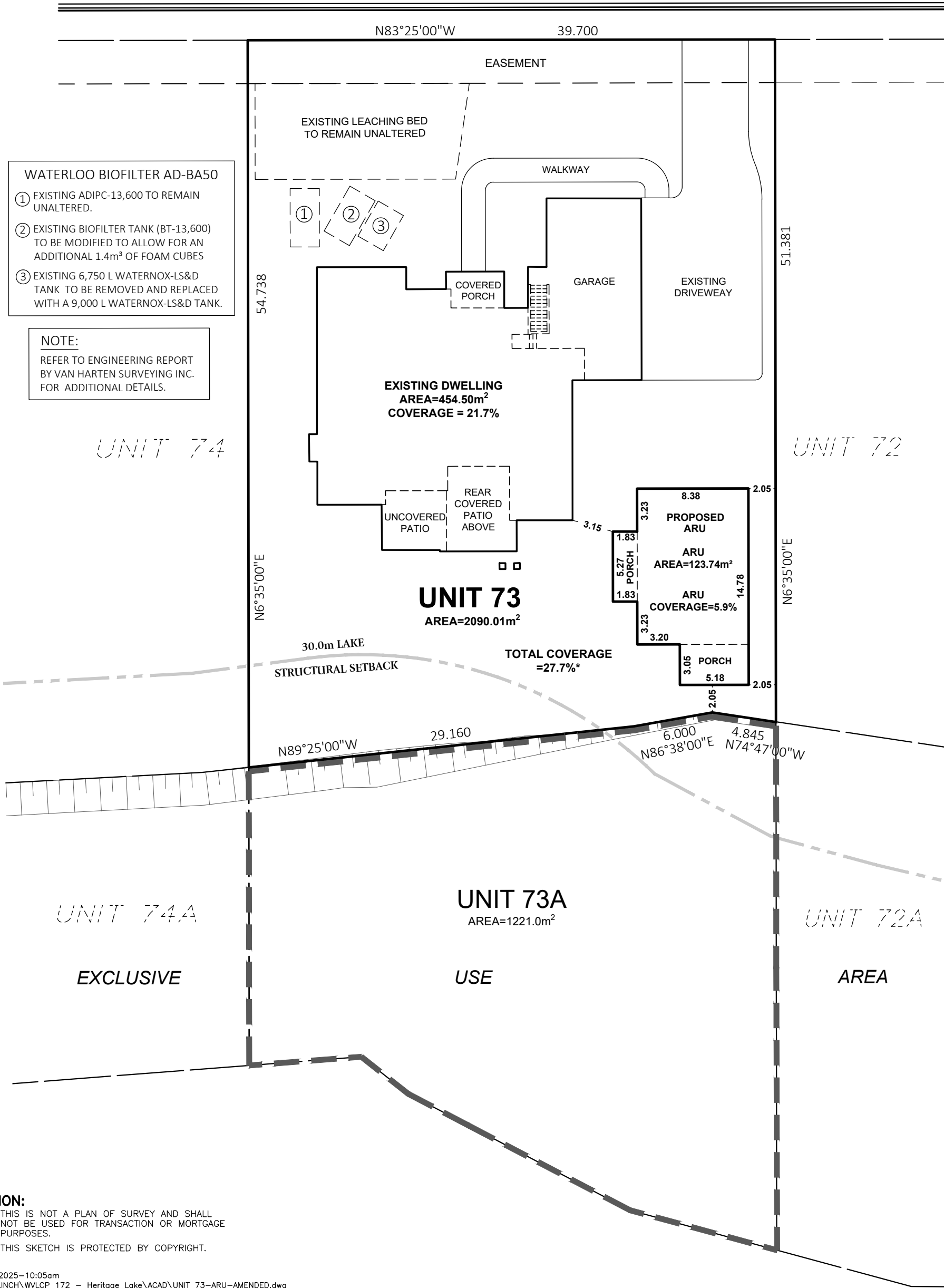
SHEET No.

4 OF 8

SKETCH FOR MINOR VARIANCE
UNIT 73,
WELLINGTON VACANT LAND CONDOMINIUM PLAN No. 172
TOWNSHIP OF PUSLINCH
COUNTY OF WELLINGTON
SCALE 1 : 300



HERITAGE LAKE DRIVE



CAUTION:
- THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.
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Apr 11, 2025-10:05am
G:\PUSLINCH\WVLP 172 - Heritage Lake\ACAD\UNIT 73-ARU-AMENDED.dwg



Van Harten
SURVEYING INC.
LAND SURVEYORS and ENGINEERS

KITCHENER/WATERLOO GUELPH ORANGEVILLE
519-742-8371 519-821-2763 519-940-4110
www.vanharten.com info@vanharten.com

FOR: **TIMBERWORX CUSTOM HOMES**

PROJECT NO. 22105-14

DATE: APRIL 4, 2025

AMENDED: APRIL 10, 2025

AMENDED: APRIL 10, 2025

AMENDED: APRIL 11, 2025

TML/NCH

ZONING: RUR (31)

FRONT YARD - 7.50 MIN.
SIDE YARD - 5.00 MIN.*
REAR YARD - 7.50 MIN.*
COVERAGE - 25% MAX.
1.00m FROM THE PRINCIPAL BUILDING

* - MINOR VARIANCE REQUIRED