

Cloudpermit application number  
CA-3523001-P-2025-43

**Applicant, Payer**

Last name Angelino	First name Dino	Corporation or partnership Max Cimino
Street address 6547 concession 1	Unit number	Lot / Con. concession 1
Municipality puslich	Province ontario	Postal code N0B2J0
Other phone +1 5192496388	Mobile phone [REDACTED]	
Fax	Email [REDACTED]	

**Property owner**

Last name Cimino	First name Massimo	Corporation or partnership
Street address 6557 Concession 1	Unit number	Lot / Con. Concession 1
Municipality Puslinch	Province Ontario	Postal code N0B 2J0
Other phone +1 5196241575	Mobile phone [REDACTED]	
Fax	Email [REDACTED]	

**Subject Land Information**

Address	Legal description	Roll number
6547 CONCESSION 1 (Primary)	CON GORE PT LOT 3 RP 61R7498;PART 1	2301000003013050000

### Sworn Declaration of Applicant

Complete in the presence of a Commissioner for taking affidavits

I, Max Cimino (Dino Angelino), solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the Applicant is accurate and that the information contained in the documents that accompany this application is accurate, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature of Applicant (sign in the presence of a Commissioner for taking affidavits)

X

Signature of Commissioner for taking affidavits

Municipality  
Township of  
Puslinch

Day, month, year

06 / JUNE / 2025

Place an imprint of your stamp below

Monika Alyse Famcombe, a Commissioner, etc.,  
Province of Ontario, for the Corporation of the  
Township of Puslinch.  
Expires February 14, 2027.

### Affidavit and signatures

#### Applicant

The Dino Angelino, Applicant is required to agree to erect and maintain a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits. The sign will be provided to the applicant for posting on the property by Township planning staff along with instructions on how and where to post the sign. The sign must be posted at least 10 days prior to the Committee of Adjustment meeting date for the application and must remain on the property until the 20 day appeal period is expired.

#### Notice with respect to collection of personal information

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.

Signature

Date

X

Dino Angelino

JUNE 6. 25.

Send correspondence to	
Send correspondence to <input checked="" type="checkbox"/> Owner(s) <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Others	
Who to send the Invoice to <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Other	

Provide a description of the "entire" property			
Concession concession 1		Lot 6547	Registered Plan Number
Area in Hectares 0.56		Area in Acres 1.42	Depth in Meters 76
Depth in Feet 249.344	Frontage in Meters 76	Frontage in Feet 249.344	Width of road allowance (if known)

Reason for Application	
Please indicate the Section of the Planning Act under which this application is being made <input checked="" type="checkbox"/> Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.) <input type="checkbox"/> Section 45(2) relates to a change to or expansion of an existing legal non- conforming use	
What is the nature and extent of the relief that is being applied for? Additional height of 1.15m and area additional space for access lot coverage from 200 m2 to 470m2	Why is it not possible to comply with the provisions of the by-law? new proposed garage

What is the current Official Plan and zoning status?	
Official Plan Designation agricultural	Zoning Designation ag
What is the access to the subject property? <input type="checkbox"/> Provincial Highway <input checked="" type="checkbox"/> Continually maintained municipal road <input type="checkbox"/> Seasonally maintained municipal road <input type="checkbox"/> Other <input type="checkbox"/> Continually maintained county road	
What is the name of the road or street that provides access to the subject property? Concession 1	If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

Existing and Proposed Service		
Indicate the applicable water supply and sewage disposal:		
Private Well	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Water	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Provincial Water Taking Permit	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Private Septic	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Septic	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Other Provincial Waste Water System	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
How is storm drainage provided? *		
<input type="checkbox"/> Storm Sewers <input type="checkbox"/> Ditches <input checked="" type="checkbox"/> Swales <input type="checkbox"/> Other means		

Existing Subject and Abutting Property Land Uses, Buildings and their Locations	
What is the existing use of the subject property? Residential	What is the existing use of the abutting properties? Residential

Provide the following details for all existing buildings on the subject land		
Main Building Height in Meters n/a	Main Building Height in Feet n/a	Percentage Lot Coverage in Meters 816.27m2
Percentage Lot Coverage in Feet n/a	Number of Parking Spaces n/a	Number of Loading Spaces n/a
Number of Floors 1	Total Floor Area in Square Meters 81627 m2	Total Floor Area in Square Feet n/a
Ground Floor Area (Exclude Basement) in Square Meters n/a		Ground Floor Area (Exclude Basement) in Square Feet n/a

Provide the following details for all buildings proposed for the subject land		
Main Building Height in Meters 6.15m	Main Building Height in Feet n/a	Percentage Lot Coverage in Meters 226.34 m2
Percentage Lot Coverage in Feet n/a	Number of Parking Spaces n/a	Number of Loading Spaces n/a
Number of Floors 1	Total Floor Area in Square Meters 226.34 m2	Total Floor Area in Square Feet n/a
Ground Floor Area (Exclude Basement) in Square Meters n/a		Ground Floor Area (Exclude Basement) in Square Feet n/a

**What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)**

Front Yard in Meters >7.5 m	Front Yard in Feet n/a	Rear Yard in Meters 5.54 m
Rear Yard in Feet n/a	Side Yard (interior) in Meters 3.83 m	Side Yard (interior) in Feet
Side Yard (Exterior) in Meters n/a	Side Yard (Exterior) in Feet n/a	

**What are the dates of acquisition and construction of subject property and building property**

Date of acquisition of subject property 2018	Date of construction of buildings property 2018	How long have the existing uses continued on the subject property? allways family home
Has the owner previously applied for relief in respect of the subject property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

**Other Related Planning Applications**

Planning Application: Official Plan Amendment <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Zoning By-Law Amendment <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Planning Application: Plan of Subdivision <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Consent (Severance) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Planning Application: Site Plan <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Minor Variance <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**Minor Variance Application must be commissioned**

Please confirm the following

- ☒ I understand that prior to the Minor Variance Application being deemed complete it must be commissioned by all registered owners or the agent responsible for the application.



CONCESSION 1



CIMINO - GARAGE

ONTARIO BUILDING CODE REQUIREMENTS								
ITEM	ONTARIO BUILDING CODE DATA MATRIX	OBC REFERENCE						
1	PROJECT DESCRIPTION <div><input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE</div>	<input checked="" type="checkbox"/> PART 3 <input checked="" type="checkbox"/> PART 9 <input type="checkbox"/> PART 11						
2	MAJOR OCCUPANCY (S) GROUP C	3.2.2						
3	BUILDING AREA (SQ.FT.) EXISTING =                      NEW = 2500 SQFT                      232 SQ.M.							
4	GROSS AREA (SQ.FT.) EXISTING =                      NEW = 2500 SQFT                      232 SQ.M.							
5	NUMBER OF STOREYS                      ABOVE GRADE = 1 STOREY    BELOW GRADE = 0	3.2.1.1						
6	HEIGHT OF BUILDING (FT) ≈16 FT (FINISHED GRADE TO U/S OF TOP STOREY CEILING)							
7	NUMBER OF STREET / ACCESS ROUTES <input checked="" type="checkbox"/> 1 STREET <input type="checkbox"/> 2 STREET <input type="checkbox"/> 3 STREET							
8	BUILDING CLASSIFICATION: GROUP    C                      DIVISION                      3.2.2.54							
9	SPRINKLER SYSTEM PROPOSED <div><input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED</div>	3.2.2.54						
10	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO							
11	ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4						
12	WATER SERVICE / SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO							
13	HIGH BUILDING (3.2.6) <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6						
14	CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH	3.2.2.47						
15	MEZZANINE(S) AREA FT2    EXISTING AREA _____ NEW AREA _____ MEZZANINE 10% OR LESS ENCLOSED (AREA) _____, <=40% UNENCLOSED (AREA) _____	3.2.1.1.(3)-(8)						
16	OCCUPANT LOAD: EXISTING _____ PERSONS, NEW 0 _____, TOTAL 0 _____ BASED ON _____ FT2/PERSON                      DESIGN OF BUILDING 0 _____ 1ST FLOOR                      OCCUPANCY 2/ SLEEPING ROOM                      LOAD _____ PERSONS	3.7.4.7.(1)						
17	WASHROOM:    NUMBER OF FIXTURES - 0	3.7.4.6						
18	BARRIER-FREE DESIGN <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.8.2.1						
19	CONCEALED SPACE (FLOOR OR CEILING) USED AS PLENUM <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO							
20	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO                      (NATIONAL FIRE CODE, ONTARIO FIRE CODE)							
21	ADDITIONAL FIRE SEPARATIONS REQUIRED							
22	LISTING DESIGN NO. OR DESCRIPTION (SG-2) HORIZONTAL ASSEMBLIES FRR <div>REQUIRED FIRE RESISTANCE RATING (FRR)<div>MEZZANINE    .75    HOURS ROOF    0    HOURS FLOORS    .75    HOURS FRR OF SUPPORTING MEMBERS LISTED DESIGN NO. OR DESCRIPTION (SG-2)<div>BEAMS    .75    HOURS COLUMNS    .75    HOURS OTHER    .75    HOURS</div></div></div>							
23	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS    REFER TO GROUND FLOOR PLAN FOR DETAILS							
WALL	AREA OF EBF (M²)	L D (M)	L/H OR H/L	'FRR' (HOURS)	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	COMBUSTIBLE CONSTRUCTION	NON-COMBUSTIBLE CONSTRUCTION
NORTH	63.5	3.7	3/1	0 HR	14%	33%	YES	9.10.9.18(3)
SOUTH	63.5	5.4	3/1	0 HR	29%	5%	YES	
EAST	63.5	3.7	3/1	0 HR	14%	4%	YES	
WEST	63.5	47	3/1	0 HR	100%	42%	YES	

SHEET NUMBER	SHEET NAME
A 1.0	COVER
A 1.1	SITE PLAN
A 1.2	NOTES
A 1.3	SCHEDULES
A 2.0	FOUNDATION PLAN
A 2.1	FLOOR PLAN
A 2.2	WALL FRAMING PLAN
A 2.3	ROOF FRAMING PLAN
A 3.0	SECTION DETAILS
A 3.1	WALL PANEL FABRICATION DETAILS
A 4.1	ELEVATIONS
A 5.0	ELECTRICAL PLAN

GENERAL NOTES:

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.

THIS DRAWING SHALL NOT BE SCALED.

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHER RELATED DOCUMENTS & SPECIFICATIONS.

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NO.	REVISION	DATE
1	ISSUED FOR PERMIT	06/03/2025

RESERVED FOR ENG. SEAL

CLIENT :

CAMBRIDGE DRYWALL SERVICES

LOCATION :

6547 CONCESSION 1  
PUSLINCH, ONTARIO, N0B2J0

PROJECT :

CIMINO  
50'x50' GARAGE

SHEET :

COVER

PRGJ.#:

T25-043

DATE :


APRIL 3, 2025

DESIGNER:

VP

PAGE #:

A 1.0



GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE PROCEEDING WITH ANY WORK.
- ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
- WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS, WHEN SHOWN IN PLAN, ARE TO FACE OF STUD OR CONCRETE U.N.O.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY ON SIMILAR CONDITIONS.
- ALL DIMENSIONS, WHEN SHOWN IN SECTION OR ELEVATIONS, ARE TO TOP OF STRUCTURAL MEMBERS OR TOP OF CONCRETE SLAB U.N.O.
- VERIFY THE BUILDING LOCATION AND FLOOR ELEVATIONS, BEFORE PROCEEDING WITH THE WORK.
- VERIFY ALL ARCHITECTURAL DETAILS WITH THE CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS BEFORE THE ORDERING OR INSTALLATION OF ANY ITEM OF WORK.
- LARGER SCALE DETAILING SHALL TAKE PRECEDENCE OVER SMALLER SCALE VERIFY WITH ARCHITECT.
- SCREWS MEETING ASTM C 1002 OR ASTM C 954 SHALL BE PERMITTED TO BE SUBSTITUTED FOR PRESCRIBED NAILS, ONE FOR ONE, WHEN THE HEAD DIA. LENGTH AND SPACING EQUAL OR EXCEED THE REQUIREMENTS FOR THE NAILS USED IN THE TESTED GYPSUM BOARD ASSOCIATED ASSEMBLIES SYSTEM. - LISTED ON THE CONSTRUCTION ASSEMBLIES SHEET

COLD-FORMED STEEL NOTES:

GENERAL REQUIREMENTS:

- ALL COLD-FORMED STEEL (CFS) FRAMING SHALL COMPLY WITH CSA S136-16, THE 2015 NATIONAL BUILDING CODE OF CANADA (NBCC), AND THE 2012 ONTARIO BUILDING CODE (OBC) OR THE LATEST APPLICABLE EDITIONS.
- DESIGN, FABRICATION, AND INSTALLATION MUST CONFORM TO CSA S136-16 AND AISI S100-16 (NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS), AS APPLICABLE IN CANADA.
- ALL CFS MEMBERS MUST BE DESIGNED FOR THE SPECIFIED LOADS, INCLUDING DEAD LOADS, LIVE LOADS, WIND LOADS, AND SEISMIC LOADS, AS PER NBCC/OBC REQUIREMENTS.
- SHOP DRAWINGS MUST BE SEALED AND SIGNED BY A LICENSED PROFESSIONAL ENGINEER (P.ENG.) REGISTERED IN THE PROVINCE OF ONTARIO.

MATERIALS:

- ALL STUDS AND ACCESSORIES SHALL BE OF THE TYPE, SIZE, STEEL THICKNESS, AND SPACING SHOWN ON THE PLANS & SCHEDULES. STUDS, TRACKS, BRACING, AND BRIDGING SHALL COMPLY WITH ASTM C955.
- ALL GALVANIZED STUDS AND ACCESSORIES OF 16GA (1.52 MM) OR HEAVIER SHALL BE FORMED FROM STEEL CONFORMING TO ASTM A653 WITH A MINIMUM YIELD STRENGTH OF 345 MPA (50 KSI).
- ALL GALVANIZED STUDS AND ACCESSORIES OF 18GA (1.37 MM) AND 20GA (0.91 MM) OR LIGHTER SHALL BE FORMED FROM STEEL CONFORMING TO ASTM A653 WITH A MINIMUM YIELD STRENGTH OF 230 MPA (33 KSI).
- ALL GALVANIZED STUDS AND ACCESSORIES SHALL HAVE A MINIMUM G60 COATING IN ACCORDANCE WITH ASTM A653.
- THE PHYSICAL PROPERTIES AND ALLOWABLE LOAD CAPACITIES OF MEMBERS SHALL BE DEVELOPED AS PER CSA S136-16.
- PER CSA S136, RIGID COLLATERAL FACING MATERIAL ATTACHED TO NON-LOAD-BEARING WALLS MAY BE CONSIDERED ADEQUATE SUPPORT OF MEMBERS AGAINST ROTATION.
- WEB PERFORATIONS IN STUDS SHALL BE IN STRICT ACCORDANCE WITH CSA S136 AND NBCC REQUIREMENTS, MAINTAINING MINIMUM EDGE DISTANCES.

EXECUTION:

- PRODUCTS SHALL BE PROTECTED FROM CONDITIONS THAT MAY CAUSE PHYSICAL DAMAGE.
- MATERIALS SHALL BE STORED ON A FLAT PLANE AND PROTECTED FROM EXCESSIVE MOISTURE.
- DAMAGED MATERIALS (E.G., RUSTED, DENTED, BENT, OR TWISTED) SHALL BE REMOVED FROM THE JOB SITE IMMEDIATELY, AS DETERMINED BY THE PROJECT ENGINEER.

INSTALLATION - GENERAL:

- CONSTRUCTION MAY BE EITHER STICK-BUILT OR PREFABRICATED PANEL ASSEMBLY, EITHER ON-SITE OR OFF-SITE.
- CONNECTIONS SHALL BE MADE USING SELF-DRILLING SCREWS OR WELDING. SLIP CONNECTIONS MUST BE DESIGNED ACCORDINGLY.
- SCREWED AND BOLTED CONNECTIONS SHALL COMPLY WITH S136 AND HAVE MINIMUM OF AT LEAST THREE THREADS EXPOSED BEYOND THE JOINED MEMBERS.
- AXIALLY LOADED STUDS SHALL BE INSTALLED SQUARELY AGAINST THE WEB OF THE TOP AND BOTTOM TRACK, WITH CONTINUOUS UNIFORM BEARING.
- CUTTING OF STEEL FRAMING MEMBERS SHALL BE DONE USING A SAW OR SHEAR. TORCH CUTTING OF LOAD-BEARING MEMBERS IS NOT PERMITTED.
- TEMPORARY BRACING SHALL BE USED AS REQUIRED AND KEPT IN PLACE UNTIL THE STRUCTURE IS PERMANENTLY STABILIZED.
- BRIDGING SHALL BE OF THE SIZE AND TYPE SHOWN ON DRAWINGS.
- HEADERS SHALL BE INSTALLED IN ALL OPENINGS LARGER THAN THE STUD SPACING IN AXIALLY LOADED WALLS, AS SHOWN ON DRAWINGS.
- LOAD-BEARING WALLS SHALL HAVE STUDS ALIGNED VERTICALLY FOR FULL LOAD TRANSFER TO THE FOUNDATION.
- REINFORCEMENT SHALL BE PROVIDED WHERE HOLES ARE CUT THROUGH LOAD-BEARING MEMBERS THAT EXCEED STANDARDS.
- ALL EXPOSED STEEL SURFACES DUE TO WELDING SHALL BE TOUCHED UP WITH ZINC-RICH PAINT.
- FASTENING OF GYPSUM BOARD TO STEEL STUDS SHALL COMPLY WITH ASTM C840 AND ASTM C954, WITH SCREWS SPACED PER NBCC REQUIREMENTS.

PANELIZED CONSTRUCTION:

- PANELS SHALL BE DESIGNED TO RESIST CONSTRUCTION, HANDLING, AND CODE-SPECIFIED LOADS.
- HANDLING AND LIFTING OF PREFABRICATED PANELS SHALL NOT CAUSE PERMANENT DEFORMATION.
- PANEL-TO-STRUCTURE ATTACHMENT SHALL BE AS SHOWN IN THE DRAWINGS.
- PANEL ALIGNMENT SHALL ENSURE CONTINUITY OF WALLS AND FLOORS.

NON-PANELIZED (STICK-BUILT) CONSTRUCTION:

- TRACK ALIGNMENT SHALL BE ACCURATE AT SUPPORTING STRUCTURES.
- TRACK INTERSECTIONS SHALL BE FLUSH AND EVENLY BUTTED.
- AXIALLY LOADED STUDS SHALL BE SECURELY ATTACHED AND SEATED SQUARELY IN TOP AND BOTTOM TRACKS.
- COMPLETE BEARING SHALL BE MAINTAINED UNDER TRACKS FOR PROPER LOAD TRANSFER.

FASTENINGS AND ATTACHMENTS:

- TRACK ANCHORAGE TO THE STRUCTURE SHALL BE AS PER THE SPECIFIED DESIGN.
- WELDING SHALL CONFORM TO CSA W59 AND AISI MANUAL SECTION 4.2.
- WELDS MAY BE BUTT, FILLET, SPOT, OR GROOVE TYPE, AS DETERMINED BY DESIGN CALCULATIONS.
- ZINC-RICH PAINT SHALL BE APPLIED TO ALL WELDS.

TOLERANCES:

- STUD PLUMBNESS: 1/960TH OF THE SPAN.
- WALL LEVEL: 1/960TH OF RESPECTIVE LENGTHS.
- STUD SPACING TOLERANCE: +/- 1/8" FROM DESIGN SPACING, MAINTAINING CUMULATIVE ERROR LIMITS FOR FINISHING MATERIALS.
- PREFABRICATED PANELS SHALL NOT EXCEED 3MM OR 1/8" OUT OF SQUARE WITHIN PANEL LENGTH.

INSPECTIONS:

- ALL MEMBERS SHALL BE CHECKED FOR BEARING, COMPLETENESS OF ATTACHMENTS, AND REINFORCEMENT.
- ALL ATTACHMENTS SHALL CONFORM TO STRUCTURAL DRAWINGS.
- GENERAL INSPECTIONS SHALL BE COMPLETED PRIOR TO LOADING MEMBERS.
- INSPECTIONS SHALL COMPLY WITH LOCAL BUILDING CODE REQUIREMENTS.

CLIMATIC DATA:

DESIGN LOADS ARE UNFACTORED UNLESS NOTED OTHERWISE.

- A. CLIMATIC DESIGN DATA (CAMBRIDGE):  
SNOW LOAD SS = 1.6 kPa  
SR = 0.4 kPa  
SNOW IMPORTANCE FACTOR IS ULS = 1.0  
IS SLS = 0.9
- B. BUILDING IMPORTANCE CATEGORY = NORMAL
- C. SEISMIC INFORMATION  
IMPORTANCE FACTOR IE = 1.0  
STRUCTURAL CONFIGURATION = REGULAR
- D. WIND  
q<sub>30</sub> = 0.36 kPa  
IMPORTANCE FACTOR IW ULS = 1.0  
IW SLS = 0.75  
INTERNAL PRESSURE CATEGORY = 2  
WALLS INTERNAL PRESSURE = 0.24 kPa
- E. SNOW LOADS  
SNOW (SS) = 1.6 kPa  
SNOW (GABLE) = 1.68 kPa

DESIGN LOADS:

ROOF DEAD LOADS:  
1.2 KPA (25 psf)

ROOF LIVE LOADS:  
1 KPA (21 psf)

ROOF SNOW LOAD:  
1.68KPA (35.1 psf)

FRAMING DESIGNATORS

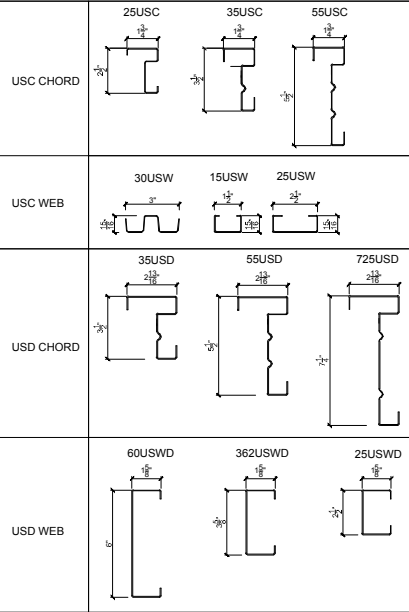
600 S 162 - 54

MATERIAL THICKNESS IN  $\frac{1}{1000}$  INCHES.  
0.033 IN. = 33 MILS (20 GA)  
0.043 IN. = 43 MILS (18 GA)  
0.054 IN. = 54 MILS (16 GA)  
0.068 IN. = 68 MILS (14 GA)  
0.097 IN. = 97 MILS (12 GA)  
0.118 IN. = 118 MILS (10 GA)

FLANGE WIDTH IN  $\frac{1}{100}$  INCHES.  
125 = 1.250"  
162 = 1.625"  
200 = 2.0"  
250 = 2.5"  
300 = 3.0"  
350 = 3.5"

STYLE:  
S = STUD OR JOIST SECTIONS  
T = TRACK SECTIONS

MATERIAL DEPTH IN  $\frac{1}{100}$  INCHES.  
362 = 3.625"  
400 = 4.0"  
600 = 6.0"  
800 = 8.0"  
1000 = 10.0"  
1200 = 12.0"



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CAMBRIDGE DRYWALL SERVICES

LOCATION :  
6547 CONCESSION 1  
PUSLINCH, ONTARIO, N0B2J0

PROJECT :  
CIMINO  
50'x50' GARAGE

NOTES

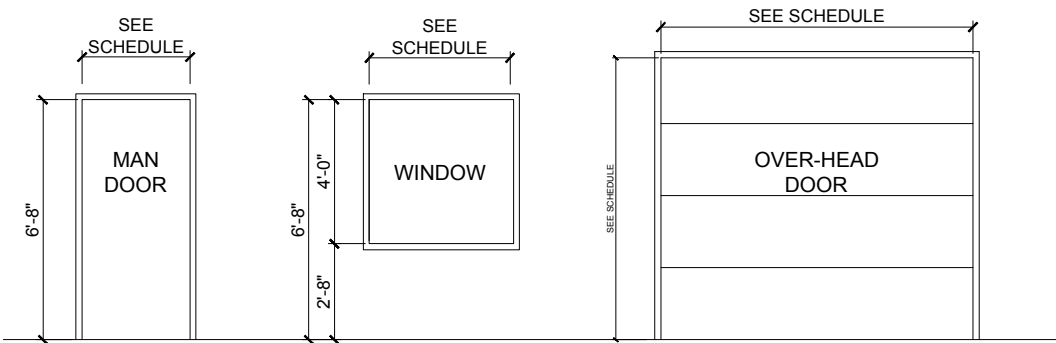
PROJ.#:  
T25-043

DESIGNER:  
VP

DATE:  
APRIL 3, 2025

PAGE #:  
A 1.2





WINDOW & DOOR SCHEDULE								
WINDOW / DOOR - INFORMATION							FRAME - INFORMATION	
TAG	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	QTY	MATERIAL	FINISH
W1	4'-0"	4'-0"	DIRECT GLAZE	LOW E -CLEAR	-	2	METAL	PAINT
W2	6'-0"	4'-0"	DIRECT GLAZE	LOW E -CLEAR	-	1	METAL	PAINT
D1	12'-0"	12'-0"	O/H GARAGE	GLASS PANELS	PAINT	1	METAL	PAINT
D2	10'-0"	8'-0"	O/H GARAGE	GLASS PANELS	PAINT	2	METAL	PAINT
D3	10'-0"	8'-0"	O/H GARAGE	INSULATED METAL	PAINT	1	METAL	PAINT
D4	3'-0"	6'-8"	EXTERIOR	INSULATED METAL	PAINT	1	METAL	PAINT

WINDOW AND DOOR SCHEDULE

WALL FRAMING SCHEDULE				
WALL TYPES	FRAMING DEPTH	FRAMING	MAX. DESIGN HEIGHT	STUD SPACING
CFS-01	6"	600S162-54	15'-0"	1'-4" O/C

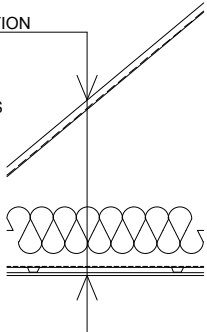
OPENING FRAMING SCHEDULE						
OPENING TAG	HEADER MATERIALS	HEADER PROFILE	SILL MATERIALS	JAMB MATERIALS	JAMB PROFILE	JAMB NOTES
ROF-D01	W 10x22		1 - 600T125-43	1 - 600S350-68 JACK 1 - 600S200-54 KING	JK	
ROF-D02	W 8x21		1 - 600T125-43	1 - 600S300-97 JACK 1 - 600S200-54 KING	JK	
ROF-D03	W 14x22		1 - 600T125-43	1 - 600S350-97 JACK 1 - 600S200-54 KING	JK	
ROF-D04	2 - 600S162-54		1 - 600T125-43	1 - 600S300-68	[	SHH6/54 CLIP - #10 SCREWS TO JAMB: FLANGES (12), WEB (4) #10 SCREWS TO HEADER: FLANGES WEB (12), TRACK (4)
ROF-W01	2 - 600S162-68		1 - 600T125-43	1 - 600S250-68	[	SHH6/54 CLIP - #10 SCREWS TO JAMB: FLANGES (12), WEB (4) #10 SCREWS TO HEADER: FLANGES WEB (12), TRACK (4)
ROF-W01	2 - 600S300-97		1 - 600T125-43	1 - 600S350-68	[	SHH6/54 CLIP - #10 SCREWS TO JAMB: FLANGES (20), WEB (4) #10 SCREWS TO HEADER: FLANGES WEB (20), TRACK (4)

OPENING FRAMING NOTES:  
1. MULTI-STUD JAMB ASSEMBLIES ARE FASTENED TOGETHER @ 610mm (2'-0") O/C UNLESS NOTED OTHERWISE.  
2. BOTTOM CRIPPLES ARE 20 GA UNLESS NOTED OTHERWISE.  
3. TOP CRIPPLES ARE 600S162-43 OR 800S162-43 UNLESS NOTED OTHERWISE.  
4. HORIZONTAL HEADER CLOSURE TRACKS ARE MIN. 18 GA UNLESS NOTED OTHERWISE.

FRAMING SCHEDULE

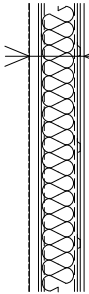
ROOF ASSEMBLY

R1-TYPICAL ROOF CONSTRUCTION  
STANDING SEAM METAL ROOF  
ICE & WATER SHIELD  
1½" x 22 GA. METAL DECK  
COLD-FORMED STEEL TRUSSES  
@ 4'-0" O.C. MAX  
R60 INSULATION  
6 mil VAPOUR BARRIER  
7⁄8" HAT CHANNEL FURRING  
5⁄8" TYPE X GYPSUM BOARD



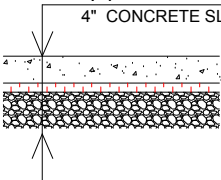
WALL ASSEMBLY

W1 -TYPICAL WALL CONSTRUCTION  
PRE-FINISH METAL SIDING  
TYVEK  
½" PLYWOOD  
6" STRUCTURAL STEEL STUD @ 24" O.C. MAX  
(SEE FRAMING SCHEDULE FOR GAUGE)  
6" BATT INSULATION - R20  
½" RESILIENT CHANNEL  
5⁄8" TYPE X GYPSUM WALL BOARD



FLOOR ASSEMBLY

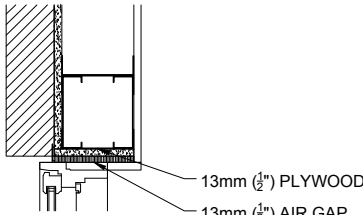
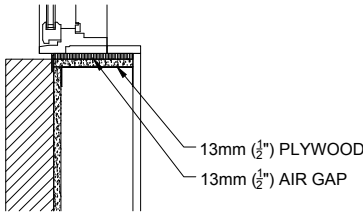
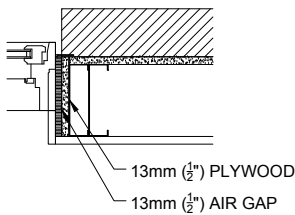
F1-TYPICAL FLOOR CONSTRUCTION  
4" CONCRETE SLAB WITH WIREMESH  
2" RIGID FOAM  
6" STONE



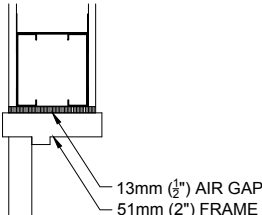
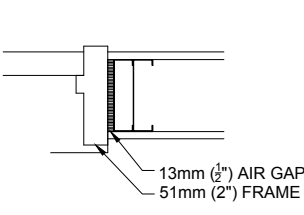
ASSEMBLIES

OPENING SCHEDULE										
ARCH. OPENING					ROUGH STUD OPENING					
TAG	WIDTH	HEIGHT	SILL HT	HEAD HT	RSO TAG	WIDTH	HEIGHT	SILL HT	HEAD HT	DETAIL
W1	4'-0"	4'-0"	2'-8"	6'-8"	W1	4'-2"	4'-2"	2'-7"	6'-9"	A
W2	6'-0"	4'-0"	2'-8"	6'-8"	W2	6'-2"	4'-2"	2'-7"	6'-9"	A
D1	12'-0"	12'-0"	-	12'-0"	D1	12'-0"	12'-0"	-	12'-0"	-
D2	10'-0"	8'-0"	-	8'-0"	D2	10'-0"	8'-0"	-	8'-0"	-
D3	10'-0"	8'-0"	-	8'-0"	D3	10'-0"	8'-0"	-	8'-0"	-
D4	3'-0"	6'-8"	-	6'-8"	D4	3'-5"	6'-11"	-	6'-11"	B

ROUGH STUD OPENING (RSO) SCHEDULE



A ROUGH STUD OPENING (RSO) WINDOW JAMB/SILL/HEADER



B ROUGH STUD OPENING (RSO) DOOR JAMB/SILL/HEADER

GENERAL NOTES:

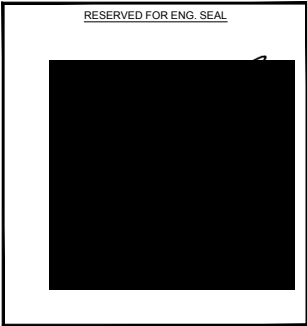
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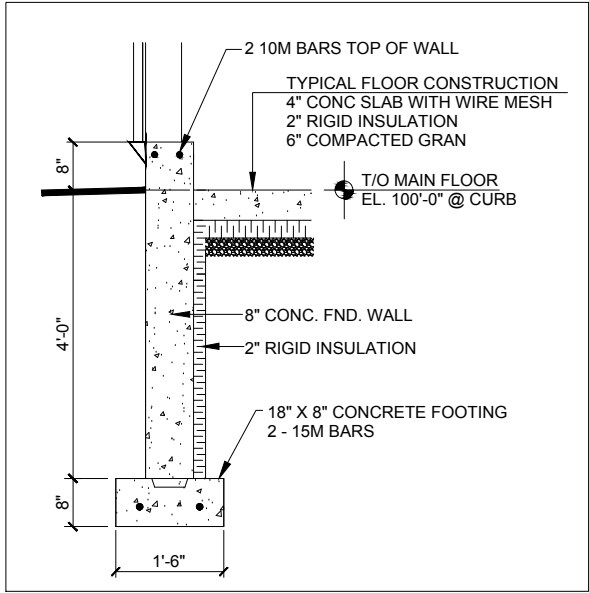
NO.	REVISION	DATE
1	ISSUED FOR PERMIT	06/03/2025



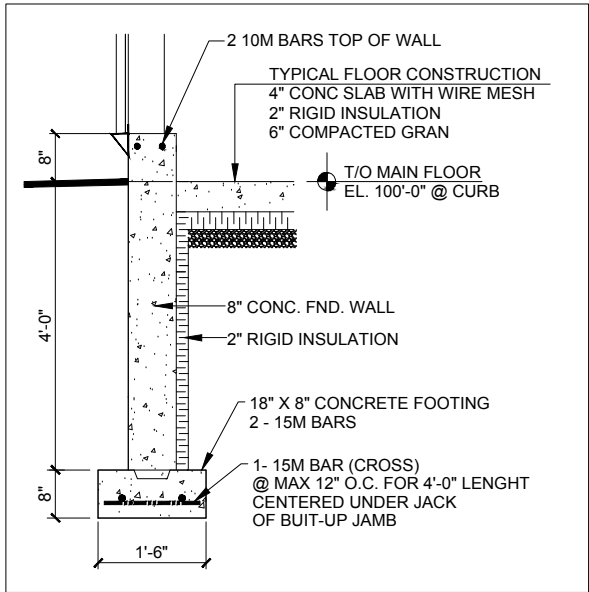
CLIENT : CAMBRIDGE DRYWALL SERVICES
LOCATION : 6547 CONCESSION 1 PUSLINCH, ONTARIO, N0B2J0
PROJECT : CIMINO 50'x50' GARAGE
SHEET : SCHEDULES



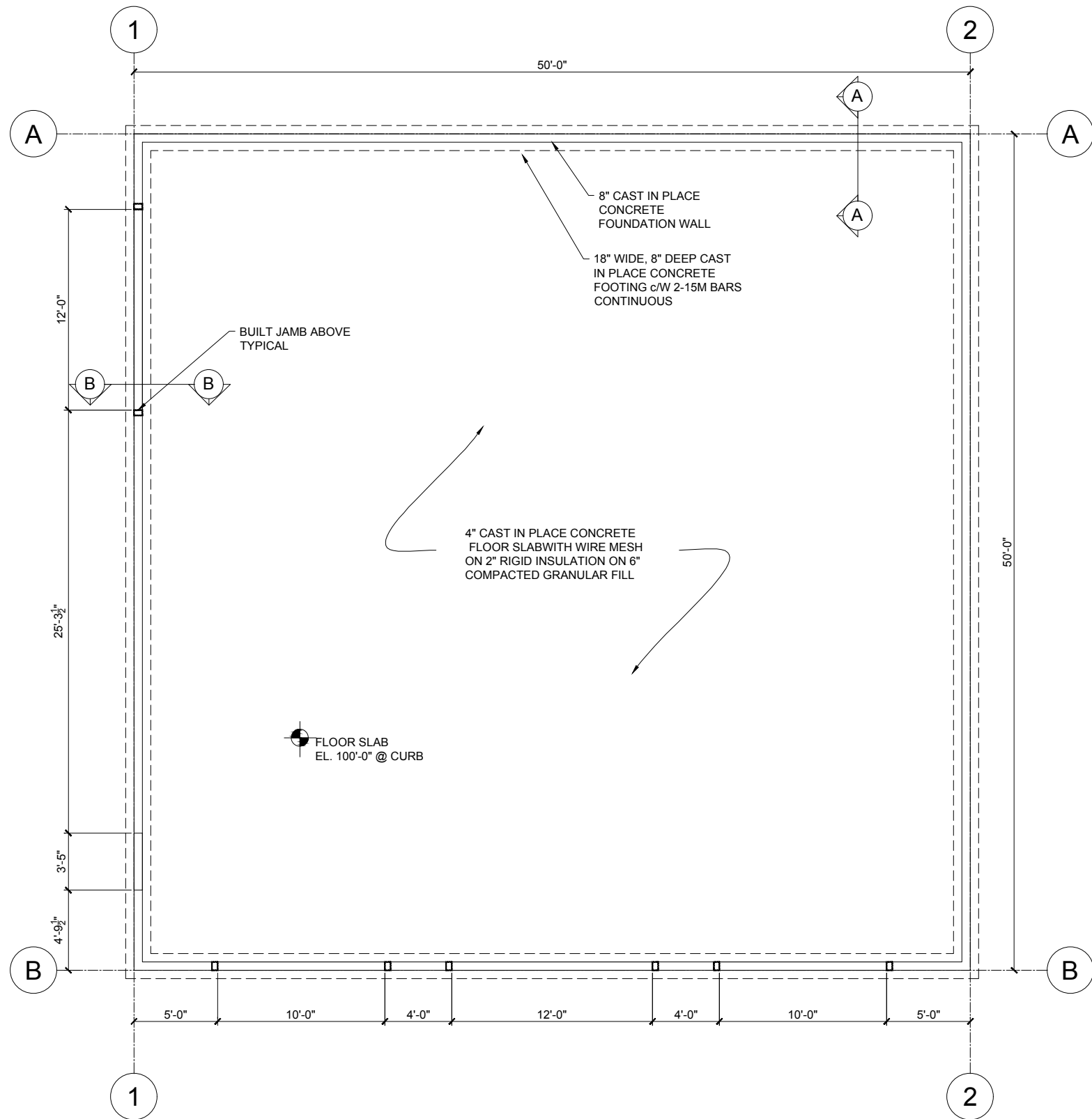
PROJ.#: T25-043	DESIGNER: VP
DATE: APRIL 3, 2025	PAGE #: A 1.3



DETAIL A-A  
FOUNDATION SECTION



DETAIL B-B  
FOUNDATION SECTION



PLAN NORTH

FOUNDATION PLAN

GENERAL NOTES:

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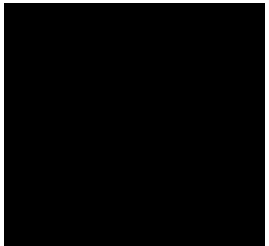
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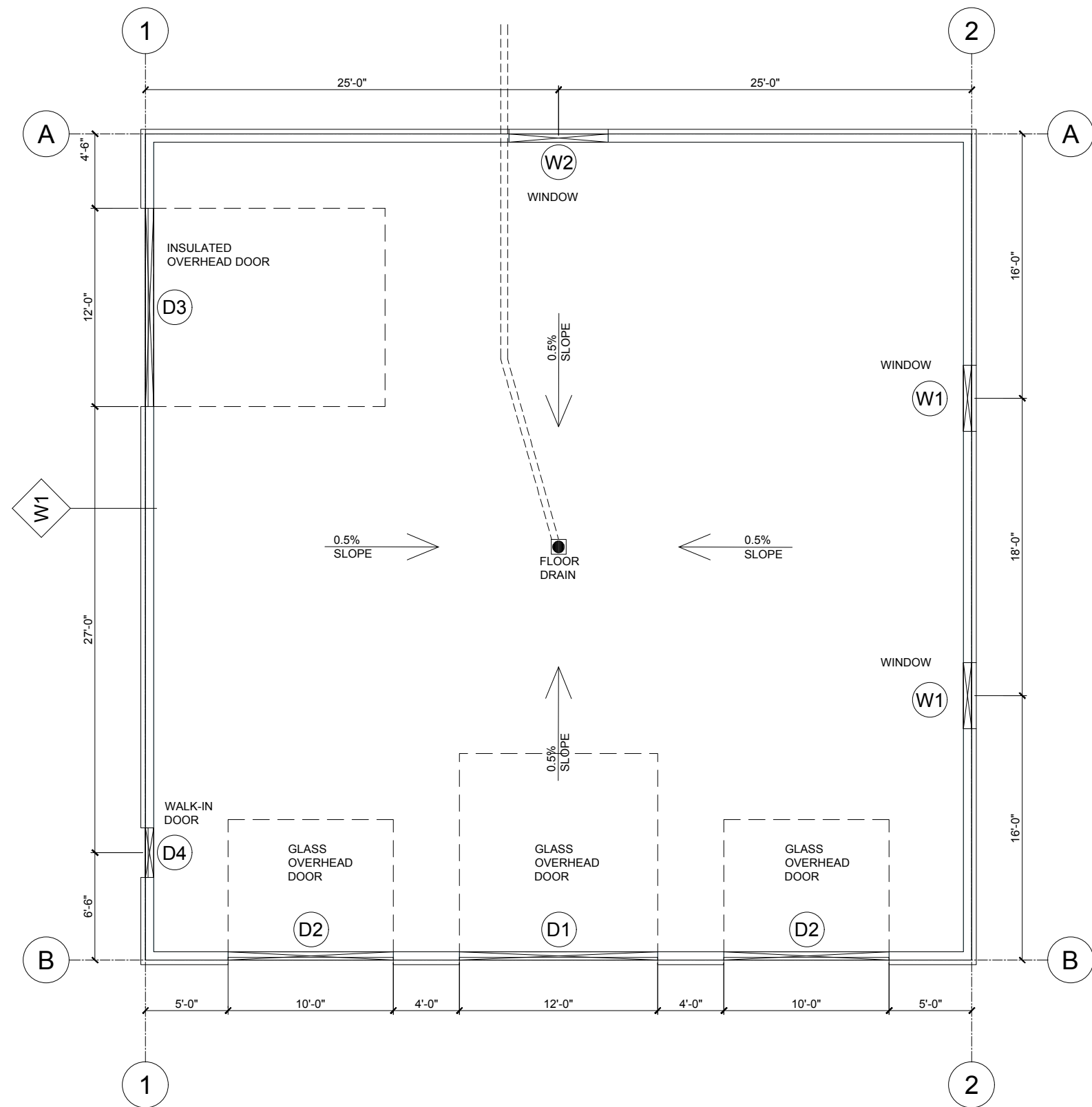
RESERVED FOR ENG. SEAL



CLIENT :	CAMBRIDGE DRYWALL SERVICES
LOCATION :	6547 CONCESSION 1 PUSLINCH, ONTARIO, N0B2J0
PROJECT :	CIMINO 50'x50' GARAGE
SHEET :	FOUNDATION PLAN



PRJ. #:	T25-043	DESIGNER:	VP
DATE:	APRIL 3, 2025	PAGE #:	A 2.0



FLOOR PLAN

GENERAL NOTES:

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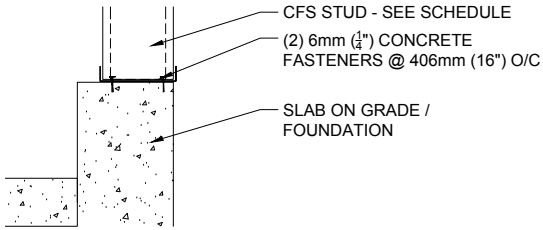
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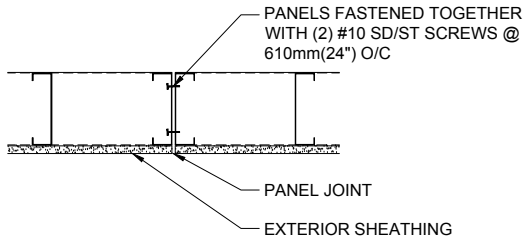
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LOCATION :	6547 CONCESSION 1 PUSLINCH, ONTARIO, N0B2J0
PROJECT :	CIMINO 50'x50' GARAGE
SHEET :	FLOOR PLAN



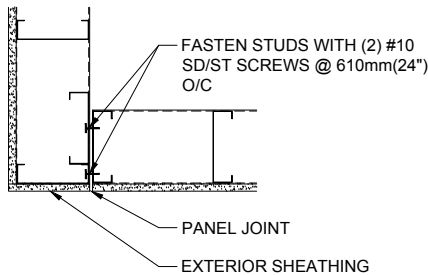
PROJ. #:	T25-043	DESIGNER:	VP
DATE :	APRIL 3, 2025	PAGE #:	A 2.1



○ BOTTOM OF WALL CONNECTION DETAIL

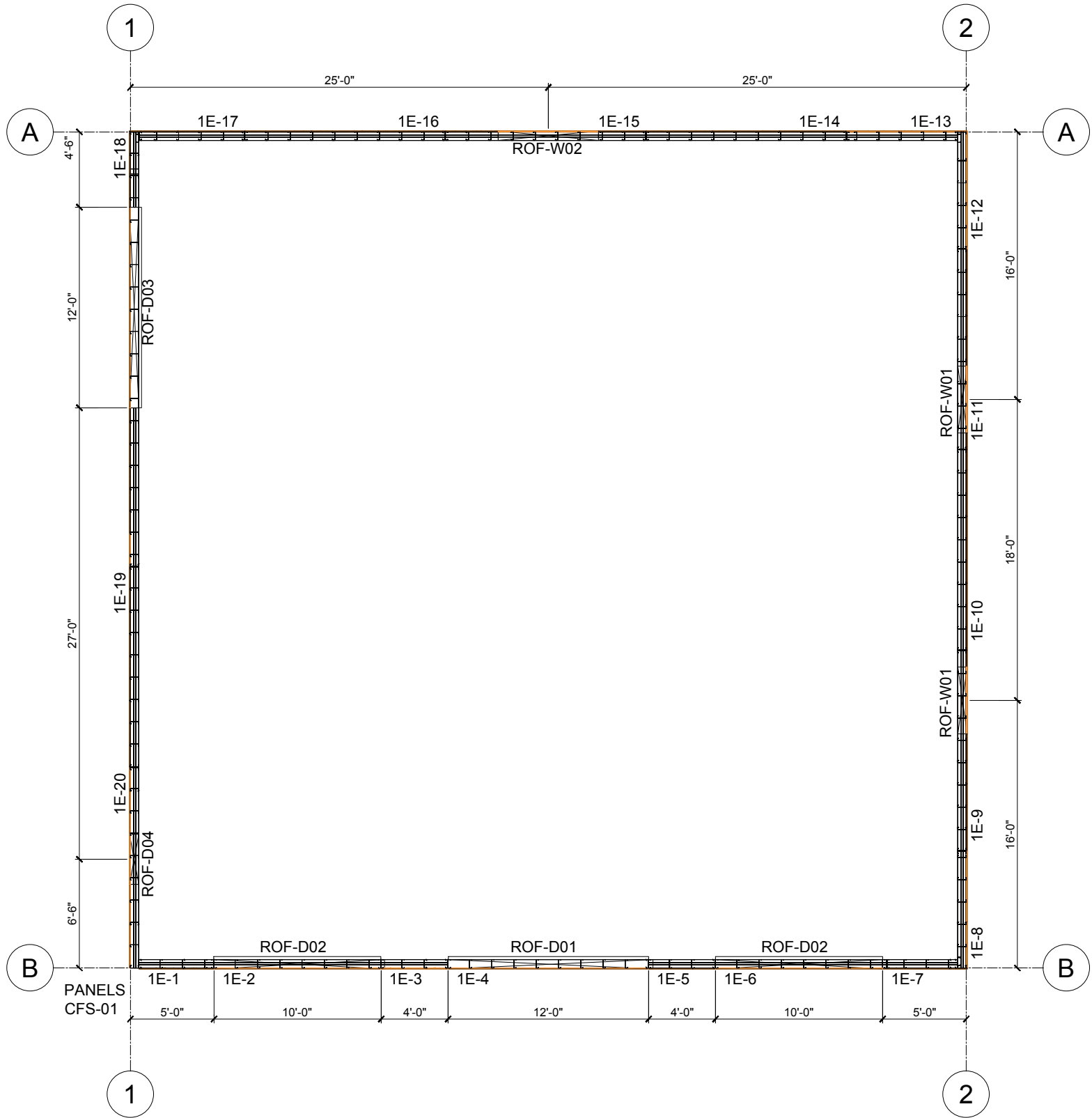


○ PANEL TO PANEL CONNECTION: STUD WALLS (PLAN VIEW)



○ CORNER CONNECTION DETAIL (PLAN VIEW)

○ WALL FRAMING PLAN



- LATERAL LOAD RESISTING SYSTEM NOTES:
1. CFS PANELS ARE TO BE SHEATHED WITH  $\frac{1}{2}$ " PLYWOOD TO PROVIDE REINFORCEMENT AGAINST LATERAL LOADS.
  2. FASTENERS' PATTERN : 6" O.C. AT EDGE & 12" O.C. IN FIELD

GENERAL NOTES:

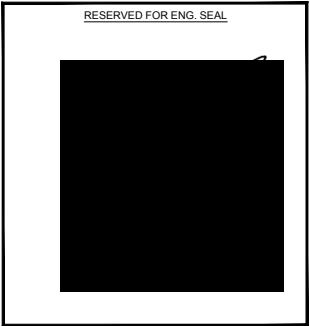
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CLIENT :	CAMBRIDGE DRYWALL SERVICES
LOCATION :	6547 CONCESSION 1 PUSLINCH, ONTARIO, N0B2J0
PROJECT :	CIMINO 50'x50' GARAGE
SHEET :	WALL FRAMING PLAN

PROJ. #:	T25-043
DESIGNER:	VP
DATE:	APRIL 3, 2025
PAGE #:	A 2.2



1. CFS TRUSSES SPACED MAX.  
1219mm (48") O/C.

2. ROOF DECKING IS 38mm (1 1/2") 22 GA. GALVANEALD STEEL DECKING.

 X BRACE LOCATIONS

ALL TRUSS DIMENSIONING IS APPROXIMATE. INSTALLER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO INSTALLING TRUSSES

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[illegible]

11

LOCATION : 6547 CONCESSION 1  
PUSLINCH, ONTARIO, N0B2J0

SHEET :  
ROOF FRAMING PLAN

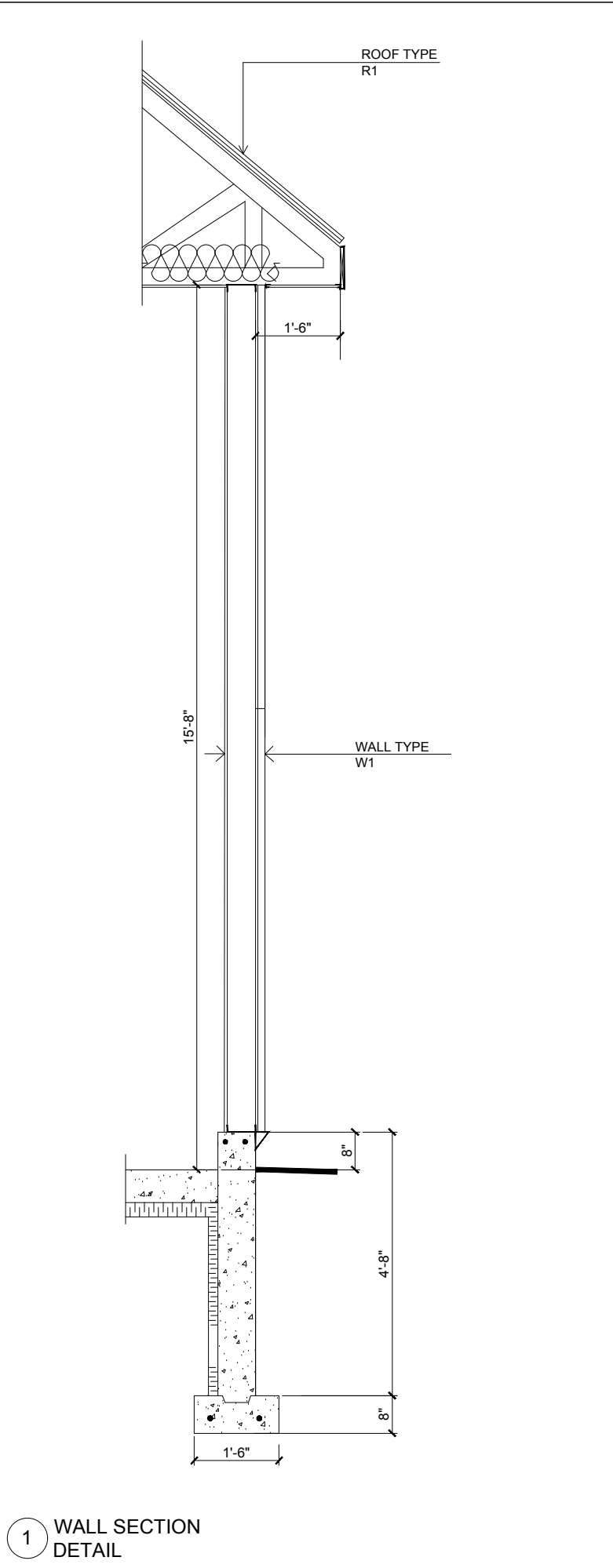


**HOMES & COMMERCIAL GROUP INC.**  
**COLD-FORMED STEEL BUILDING SYSTEMS**

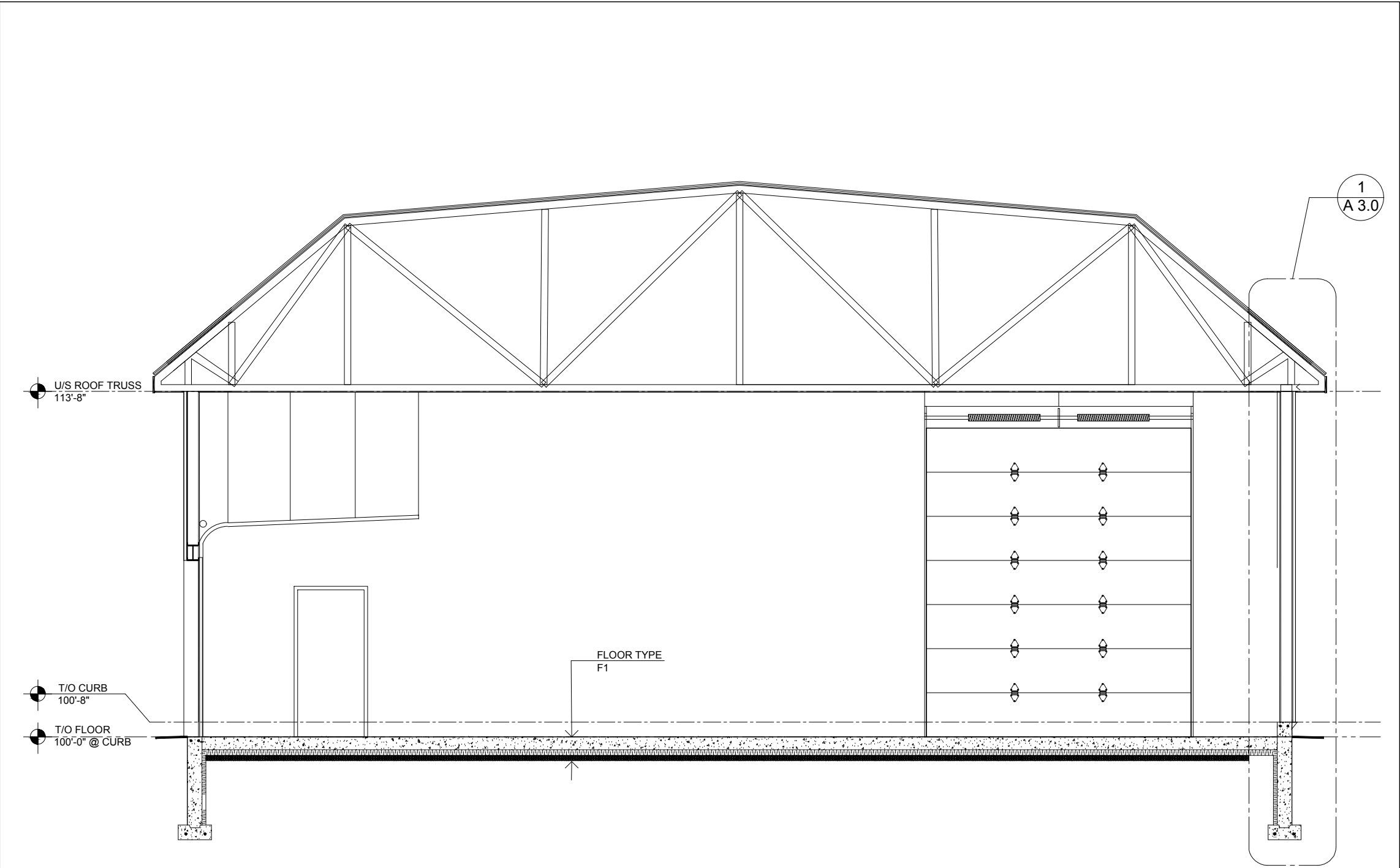
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APRIL 3, 2025

PAGE #: A2.3





1 WALL SECTION DETAIL



1 BUILDING SECTION

GENERAL NOTES:

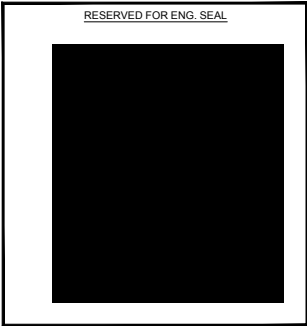
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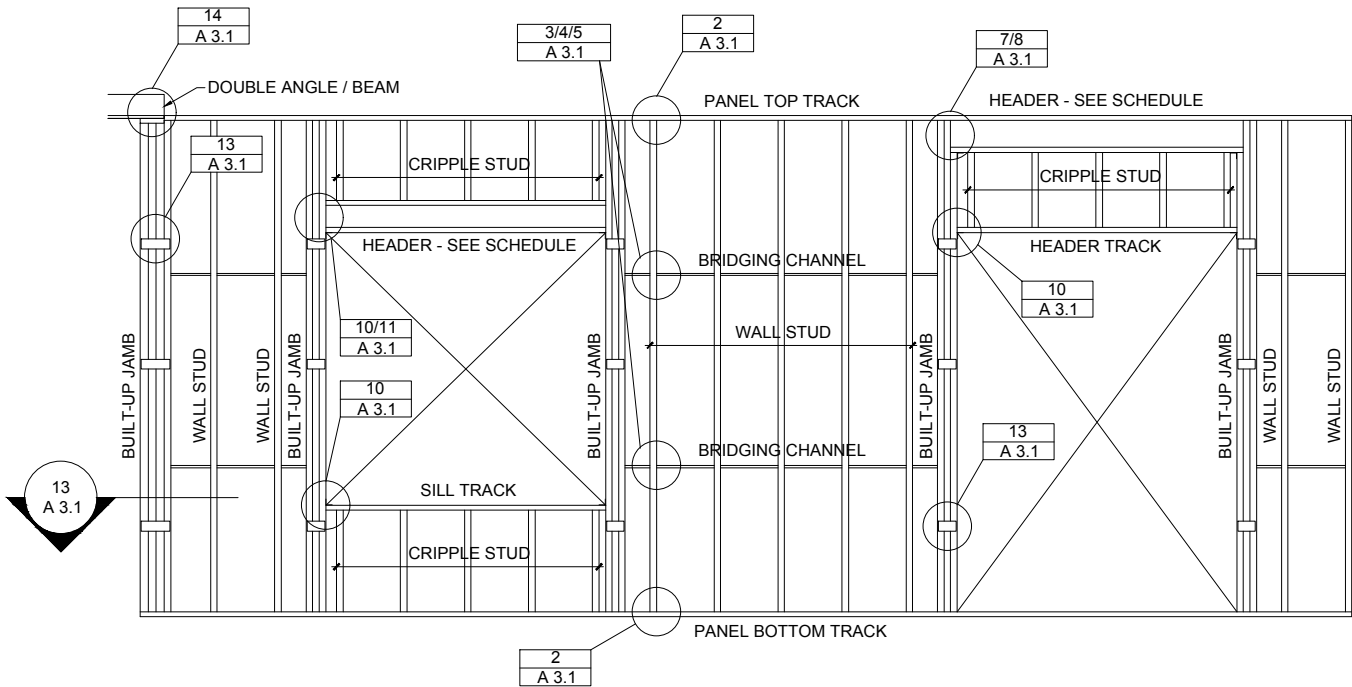
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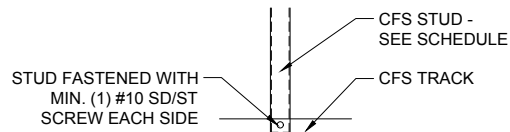


CLIENT :	CAMBRIDGE DRYWALL SERVICES
LOCATION :	6547 CONCESSION 1 PUSLINCH, ONTARIO, N0B2J0
PROJECT :	CIMINO 50'x50' GARAGE
SHEET :	SECTION DETAILS

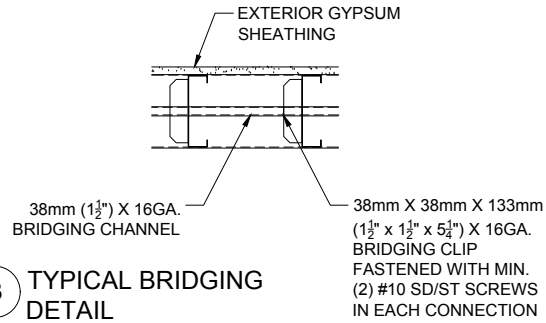
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DATE:	APRIL 3, 2025
DESIGNER:	VP
PAGE #:	A 3.0



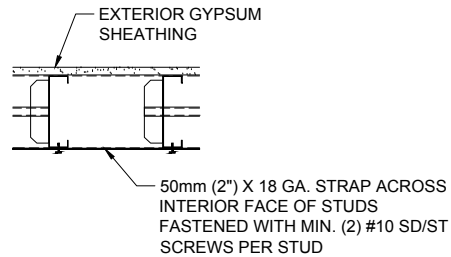
1 SCHEMATIC LOAD-BEARING PANEL ELEVATION



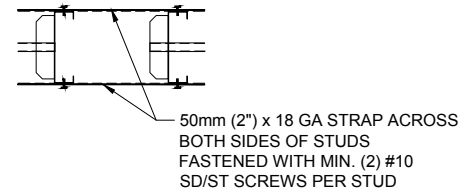
2 TYPICAL STUD TO TRACK CONNECTION DETAIL



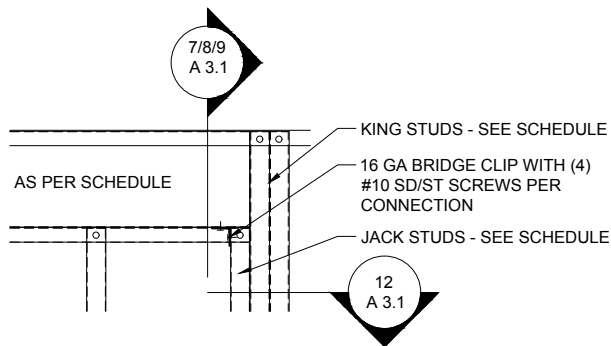
3 TYPICAL BRIDGING DETAIL



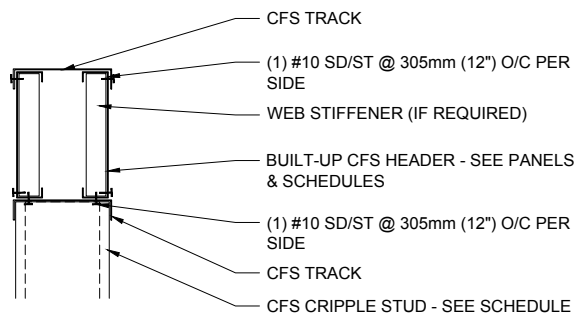
4 EXT. WALL ALTERNATE BRIDGING DETAIL



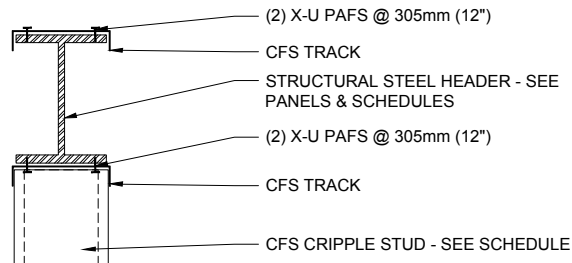
5 INT. WALL ALTERNATE BRIDGING DETAIL



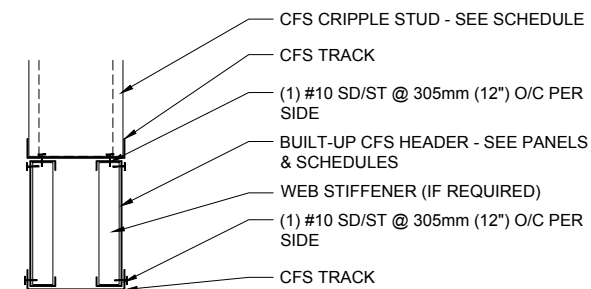
6 BUILT-UP CFS HEADER/JAMB CONNECTION DETAIL



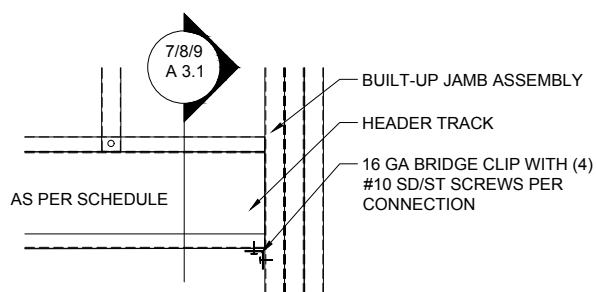
7 CFS HEADER SECTION DETAIL (TOP OF WALL)



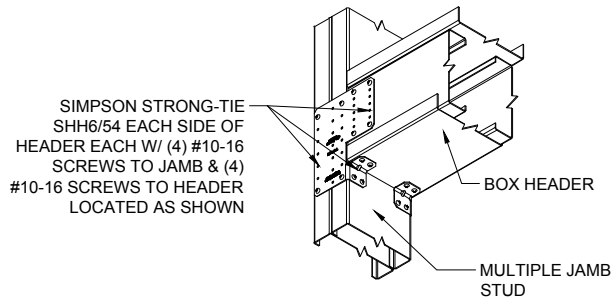
8 STRUCTURAL STEEL HEADER SECTION DETAIL (TOP OF WALL)



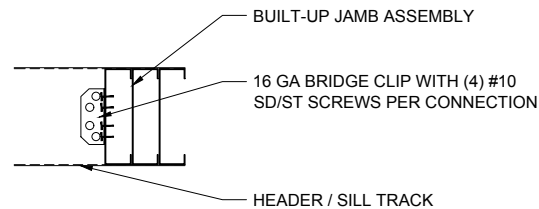
9 CFS HEADER SECTION DETAIL (TOP OF OPENING)



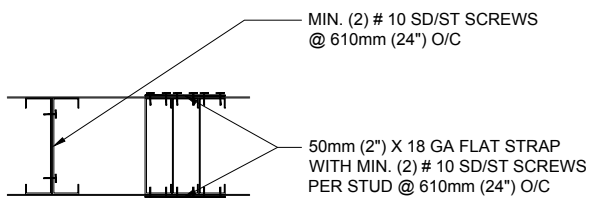
10 ALTERNATE CFS HEADER/JAMB CONNECTION DETAIL (NO JACK STUD)



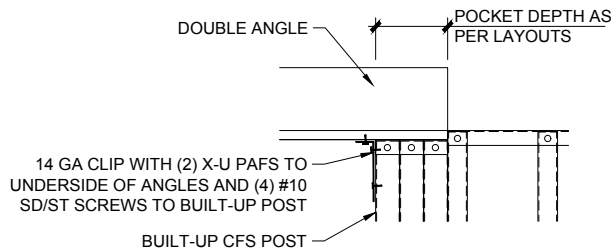
11 ALTERNATE CFS HEADER/JAMB CONNECTION DETAIL (NO JACK STUD)



12 HEADER/SILL TRACK CONNECTION DETAIL (PLAN VIEW)



13 BUILT-UP POST/JAMB CONNECTION DETAIL (PLAN VIEW)



14 BEAM POCKET CONNECTION DETAIL

GENERAL NOTES:

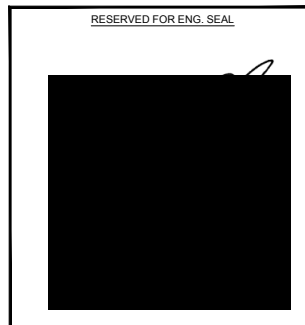
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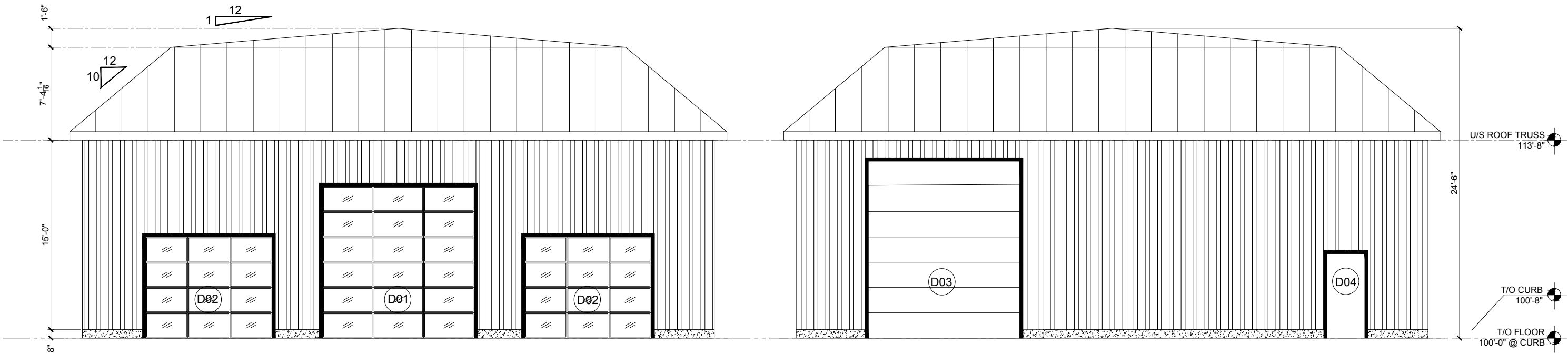
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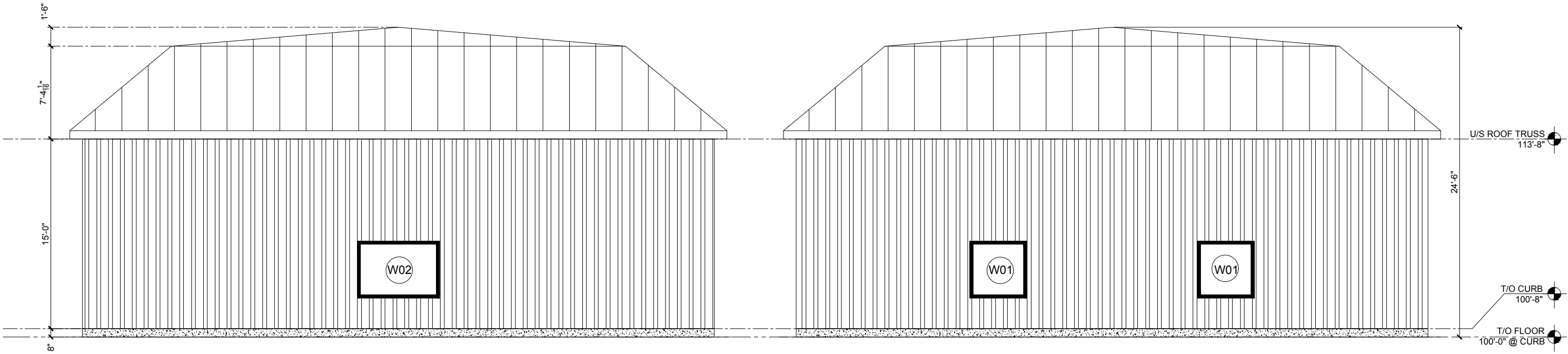
CLIENT : CAMBRIDGE DRYWALL SERVICES
LOCATION : 6547 CONCESSION 1 PUSLINCH, ONTARIO, N0B2J0
PROJECT : CIMINO 50'x50' GARAGE
SHEET : WALL PANEL FABRICATION DETAILS

<b>VANDERWAL</b> HOMES & COMMERCIAL GROUP INC. COLD-FORMED STEEL BUILDING SYSTEMS	
PROJ.#: T25-043	DESIGNER: VP
DATE: APRIL 3, 2025	PAGE #: A 3.1



**WEST ELEVATION**

**NORTH ELEVATION**



**EAST ELEVATION**

**SOUTH ELEVATION**

**GENERAL NOTES:**

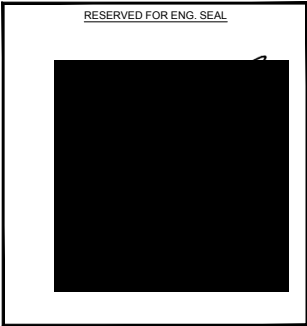
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CLIENT :  
CAMBRIDGE DRYWALL SERVICES

LOCATION :  
6547 CONCESSION 1  
PUSLINCH, ONTARIO, N0B2J0

PROJECT :  
CIMINO  
50'x50' GARAGE

SHEET :  
ELEVATIONS

**VANDERWAL**  
HOMES & COMMERCIAL GROUP INC.  
COLD-FORMED STEEL BUILDING SYSTEMS

PRJ. # :  
T25-043

DESIGNER:  
VP

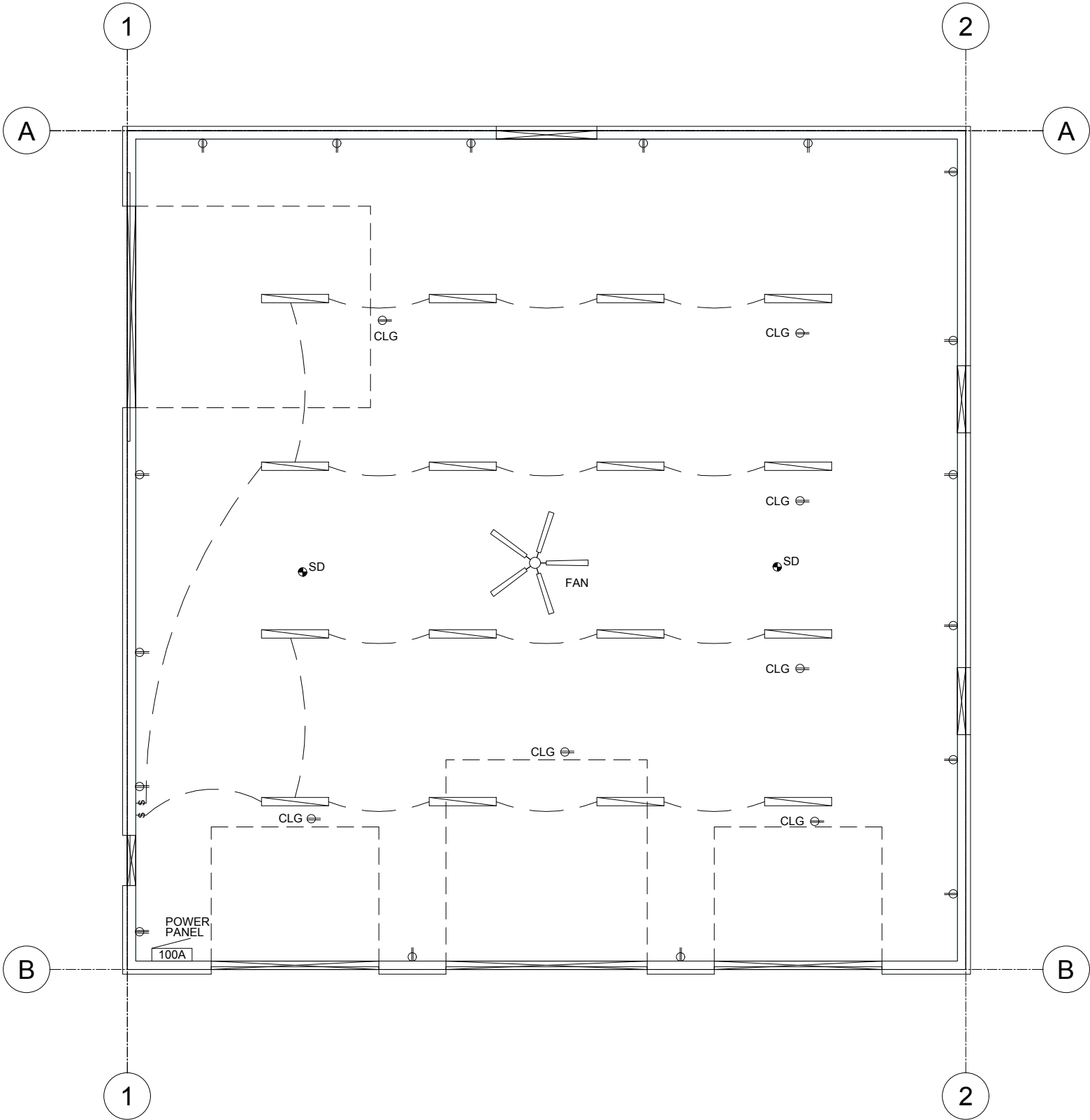
DATE :  
APRIL 3, 2025

PAGE # :  
A4.1





SYMBOL LEGEND	
	ARC FAULT RECEPTACLE
	42" FAN W/ 3 LIGHTS
	SMOKE DETECTOR
	SWITCH
	DUPLEX RECEPTACLE
	20 A RECEPTACLE
	SMOKE DETECTOR CO DETECTOR
	48" LED LINEAR STRIP LIGHT LITHONIA LIGHTING OR SIMILAR



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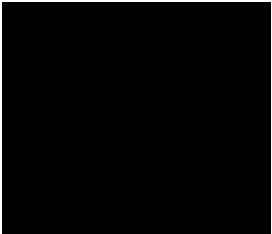
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CLIENT :	CAMBRIDGE DRYWALL SERVICES
LOCATION :	6547 CONCESSION 1 PUSLINCH, ONTARIO, N0B2J0
PROJECT :	CIMINO 50'x50' GARAGE
SHEET :	ELECTRICAL PLAN



PROJ. #:	T25-043	DESIGNER:	VP
DATE:	APRIL 3, 2025	PAGE #:	A 5.0