

Cloudpermit application number
CA-3523001-P-2024-62

Applicant, Property owner, Payer

Last name Saini	First name Amit	Corporation or partnership
Street address 4430 Wellington Road 35	Unit number	Lot / Con.
Municipality Cambridge	Province Ontario	Postal code N3C 2V4
Other phone	Mobile phone [REDACTED]	
Fax	Email [REDACTED]	

Builder

Last name Varamo	First name Pat	Corporation or partnership
Street address [REDACTED]	Unit number	Lot / Con.
Municipality Guelph	Province Ontario	Postal code [REDACTED]
Other phone	Mobile phone [REDACTED]	
Fax	Email [REDACTED]	

Subject Land Information

Address	Legal description	Roll number
4430 WELLINGTON RD 35 (Primary)	CON 2 REAR PT LOT 15 RP;61R8495 PART 1	2301000002073040000

Sworn Declaration of Applicant

Complete in the presence of a Commissioner for taking affidavits

I, Amit Saini, solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the Applicant is accurate and that the information contained in the documents that accompany this application is accurate, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature of Applicant (sign in the presence of a Commissioner for taking affidavits)

Signature of Commissioner for taking affidavits

Municipality

Day, month, year

Cambridge

22/05/2025

Place an imprint of your stamp below

Heather Marie Brown, a Commissioner, etc.,
Province of Ontario, for National R&D Inc.
and A.Saini Professional Corporation.
Expires June 30, 2026.

Affidavit and signatures

Applicant

The Amit Saini, Applicant is required to agree to erect and maintain a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits. The sign will be provided to the applicant for posting on the property by Township planning staff along with instructions on how and where to post the sign. The sign must be posted at least 10 days prior to the Committee of Adjustment meeting date for the application and must remain on the property until the 20 day appeal period is expired.

Notice with respect to collection of personal information

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.

Signature

Date

Amit Saini

5/22/2025

Send correspondence to	
Send correspondence to: ☒ Owner(s) ☐ Agent ☐ Others	
Who to send the Invoice to: ☒ Owner ☐ Agent ☐ Other	

Provide a description of the "entire" property			
Concession 2	Lot 15	Registered Plan Number 61R8495 Part 1	
Area in Hectares 0.53	Area in Acres 1.31	Depth in Meters 114.844	
Depth in Feet 376.8	Frontage in Meters 46.2	Frontage in Feet 151.6	Width of road allowance (if known)

Reason for Application	
Please indicate the Section of the Planning Act under which this application is being made ☒ Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.) ☐ Section 45(2) relates to a change to or expansion of an existing legal non- conforming use	
What is the nature and extent of the relief that is being applied for? Request to for relief for 2 items: 1. Allow the addition of a indoor pool structure with height of ~ 23' - 6" [7.2 meters] 4.1 Additional Regulations Accessory Buildings and Structures – Maximum Permitted Height of 5 m [16' - 5"]. A. We are requesting relief of 7' - 2" [2.18 m] to allow for a wrestling room and a gym on the 2nd floor B. Please note that the grade of pool structure is 8' - 10" below the grade of the main building 2. Permit the addition of a indoor pool structure with ~2152 sq. ft. lot area A. Current by-law, "Table 4.1 Additional Regulations – Accessory Buildings and Structures" states that, "Lot area less than 1 ha" has maximum size of "200 sq. m" [or 2,153 sq. ft]. B. There is a detached garage that takes up 1,302 sq. ft. and a small shed that takes up 50 sq. ft. C. The maximum allowable size of the pool is 2153 - 1302 - 50 = 801 sq. ft. D. The pool house is required to cover the existing pool's footprint which requires 2152 sq. ft. The available 801 sq. ft. will be unable to cover the existing pool. E. We are requesting relief for an additional 1351 sq. ft. [125 sq. m]	Why is it not possible to comply with the provisions of the by-law? For relief #1, in order to include a wrestling area on the 2nd floor, the ceiling of the 1st floor must include: (a) 21" thick beams, (b) 1'-1" thick TGIs, (c) 1' to 2' thick HVAC ducts, etc. To accommodate these construction materials and maintain reasonable heights of 8' for both floors, the height relief of 7'-2" [2.2 meters] is required. Please note that a minor variance has previously been accepted on this site for a detached garage. For relief #2, the max. allowable sq. ft is 200 m^2 or 2153 ft^2. There is a detached garage that takes up a footprint of 1302 ft^2 and a small shed that takes up 50 ft^2. This leaves 801 sq. ft. The existing pool (previously approved by the township on May 31st, 2018) is to remain in place. The pool currently requires an existing foot print of 2,153 sq. ft. The current allowable 801 sq. ft. [74 m^2] is not sufficient to enclose or cover the entire existing pool.

What is the current Official Plan and zoning status?	
Official Plan Designation Agriculture	Zoning Designation Agriculture
What is the access to the subject property? ☐ Provincial Highway ☐ Continually maintained municipal road ☐ Seasonally maintained municipal road ☐ Other ☒ Continually maintained county road	
What is the name of the road or street that provides access to the subject property? 4430 Wellington Road 35	If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

Existing and Proposed Service		
Indicate the applicable water supply and sewage disposal:		
Private Well	☒ Existing	☐ Proposed
Communal Water	☐ Existing	☐ Proposed
Provincial Water Taking Permit	☐ Existing	☐ Proposed
Private Septic	☒ Existing	☐ Proposed
Communal Septic	☐ Existing	☐ Proposed
Other Provincial Waste Water System	☐ Existing	☐ Proposed
How is storm drainage provided? * ☐ Storm Sewers ☐ Ditches ☒ Swales ☐ Other means		

Existing Subject and Abutting Property Land Uses, Buildings and their Locations	
What is the existing use of the subject property? Residential use.	What is the existing use of the abutting properties? Residential and agriculture.

Provide the following details for all existing buildings on the subject land		
Main Building Height in Meters 5.1	Main Building Height in Feet 16.75	Percentage Lot Coverage in Meters 3%
Percentage Lot Coverage in Feet 3%	Number of Parking Spaces 2	Number of Loading Spaces 0
Number of Floors 1	Total Floor Area in Square Meters 163	Total Floor Area in Square Feet 1751
Ground Floor Area (Exclude Basement) in Square Meters 163		Ground Floor Area (Exclude Basement) in Square Feet 1751

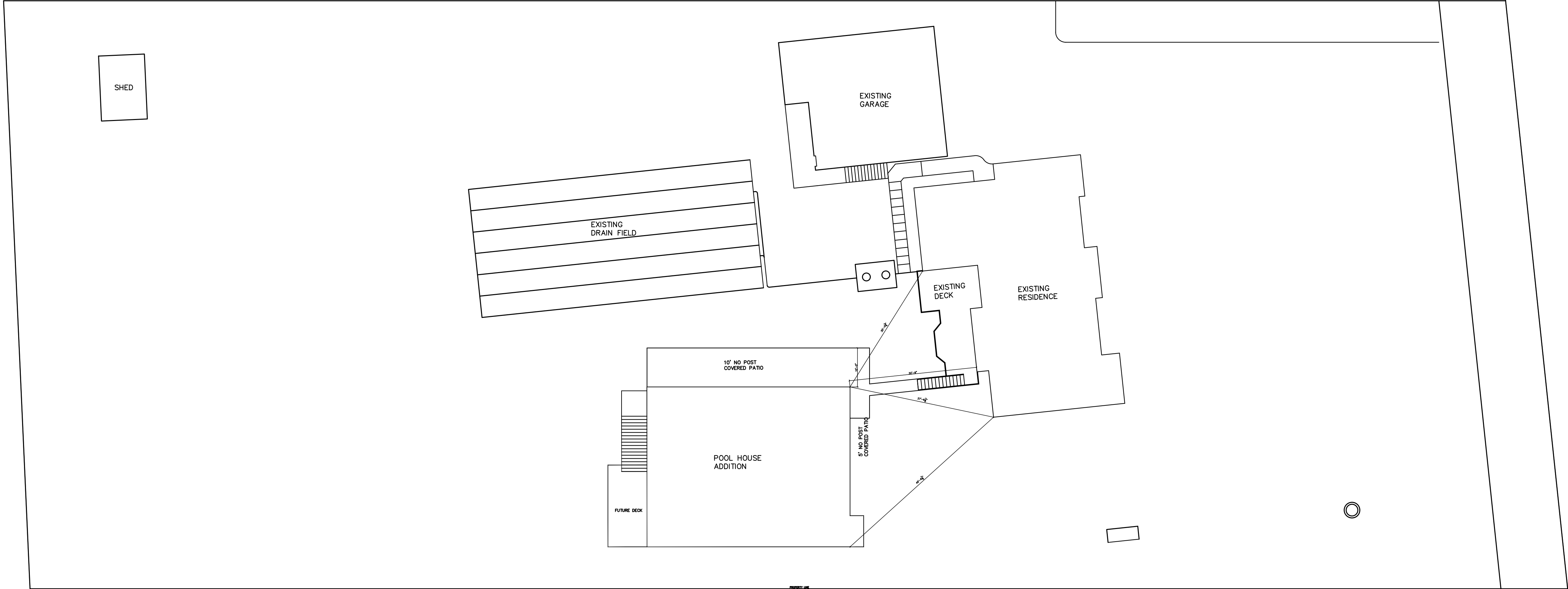
Provide the following details for all buildings proposed for the subject land		
Main Building Height in Meters 7.2	Main Building Height in Feet 23.6	Percentage Lot Coverage in Meters 3.8%
Percentage Lot Coverage in Feet 3.8%	Number of Parking Spaces 0	Number of Loading Spaces 0
Number of Floors 2	Total Floor Area in Square Meters 400	Total Floor Area in Square Feet 4304
Ground Floor Area (Exclude Basement) in Square Meters 200		Ground Floor Area (Exclude Basement) in Square Feet 2152

What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)		
Front Yard in Meters 33	Front Yard in Feet 108	Rear Yard in Meters 117
Rear Yard in Feet 385	Side Yard (interior) in Meters 2	Side Yard (interior) in Feet 6.5
Side Yard (Exterior) in Meters 13.7		Side Yard (Exterior) in Feet 45

What are the dates of acquisition and construction of subject property and building property		
Date of acquisition of subject property 2/15/2017	Date of construction of buildings property 1/1/2001	How long have the existing uses continued on the subject property? 9
Has the owner previously applied for relief in respect of the subject property? ☒ Yes ☐ No		Please indicate the file number and describe briefly D13/SAI minor variance approved for height of detached garage

Other Related Planning Applications		
Planning Application: Official Plan Amendment ☐ Yes ☒ No		Planning Application: Zoning By-Law Amendment ☐ Yes ☒ No
Planning Application: Plan of Subdivision ☐ Yes ☒ No		Planning Application: Consent (Severance) ☐ Yes ☒ No
Planning Application: Site Plan ☐ Yes ☒ No		Planning Application: Minor Variance ☒ Yes ☐ No
Minor Variance: File Number TBD	Minor Variance: Approval Authority Unknown	Minor Variance: Subject Lands None
Minor Variance: Purpose Permit construction of pool enclosure		Minor Variance: Status TBD

Minor Variance Application must be commissioned
Please confirm the following ☒ I understand that prior to the Minor Variance Application being deemed complete it must be commissioned by all registered owners or the agent responsible for the application.



SITE PLAN
SCALE: 1/16"=1'-0"

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SITE PLAN

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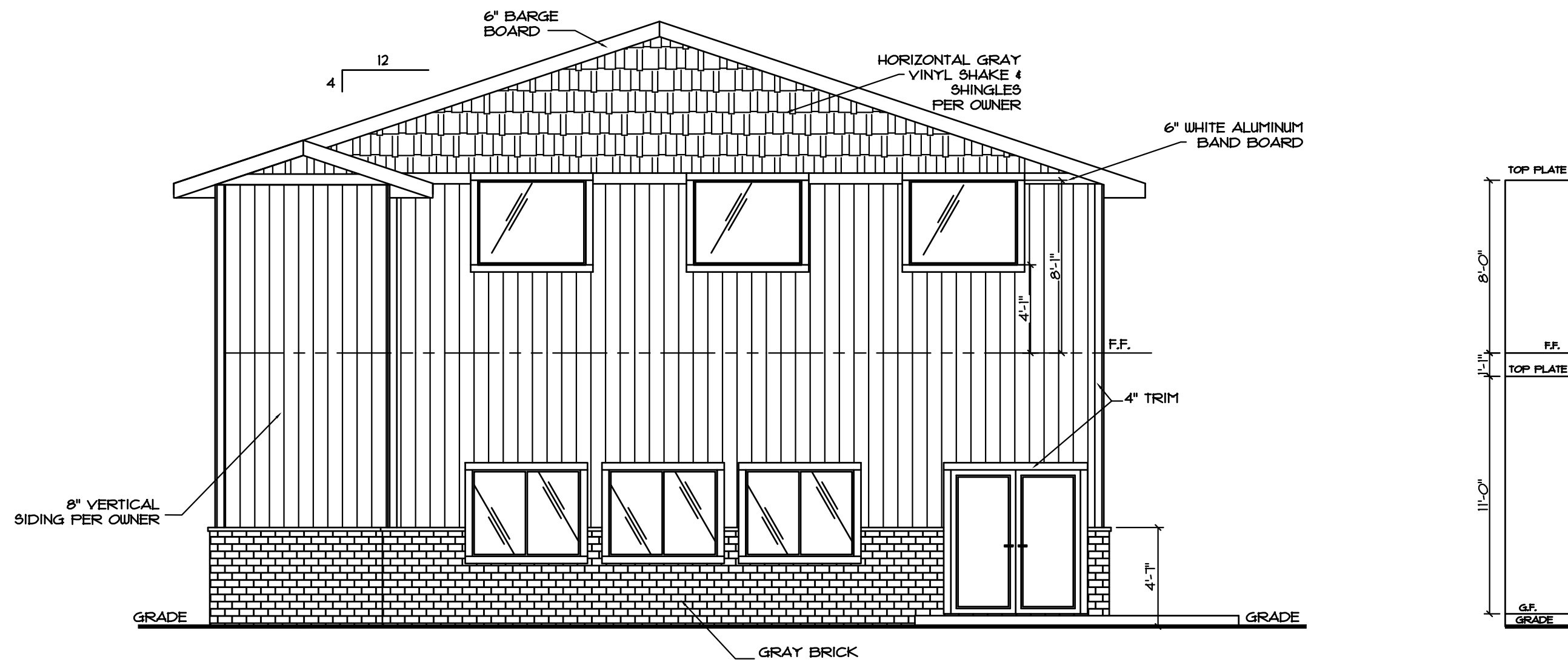
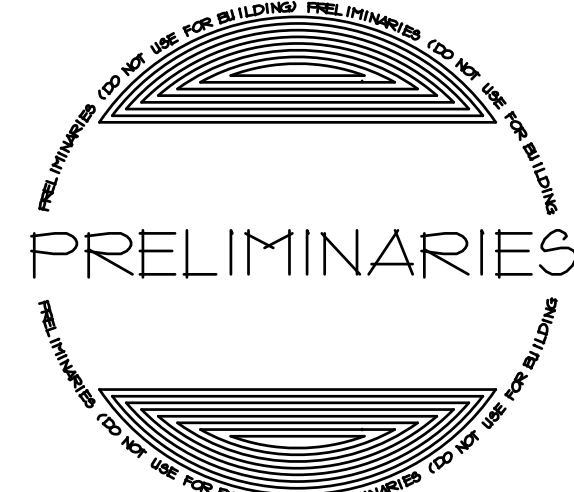
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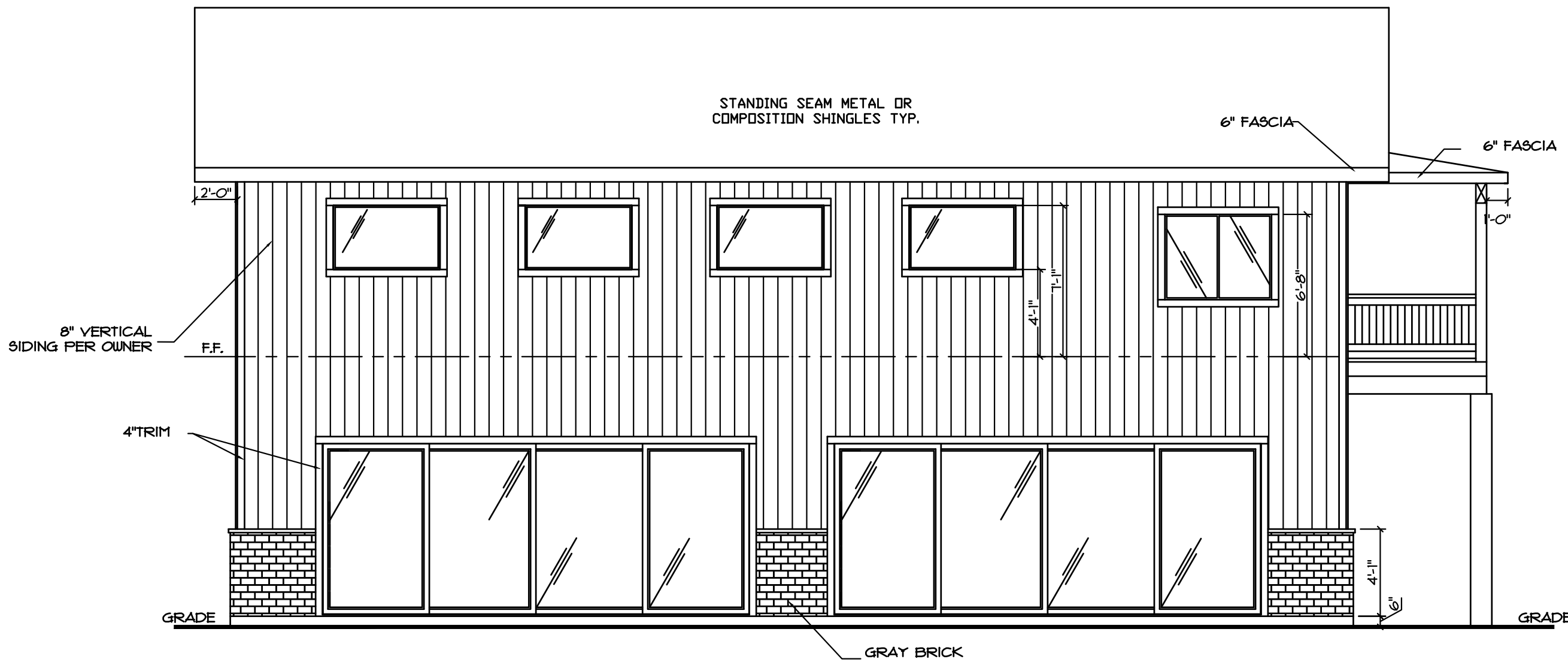
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Of	1 Sheets



FRONT ELEVATION

SCALE 3/16"=1'-0"

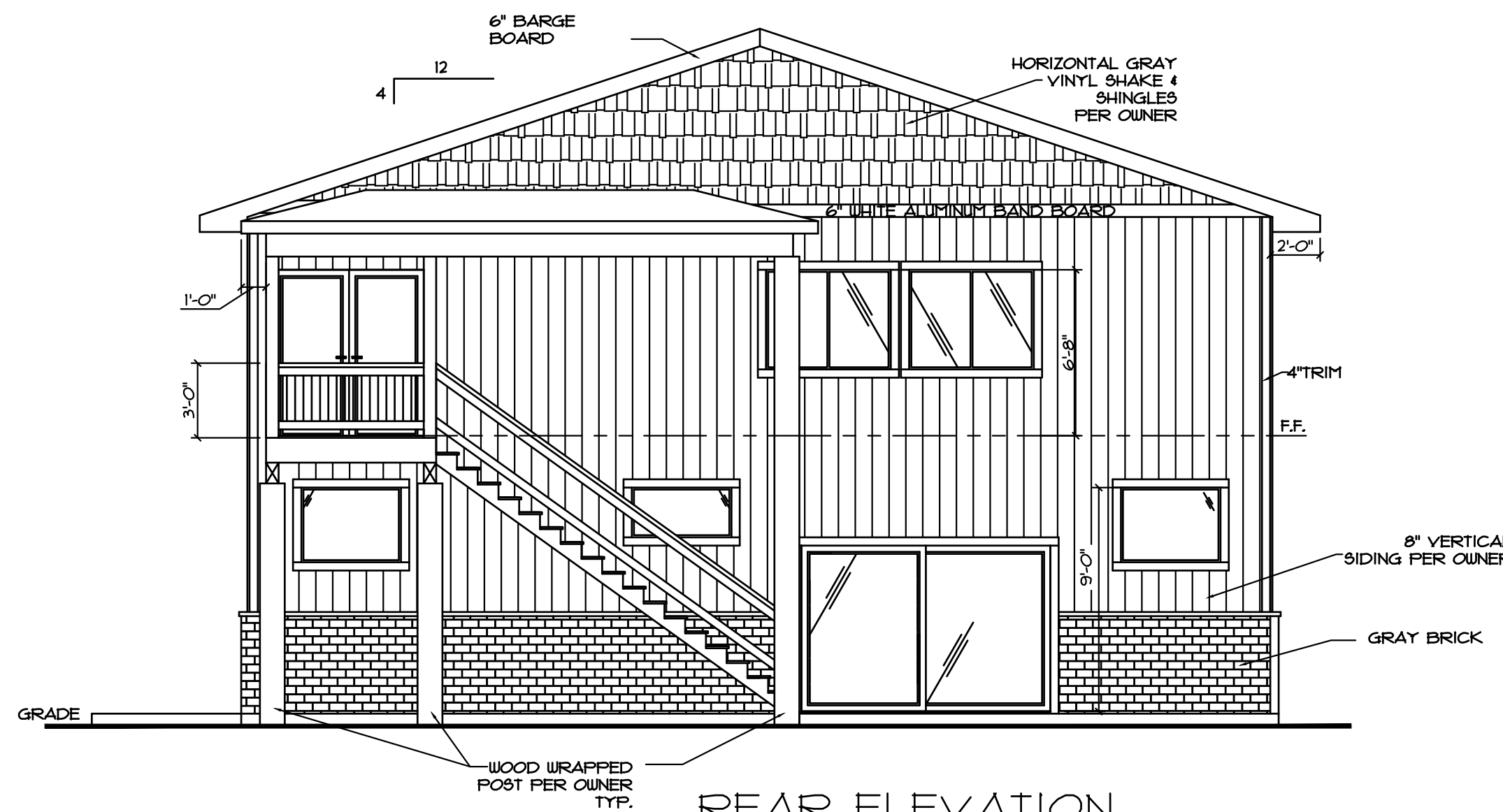


RIGHT ELEVATION

SCALE 3/16"=1'-0"

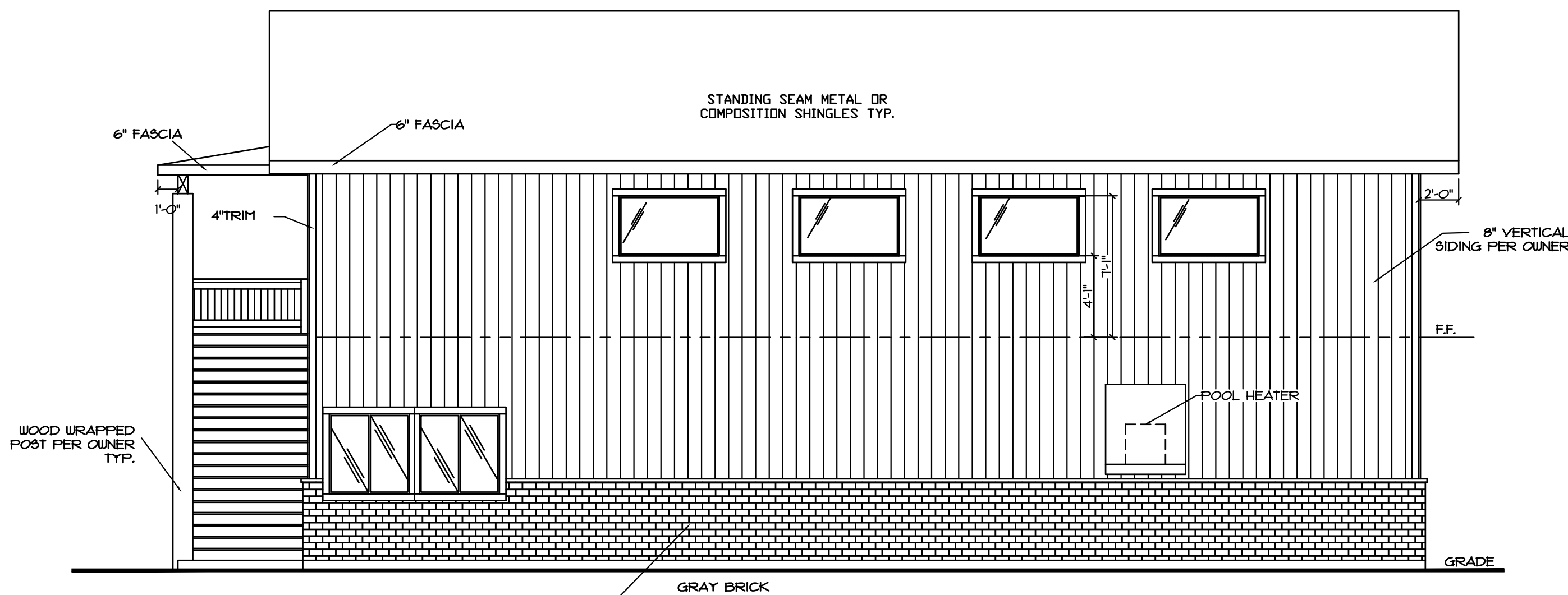
NOTES:
MINIMUM DISTANCE FROM GARAGE TO SEPTIC TANK IS 1.5M
MINIMUM DISTANCE FROM GARAGE TO SEPTIC DISTRIBUTION PIPES IS 5M

NOTES:
1. ALL CONSTRUCTION TO MEET ONTARIO BUILDING CODE REQUIREMENTS
2. ALL CONSTRUCTION, WHETHER DETAILED ON PLAN OR NOT, IS SUBJECT TO FIELD APPROVAL
3. REVIEWED PERMIT DRAWINGS MUST REMAIN AT THE JOB SITE UNTIL COMPLETION OF THE PROJECT
4. REVIEW OF THESE PLANS DOES NOT NECESSARILY GUARANTEE THAT THEY ARE IN CONFORMANCE WITH THE ONTARIO BUILDING CODE
5. IT IS THE OWNER/BUILDER'S RESPONSIBILITY TO CALL FOR INSPECTIONS IN ACCORDANCE WITH THE ONTARIO BUILDING CODE



REAR ELEVATION

SCALE 3/16"=1'-0"



LEFT ELEVATION

SCALE 3/16"=1'-0"

NOTES:

- 1) ALL ROOF AND SITE WATER TO DRAIN TO STREET OR TO AN APPROVED DRY-WELL SYSTEM
- 2) ALL NAILING TO BE IN COMPLIANCE W/ 2021 I.R.C.
- 3) SHEARWALL NAILING TO BE: 4"O.C. ON EDGE 8"O.C. IN FIELD
- 4) EXPOSED PLYWOOD AT ROOF OVERHANG TO BE CC-X OR BETTER

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ELEVATIONS

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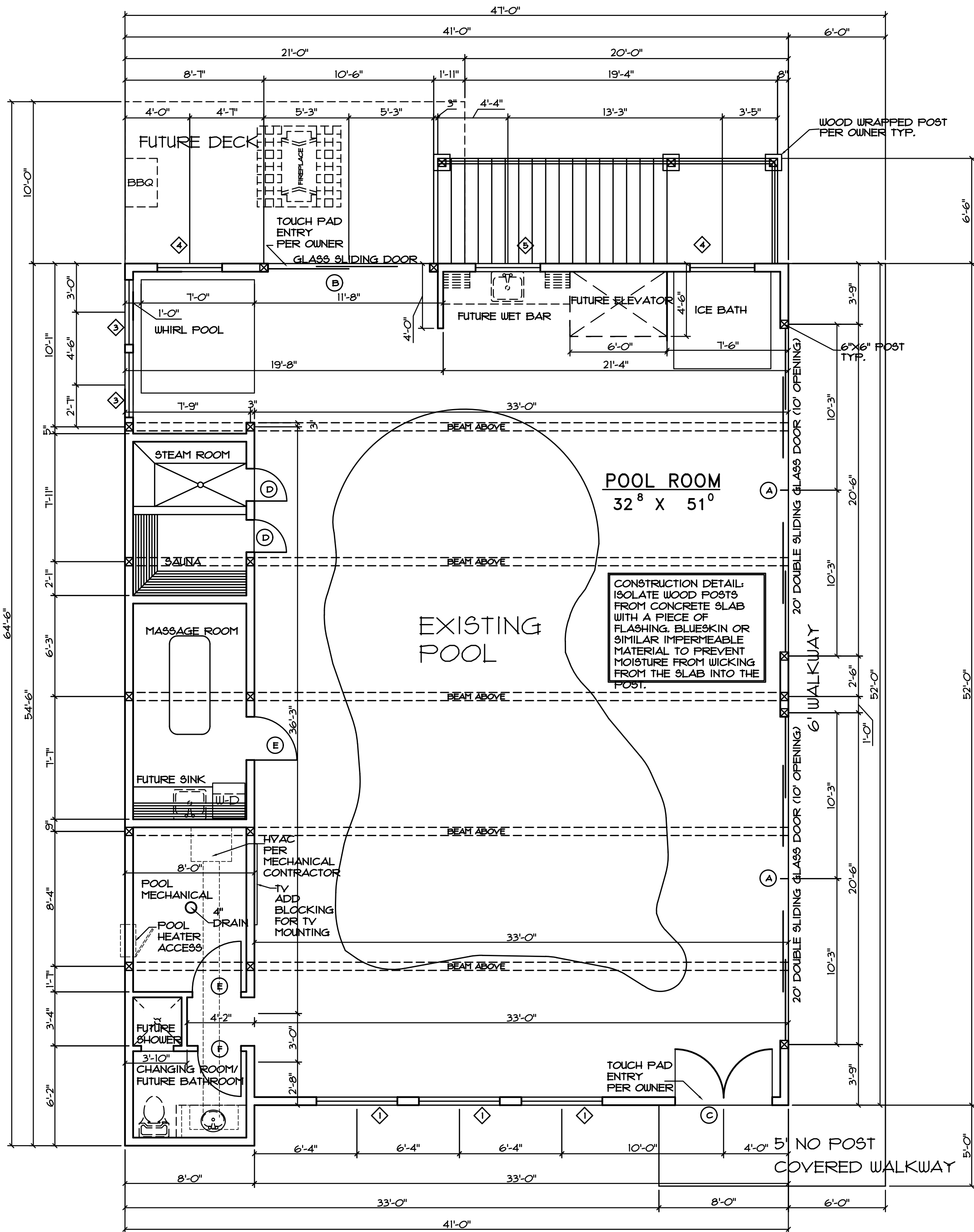
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Sheet	1
Of	6 Sheets



MAIN LEVEL FLOOR PLAN
SCALE 3/16"=1'-0"

SQUARE FOOTAGE	
MAIN LEVEL FLOOR PLAN	2152 SQ. FT.
UPPER LEVEL FLOOR PLAN	2152 SQ. FT.
TOTAL	4304 SQ. FT.

2021 ENERGY CODE PRESCRIPTIVE REQUIREMENTS FOR GROUP R OCCUPANCY CLIMATE ZONE 5											
SYSTEM	GLAZING TYPE	GLAZING U-VALUE	GLAZING SHGC	GLAZING SOLAR FACTOR	GLAZING SHADING COEFFICIENT	GLAZING SHADING COEFFICIENT	GLAZING SHADING COEFFICIENT	GLAZING SHADING COEFFICIENT	GLAZING SHADING COEFFICIENT	GLAZING SHADING COEFFICIENT	GLAZING SHADING COEFFICIENT
1	IR	0.25	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75
2	IR	0.25	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75
3	IR	0.25	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75
4	IR	0.25	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75
5	IR	0.25	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75
6	IR	0.25	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75
7	IR	0.25	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75
8	IR	0.25	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75
9	IR	0.25	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75
10	IR	0.25	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75
11	IR	0.25	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75
12	IR	0.25	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75

DOOR SCHEDULE									
SYTH	SIZE	CORE	MAT	FINISH	QUAN	REMARKS			
(A)	2078	GLASS	CHKAU	FULLY BOLTS	2	SLIDING			
(B)	1078/8	GLASS	CHKAU	FULLY BOLTS	1	SLIDING			
(C)	6068	S.C.		LOCKS	2				
(D)	2068	H.C.		PRIVACY	2				
(E)	2868	H.C.		PRIVACY	2				
(F)	3068	H.C.		PRIVACY	2				
(G)	6068	H.C.		KNOBBS/PULLS	1	SLIDING			
(H)	2468	H.C.		KNOBBS	1	BI-FOLD			

WINDOW SCHEDULE									
SYTH	SIZE	MANUF	MAT	FINISH	QUAN	REMARKS			
(1)	5040	CHKAU	CHKAU	CHKAU	SLIDING	9			
(2)	5030	CHKAU	CHKAU	CHKAU	SLIDING	8			
(3)	4040				SLIDING	2			
(4)	4030				SLIDING	2			
(5)	4020				SLIDING	1			

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS
PER IRC TABLE 602.3(1) & 602.3(2)

CS-WSP
METHOD 3

SHEATHING NAIL ATTACHMENT OPTION
1/16" OSB SHEATED BRACED WALL PANEL FASTEN
w/ 6d NAILS @ 6" O.C. ALONG SHEET EDGES &
12" O.C. ALONG INTERMEDIATE STUDS.

GB
METHOD 5

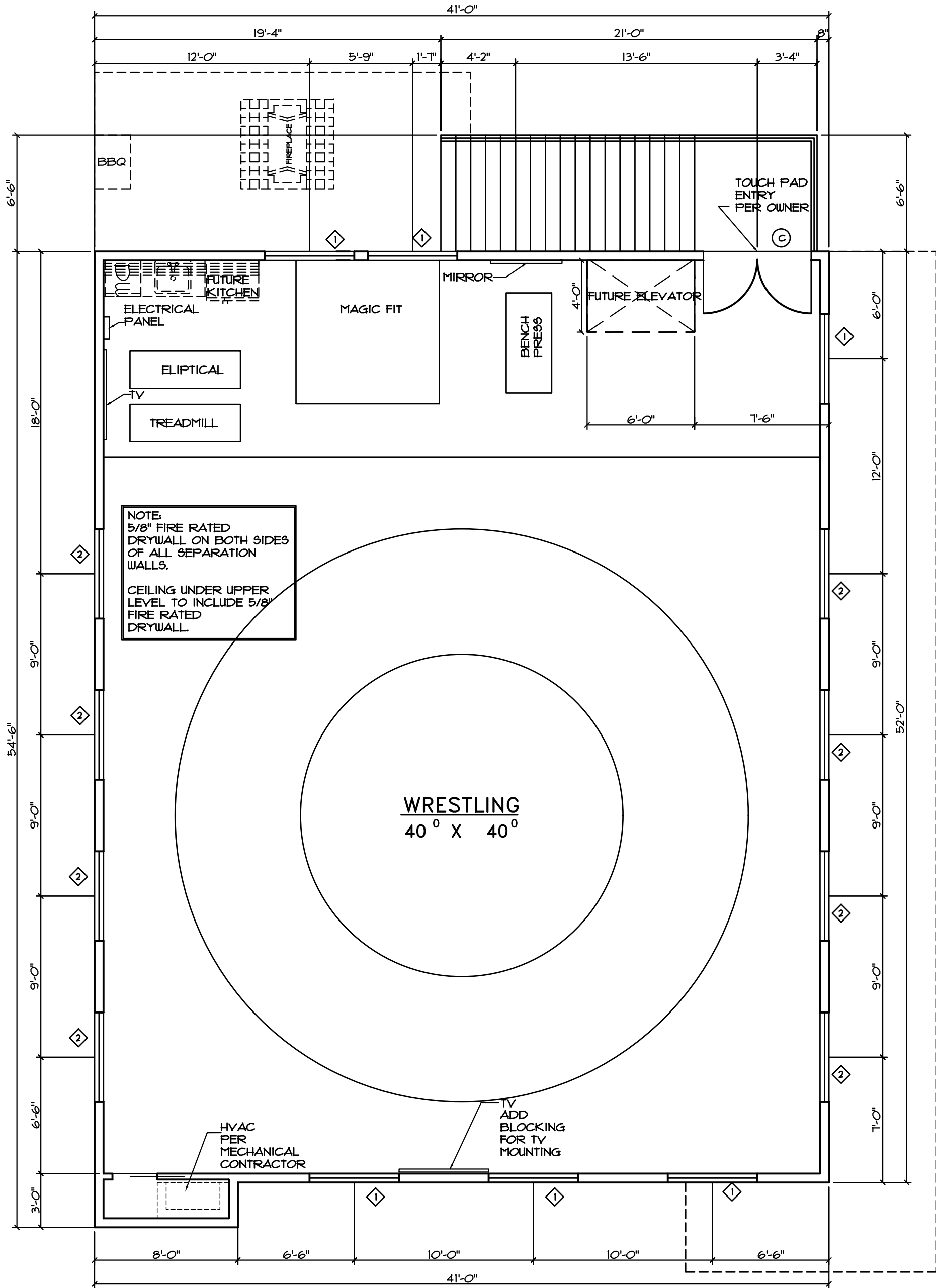
GYPSUM BOARD ATTACHMENT
1/2" GYPSUM BOARD BRACED WALL PANEL
FASTEN W/ 1-1/4" SCREWS @ 6" O.C.
ALONG SHEET EDGES & 12" O.C. ALONG
INTERMEDIATE STUDS.

TABLE R602.10.5.2 PARTIAL CREDIT FOR BRACED WALL PANELS
LESS THAN 48 INCHES IN ACTUAL LENGTH

ACTUAL LENGTH OF BRACED WALL PANEL (Inches)	CONTRIBUTING LENGTH OF BRACED WALL PANEL (Inches)	
	8-foot Wall Height	9-foot Wall Height
48	48	48
42	36	36
36	27	N/A

For 5/16 inch = 25.4 mm, 1 foot = 304.8 mm.
N/A = Not Applicable.
& Linear interpolation shall be permitted.

BRACED WALL DESIGNATIONS BASED ON THE 2021 IRC AND SEISMIC DESIGN CATEGORY A, B or C	
TYPE	BRACED WALL LENGTH REQUIREMENTS
GB	BRACED WALL PANEL CONSTRUCTED IN ACCORDANCE WITH IRC SECTION R602.10.1, GYPSUM WALLBOARD SHALL BE A MINIMUM OF 96" LONG WHEN APPLIED TO ONE FACE AND 48" LONG WHEN APPLIED TO BOTH FACES.
CS-WSP	CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING IN ACCORDANCE WITH IRC SECTION R602.10.5, SHEATHING APPLIED TO ENTIRE FACE OF WALL, WITH MINIMUM PIER LENGTHS IN ACCORDANCE WITH TABLE R602.10.4.



UPPER LEVEL FLOOR PLAN
SCALE 3/16"=1'-0"

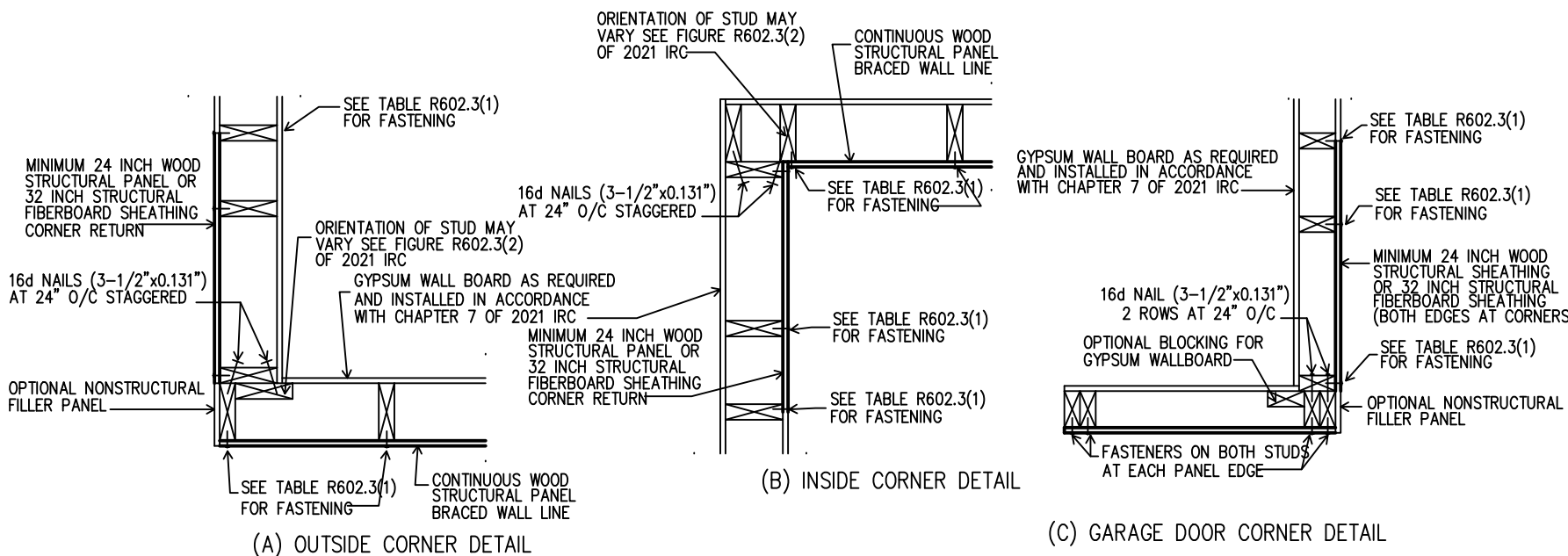
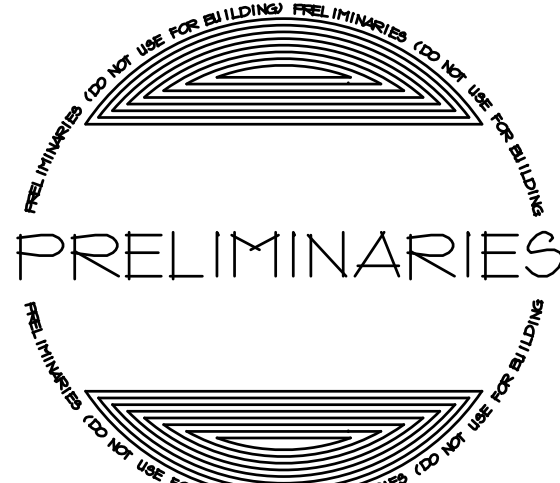


FIGURE R602.10.4.4(1)
EXTERIOR CORNER FRAMING
SCALE: NTS



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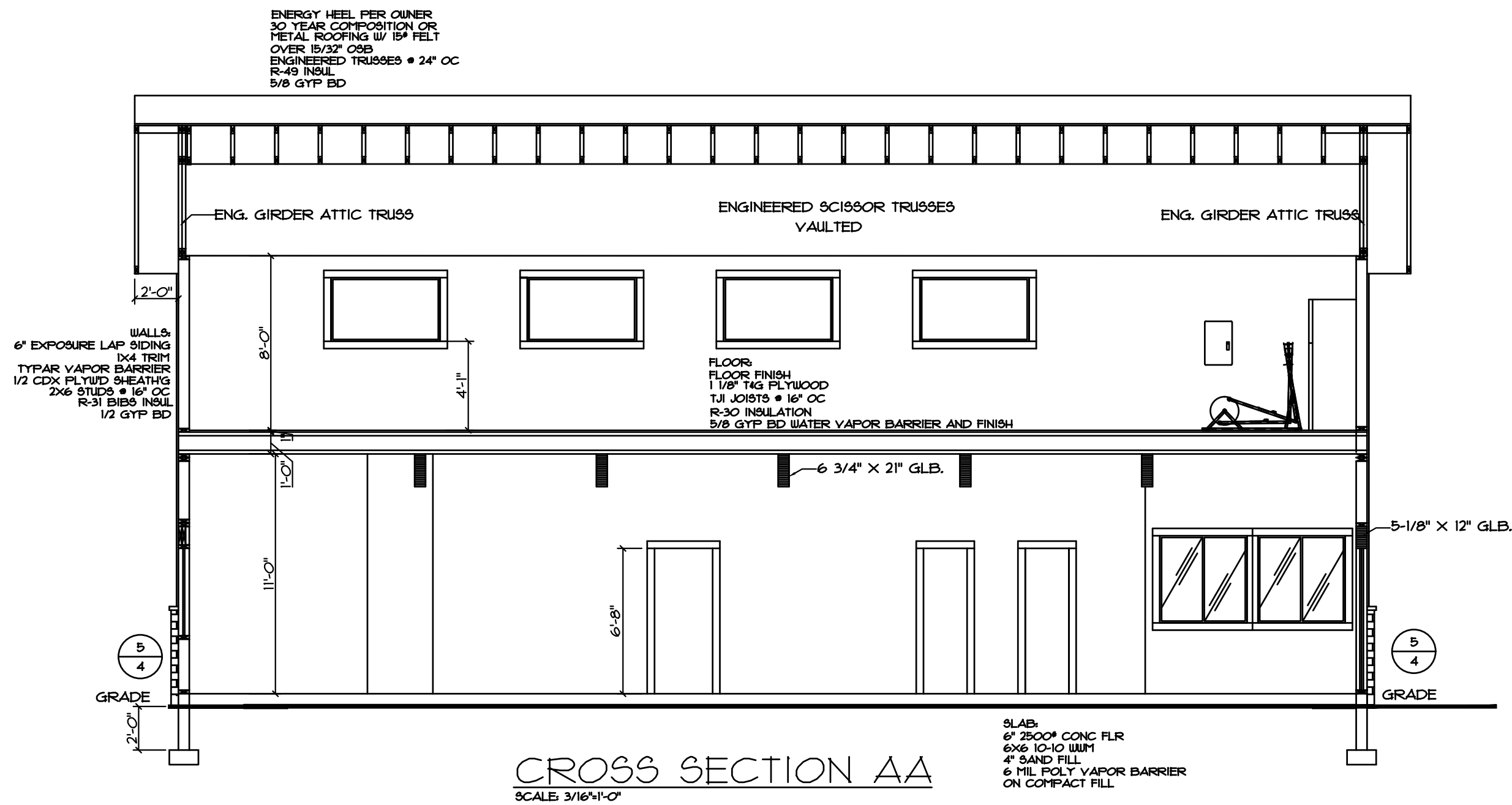
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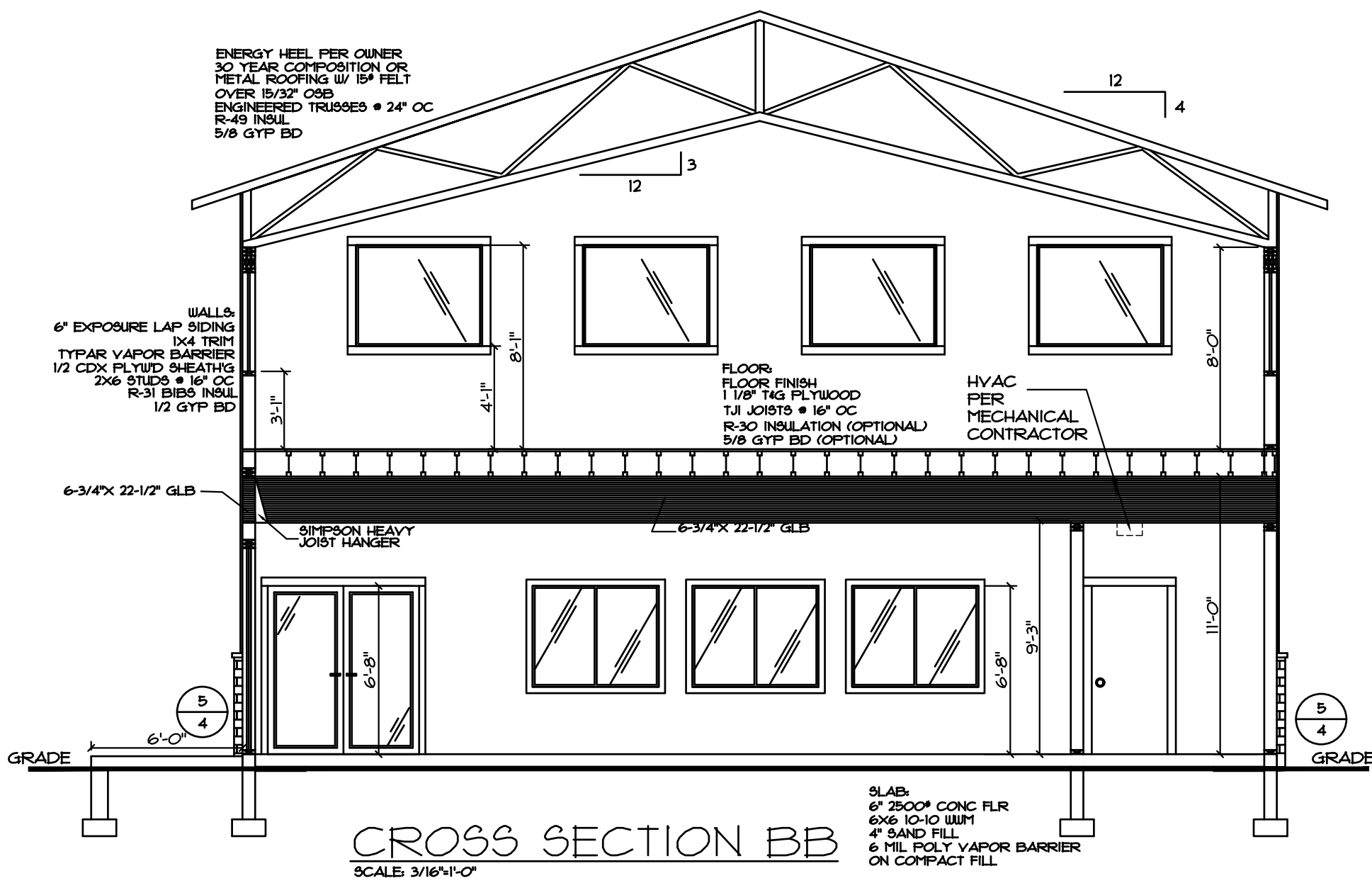
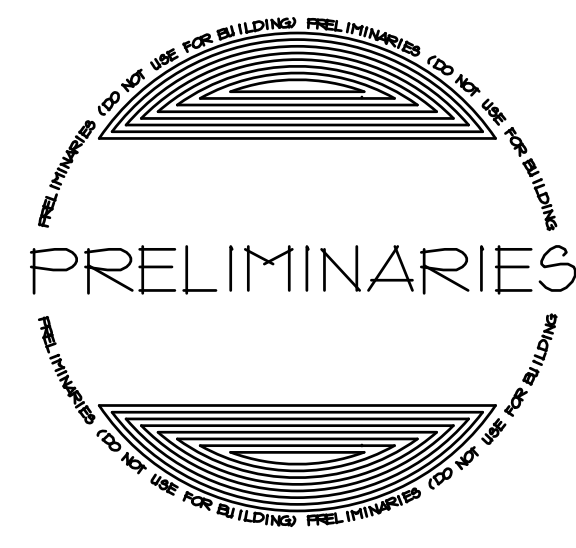
MAIN & UPPER LEVEL
FLOOR PLANS

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Date	
Scale	3/16"=1'-0"
Drawn	
Job	
Sheet	2
Of	6 Sheets



NOTES:
TRUSS DRAWINGS WERE ACCEPTED TO PROVIDE OVERALL DESIGN
CRITERIA. COPIES SEALED BY A PROFESSIONAL ENGINEER
ARE REQUIRED ON FRAMING INSPECTION.

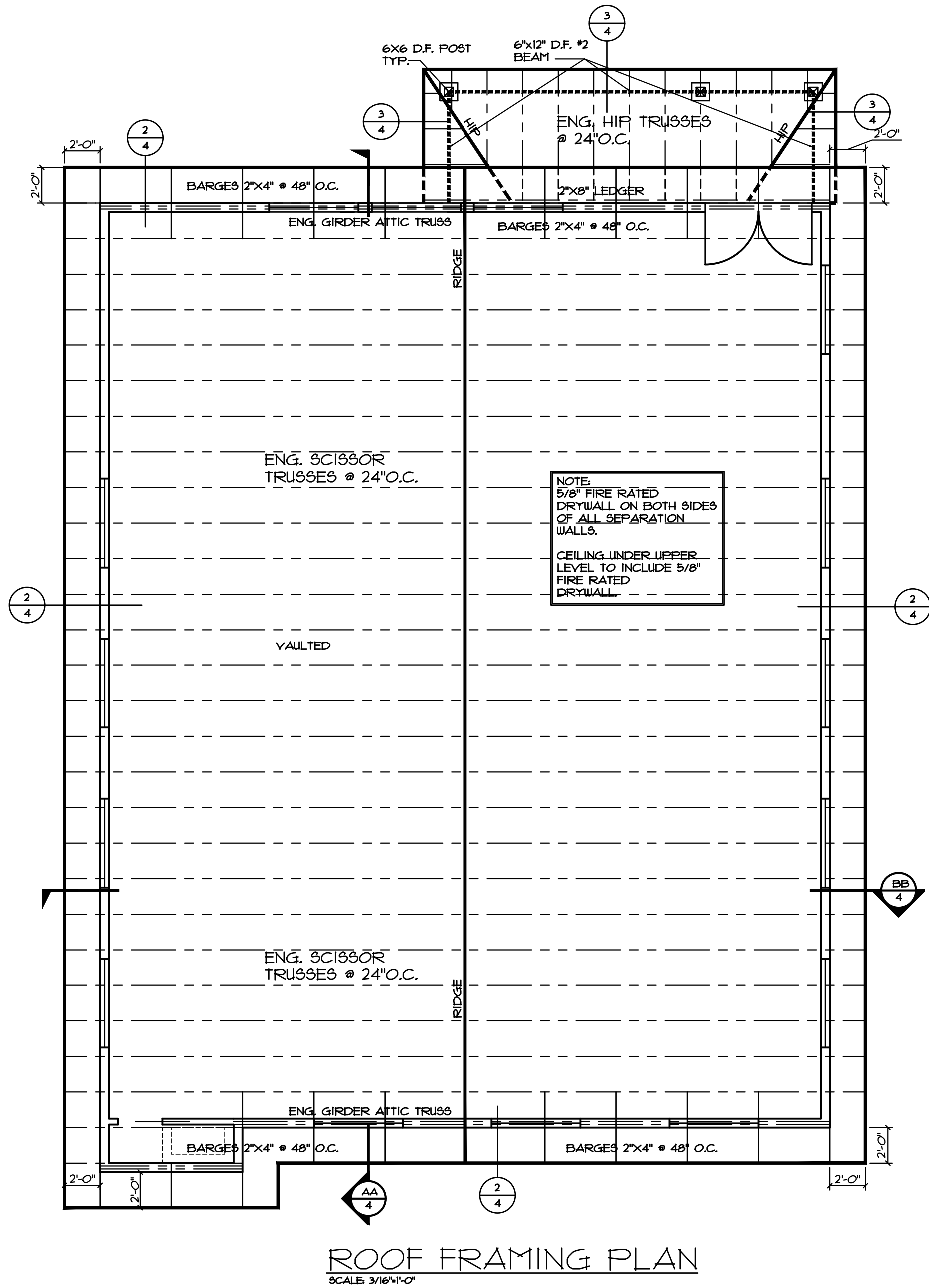


ROOF VENTING 11.7 SQ. FT. REQ'D.

PROVIDE CONTIN. EAVE VENTS AND CONTIN.
RIDGE VENTS OR 8" X 8" JACKS AS REQ'D.
TO PROVIDE CROSS VENTILATION.

NOTES:

- 1) USE METAL FASTENERS AT ALL BEAMS TO
SUPPORT MEMBERS
- 2) PROVIDE 30" X 22" ATTIC ACCESS
- 3) PROVIDE SOLID BLOCKING AT ALL BEARING
- 4) TRUSSES TO BE CONNECTED TO NON-BEARING
PARTITIONS "BY TRUSS CLIPS ONLY"
- 5) GLUE LAMINATED BEAMS TO BE WESTERN SPECIE
COMBINATION 24F V-4
PER ANSI/AITC A1901-1992 OR EQUAL.
TRUSS MFG. TO VERIFY ALL DIMENSIONS
PRIOR TO CONSTRUCTION



NOTE:
HEADERS #2 D.F. OR BETTER

UP TO 4'	2-2X8
4' TO 6'	2-2X10
6' TO 8'	2-2X12
OVER 8' AS DETAILED	

GLUED & NAILED

SEE TABLE R502.5 (1) FOR JACK STUD REQUIREMENTS

INTERIOR & EXTERIOR
HEADER SCHEDULE

EXTERIOR HEADER DETAIL

DOUBLE 2X6 TOP PLATE

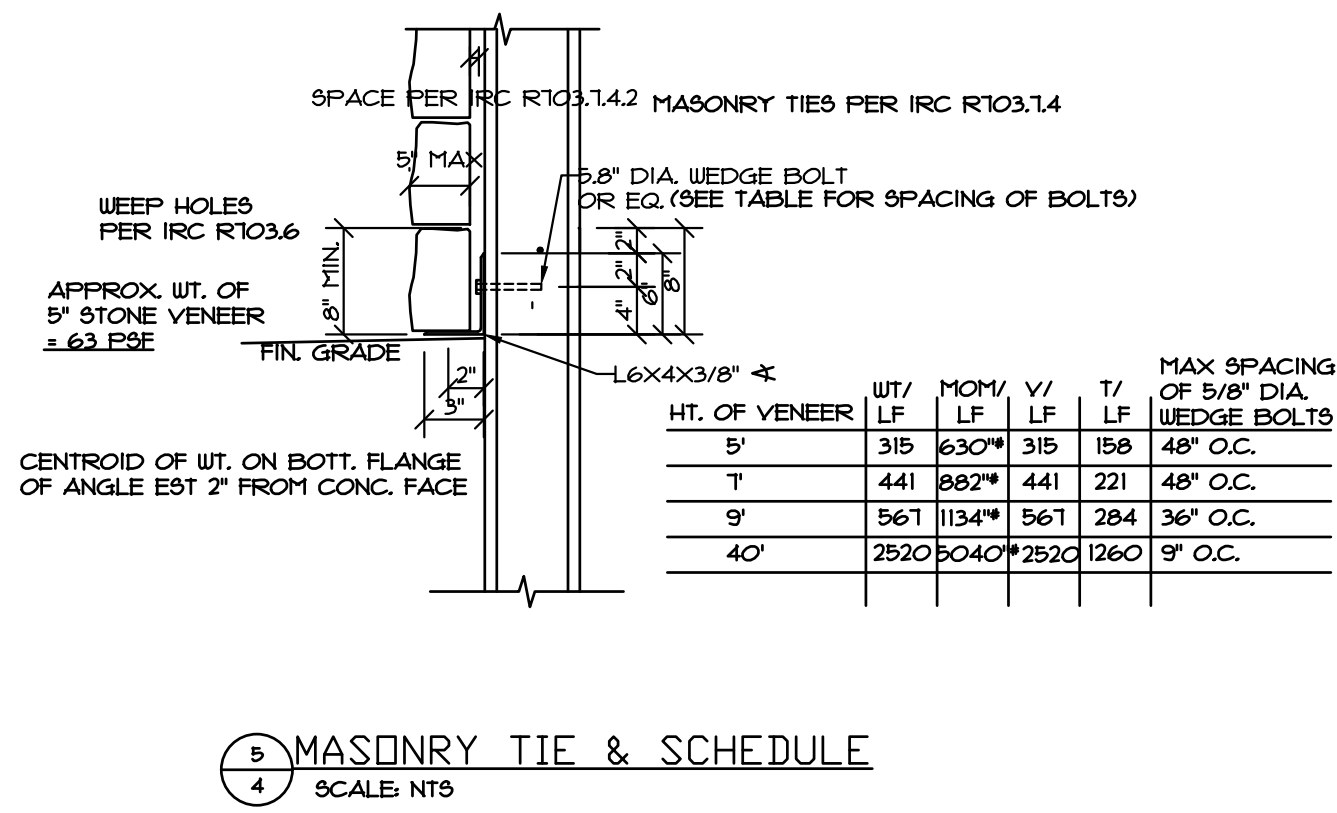
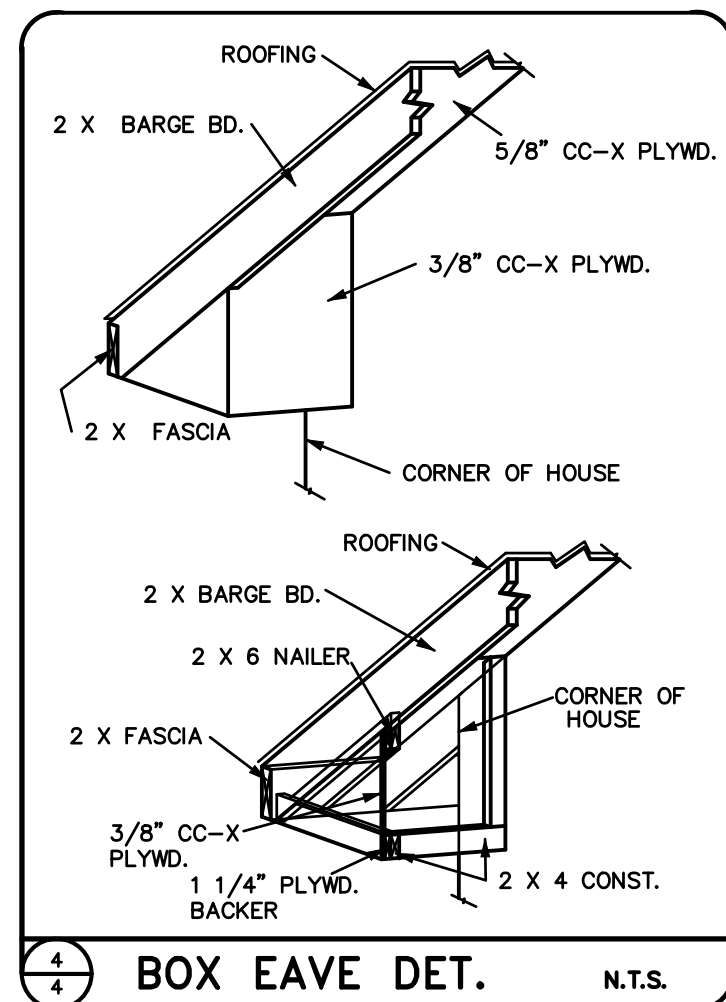
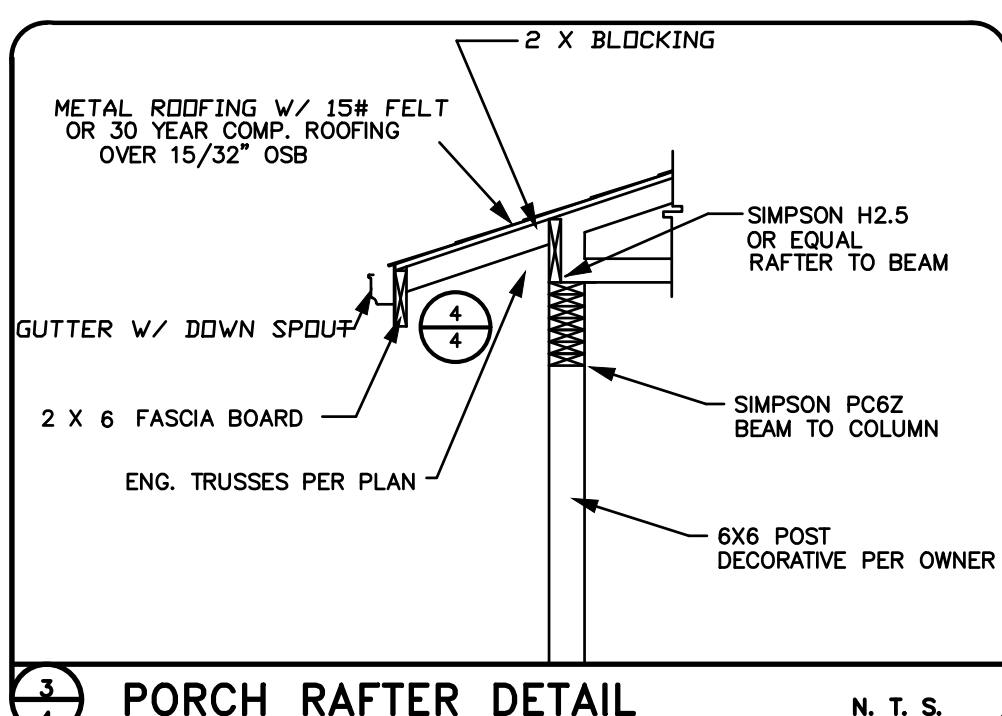
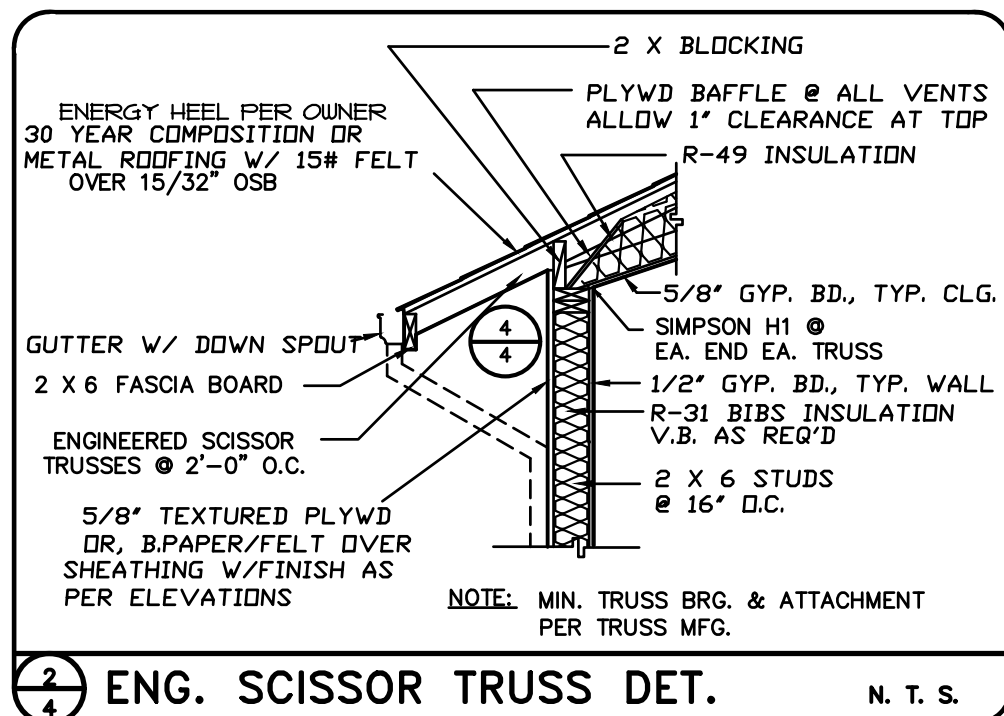
RIGID INSULATION

2-EX NAILER

(TYP) JACK STUD

(TYP) KING STUD

1 4



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CROSS SECTIONS &
ROOF FRAMING PLANS

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Date

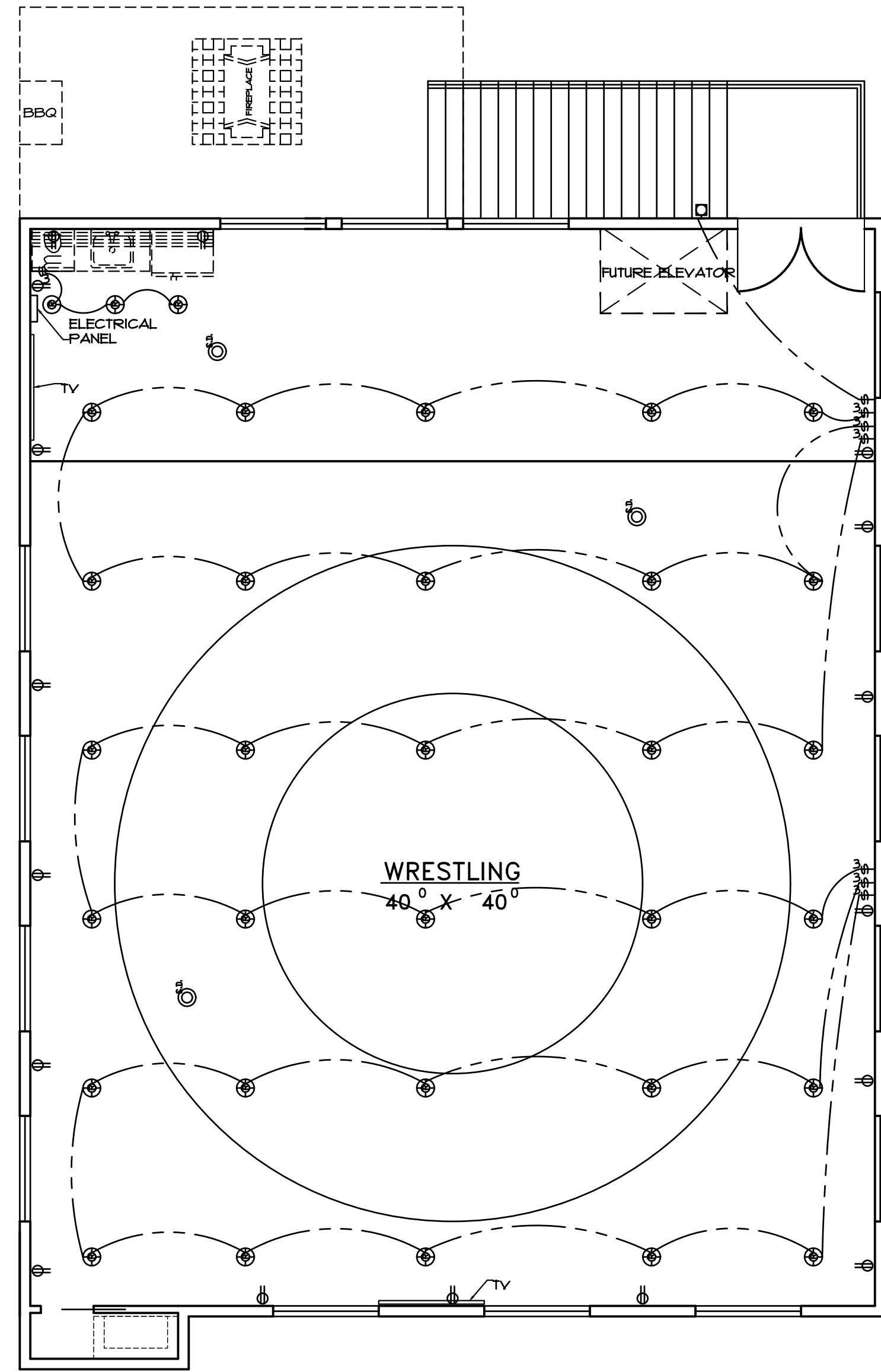
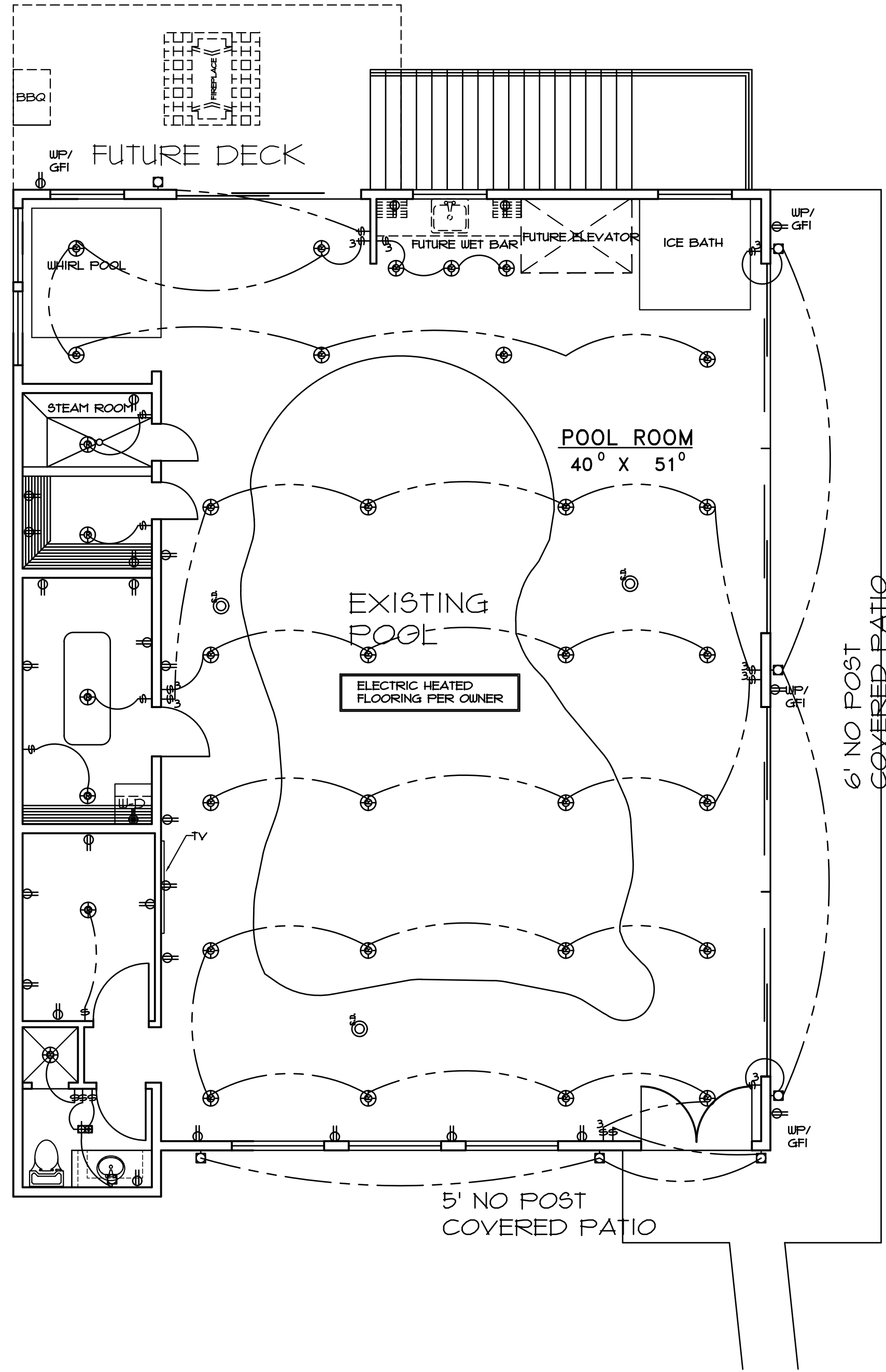
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Job

Sheet 4

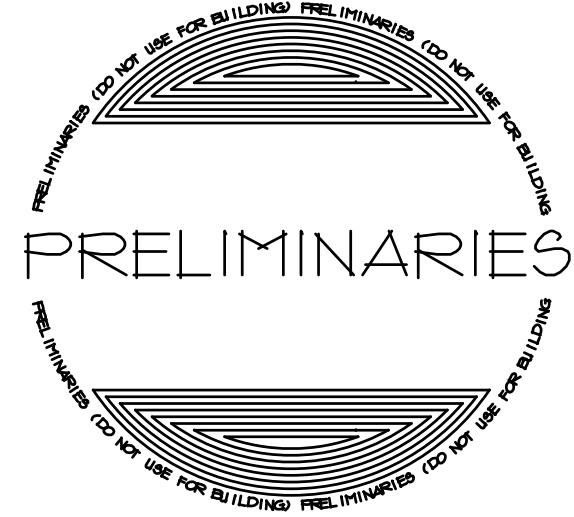
Of 6 Sheets



LEGEND

- WALL SWITCH
- 110V OUTLET
- QUADRUPEX OUTLET
- HALF SWITCHED OUTLET
- 220V OUTLET
- CEILING MTD. LIGHT FIXTURE
- WALL MTD. LIGHT FIXTURE
- BATHROOM FAN/LIGHT FIXTURE
- PHONE OUTLET
- COMPUTER OUTLET
- THERMOSTAT
- CADET HEATER
- RECESSED LIGHTING
- SMOKE/CO2 DETECTOR TO BE HARDWIRED
- FAN/LIGHT

- NOTES:**
- GROUND FAULT CIRCUIT PROTECTION REQ'D ON ALL 110 VOLT SINGLE PHASE 15&20 AMP OUTLETS IN BATHROOMS, GARAGES, OUTDOORS, BASEMENTS, & WITHIN SIX FEET OF KITCHEN SINK & ABOVE COUNTER TOPS. (N.E.C. 210-8a)
 - REBAR GROUNDING- 1993 ELECTRICAL SPECIALTY CODE, ARTICLE 250-81 REQUIRES CONCRETE REINFORCING BARS OR RODS TO BE PART OF THE GROUNDING ELECTRODE SYSTEM WHEN USED ON NEW CONSTRUCTION IN THE BUILDING FOOTINGS.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 - LOW VOLTAGE LIGHTING WERE POSSIBLE
 - VERIFY ALL ELEC., T.V. & PHONE OUTLETS W/OWNER BEFORE INSTALLATION
 - P PHOTOELECTRICALLY ACTIVATED



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MAIN & UPPER LEVEL
ELECTRICAL PLANS

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Great House Design

REVISIONS	BY

Date	
Scale	3/16"=1'-0"
Drawn	
Job	
Sheet	5
Of	6 Sheets

GENERAL NOTES

These plans were designed to conform to the 2021 International Residential Code and C.A.B.O. at the time the plans were drawn. Constant changes in building codes, both locally and nationally, in addition to changes in environmental qualifications and local options for plumbing, heating/cooling and wiring, makes conformity to all building restrictions impossible. Consequently, the use of these plans is subject to local code requirements and interpretations. It is the responsibility of the user to evaluate these plans for conformity to local codes requirements. Any additional design or drawing services required by local code are subject to Great House Design standard service fees.

The Contractor shall verify all dimensions and conditions prior to beginning any work and notify Owner of any discrepancies.

Written dimensions shall take precedence over scaled dimensions. DO NOT SCALE DRAWINGS.

Great House Design, does not guarantee the availability of any manufactured product suggested or specified on the plans or specifications. The builder is advised to verify the availability of all manufactured products before proceeding with construction, especially those items affecting rough opening dimensions or other dimensions on the plans. All manufactured materials, components, fasteners, assemblies, etc., shall be handled and installed in conformance with manufacturers specifications and instructions. Where specific products are called for, generic equivalence which meet applicable standards and specifications may be used.

In event of a conflict between applicable codes and regulations and reference standards of these plans and specifications, the more stringent provisions shall govern.

No variation required by a Building Official shall be binding on the Designer.

Specifications and drawings indicate finished structure. Builder shall be responsible for construction methods, procedures and conditions except as specifically indicated otherwise in contract documents.

DESIGN LOADS

DEAD LOADS:		LIVE LOADS:	
Roof, with shakes/shingles	10psf	Floor	40psf
Roof, with clay/concrete tiles	25psf	Stairs	100psf
{see plan for material used}		Decks	40psf
Floor	10psf	Garage	50psf or 2000 pt.ld.
		Roof SL	50 psf

INSULATION:

ENERGY PATH FOLLOWED IX

Roof:		
Vaulted Areas	R-38	
Flat Ceilings	R-49	
Exterior Walls	R-21	
Floors over unheated spaces		R-30
Basement walls	R-21	
Slab floor edge insulation	R-10/	2' Rigid Insulation
Forced air duct insulation	R-8	

Windows:
U= per local energy code

Skylights <2%
U= per local energy code

Doors
U= per local energy code

FOUNDATIONS:

- Footings shall bear on firm, undisturbed soil a minimum of 18" below the finish grade line and 12" below the line of the original grade for one and two story structures, and 24" below finish grade for three-story structures, or below frost line. (whichever is greater)
- Foundation and footing sizes are based on a maximum allowable soil bearing pressure of 1500 psf. Verify local conditions and notify owner of any discrepancy.
- Do not excavate greater than a 1-1/2:2 slope below footings.
- Footings to extend below frost line or 18" below finish grade, whichever is greater.

CONCRETE:

- All foundation wall and footing concrete shall develop a minimum compressive strength of 2500 psl @ 28 days.
- All concrete slabs shall develop a minimum compressive strength of 2,500 psl at 28 days.
- Concrete forms, shoring and pouring methods shall conform to current A.C.I. standards.
- Back fill shall not be placed against basement retaining walls until:
 - Concrete or masonry grout has reached its 28 day strength, and + -
 - Structural floor framing {including sub-floor} required to stabilize walls is complete and fully nailed and anchored.
- Apply Standard Dry Wall Products, Inc. "Thoroseal Foundation Coating" or equal foundation coating on all exterior faces of walls below grade, and "Thoroglaze" or equal damp proofing on all exposed surfaces of concrete walls above grade and all slabs not covered by finish floor materials.

REINFORCING STEEL:

- All reinforcing steel shall be deformed steel bars conforming to ASTM A615, GRADE 60.
- All reinforcing steel shall be manufactured detailed, fabricated and placed in accordance with ACI 318R, ACI 315R AND ACI SP 66.
- Welded wire fabric shall conform to ASTM A185, In as long a length as is practicable. Welded wire fabric shall be lapped at least one grid width plus 2".
- Reinforcement shall be bent cold and shall not be welded.
- Splices:

reinforcement in concrete and masonry shall have lap lengths as follows, unless otherwise specified on drawings.

Bar Size	In Concrete:	In Masonry:
#3	1'-6"	2'-0"
#4	2'-0"	2'-6"
#5	2'-6"	3'-0"
Placement:		
A. Reinforcement shall be accurately placed and supported by concrete, metal or other approved chairs, spacers or ties and secure against displacement during concrete or grout placement.		
B. Except where otherwise noted reinforcement shall have concrete cover as follows:		
1. Concrete deposited against earth		3"
2. Formed concrete against earth		2"
3. Exterior faces of walls		2'
4. Interior faces of walls		3/4"
5. To top of slabs-on-grade		3/4"

WOOD FRAMING:

All solid sawn lumber shall be Douglas Fir / Larch installed as noted on the plans and connected as specified in the nailing schedule below. Lumber shall be as graded in accordance with current Western Wood Products Association [WWPA] standard grading rules. Lumber grades for uses to be:

A. Posts, Beams & Headers	#2
B. Floor, Ceiling Joists, & Rafters	#2 or better
C. Sills, Plates & Blocking	#2
D. Studs	D.F. "stud"
F. Wall & Roof Sheathing	Plywood 16/32
G. Sub-Floor over Joists	3/4" C-D ext. glue
H. Underlayment	1/2" underlayment grade particleboard
I. Glu-Laminated Beams	FB =2,400 psi
A.I.T.C. Industrial Grade with dry use adhesive.	FV =190 psi
{Wet use adhesive for exterior use}	E =1,800,000 psi

Solid sawn lumber at visually exposed locations shall be "clear" grade, free of heart. All exterior wall & Interior bearing wall openings shall have 4 x 12 #1 D.F./1 headers unless otherwise noted.

NAILING SCHEDULE:

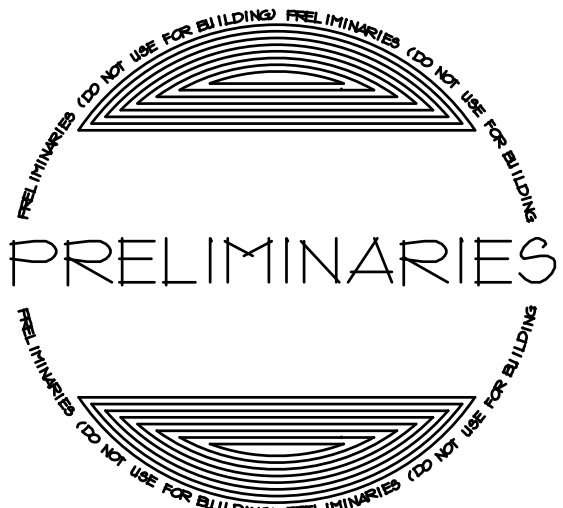
CONNECTION:	NAILING:
Joist to Sill or Beam	{3} 8d Toe Nailed
Bridging to joists	{2} 8d Toe Nailed Ea. End
2" T&G Decking/Sub-Floor to Beams	{2} 16d Toe Nail through Tongue
Rim Joist to Joists	{3} 16d Face Nailed
Studs to sole plate	{2} 16d Face Nailed Ea. End
Sole Plate to Joists or Blocking	{1} 16d at 16" o.c. Face Nailed
Sole Plate or Top Plate to Studs	{2} 16d Face Nailed
Double Top Plate	{1} 16d at 16" O.c. Face Nailed
Double Studs	{1} 16d at 16"O.c. Face Nailed
Corner Studs	{1} 16d at 16"O.c. Face Nailed
Top Plates At Laps & Intersection	{2} 16d Face Nailed
Headers to Top Plates	{1} 16d at 16"O.c. Face Nailed
Ceiling Joists to Plates	{3} 8d Toe Nailed
Joist Laps over Partitions	{3} 16d Face Nailed
Ceiling Joists to Plates	{3} 16d Face Nailed
Rafters to Top Plate	{3} 8d Toe Nailed with "Simpson" H-25 Connectors-Verify
Plywood Sub-Floor to joists	[1] 10d Common at 6" o.c. at edges & 10" o.c. in field
Plywood Wall & Roof Sheathing	[1] 8d Common at 6" o.c. at edges & 12" o.c. in field

NAILING SCHEDULE NOTES:

- All frame walls shall have stud framing placed at 16"o.c. except where otherwise noted.
- Top plates shall be doubled on all walls except where otherwise noted.
- Cripples under all headers shall be continuous to sole plate.
- Double joists under all walls parallel to joists except where otherwise noted.
- Block all stud walls as required for sheathing.
- Solid Blocking between all joists and rafters at supporting walls and beams except at rim joists.
- Double rim joists at all walls parallel to joists.
- Beams, girders and joists supporting bearing walls or concentrated loads shall not be notched.
- All rafters shall not be notched to provide full bearing at supports.
- All joists shall have a minimum of 2" bearing @ supports.
- Lap all joists 6" minimum @ all interior bearing supports
- Mud sills and ledger boards at concrete walls shall have anchor bolts of the size and spacing shown on the drawing. Each board shall be secured with at least two bolts and each board shall have a bolt within 12" of each end.
- Cover surfaces behind siding, shingles and where indicated on drawings with DuPont "Tyvek" building wrap, or and approved equivalent product
- Provide double framing at all roof & floor diaphragm penetration unless otherwise noted on plans.

MISCELLANEOUS:

- Contractor shall verify all conditions and dimensions prior to beginning work and shall notify owner of any discrepancy.
- Contractor shall be responsible for any variations or deviations from the plans without written confirmation from Designer.
- Contractor shall provide adequate bracing or otherwise support all portions of the structure until all members have been permanently connected together.
- Plumbing diagrams or drawings shall be provided by the plumbing contractor.
- Heating/Cooling duct diagrams or drawings shall be provided by the heating/cooling contractor.
- Heat loss or energy use calculations shall be provided by heating cooling contractor or other professional as required by Building Official.
- Truss design, engineering and plans shall be provided by truss manufacturer.
- Each bedroom shall have at least one window with a sill height of no more than 44" above the floor.
- All fireplace openings shall be provided with tempered glass doors. Provide outside combustion air for fireplaces, wood stoves and liquid fuel heating appliances.
- Smoke detectors shall be connected to house power.
- Tub and tub/shower enclosures to have 1/2" water resistant gypsum board and a hard, moisture resistant surface up to 6'-0 above floor [min].
- All exhaust fans,range hoods and dryers shall vent to the outside through sheet metal ducts. Caulk around all penetrations through exterior envelope.
- All windows, patio doors and doors with glass shall be double glazed insulating units with wood, vinyl or thermally broken aluminum frames and sashes.
- All glass within 12" of a door and/or within 18" of the floor or a walkway shall have tempered glazing.
- All wood in permanent contact with concrete or soil shall be pressure treated with a water born preservative.
- All exterior walls & walls common to unheated spaces shall be 2x6 studs @ 16" o.c. with R-21 insulation unless otherwise noted on the plans.
- Provide 1 hr. fire wall between garage and living areas, and under all stairs where storage space is available.
- All doors between garage and living areas shall be 1 hr. fire rated assemblies with 1-3/4" solid core wood doors or code approved equivalence and self-closing mechanisms.
- Please call this office at [509] 558-7529 for any questions relating to these plans.



REVISIONS	BY

A NEW HOME FOR:
AMIT SAINI

Great House Design

SPOKANE, WASHINGTON
(509) 558-7529

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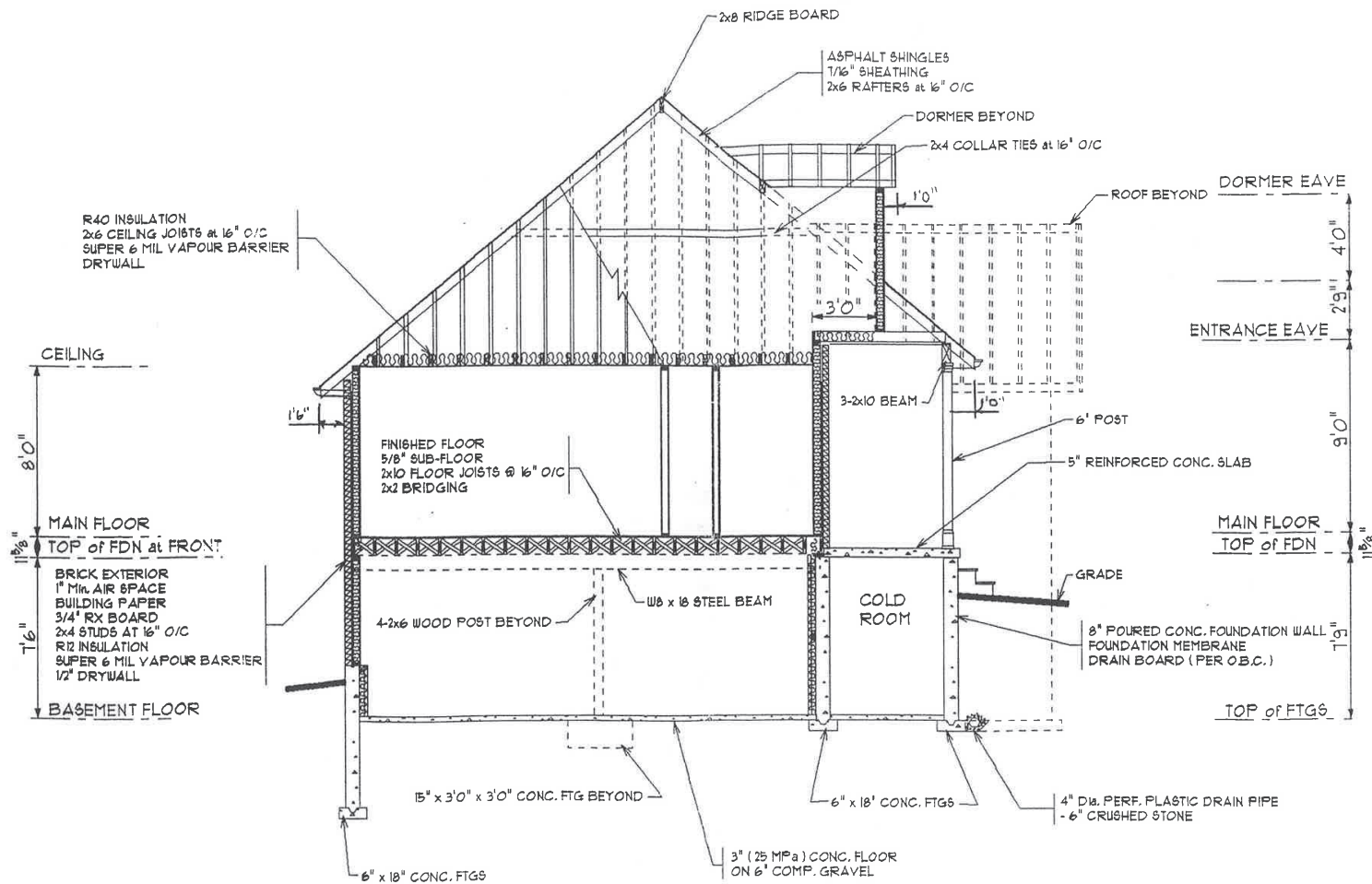
GENERAL NOTES

"IF YOU CAN DREAM IT, WE CAN DESIGN IT."

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Date	
Scale	3/16"=1'-0"
Drawn	
Job	
Sheet	6
Of	6 Sheets

INQUIRIES : E-MAIL - info@greathousedesign.com (COPYRIGHT GREAT HOUSE DESIGN)



No	DATE	REVISION

CARSON REID HOMES
GUELPH ONTARIO

RUDNICK BUNGALOW
1,722 Sq. Ft.

SECTION 'A-A'

MICHAEL FULLER 101 DUMFRIES ST. GUELPH ONT. N1E 3T5 519-823-2085		
DRAWN: M.F.	SCALE: 3/16" = 1'-0"	DWG. No.:
DATE: SEPT. 18/00	PROJECT #: 00-0909	A-9