

Gross Constructed Area Summary

Industrial Bldg #1	Tenant 1	245,000 sf 22,761 m ²	30,000 sf 2,787 m ²	150,000 sf 13,935 m ²	50,000 sf 4,645 m ²	15,000 sf 1,394 m ²				
	Tenant 1 Expansion	50,000 sf 4,645 m ²		37,500 sf 3,484 m ²	12,500 s.f 1,161 m ²					
	Tenant 2	230,000 sf 21,368 m ²	20,000 sf 1,858 m ²	200,000 sf 18,580 m ²		10,000 sf 929 m ²				
	Tenant 2 Expansion	100,000 sf 9,290 m ²		100,000 sf 9,290 m ²						
	Retail	15,000 sf 1,394 m ²			15,000 s.f 1,394 m ²					
	Shared Spaces	25,000 sf 2,323 m ²					20,000 sf 1,858 m ²	5,000 sf 465 m ²		
		665,000 sf 61,780 m ²								

Industrial Bldg #2	120,000 sf 11,148 m ²	10,000 sf 929 m ²		110,000 sf 10,219 m ²						
Expansion	75,000 sf 6,968 m ²			75,000 sf 6,968 m ²						
	195,000 sf 18,115.94 m ²									

Industrial Bldg #3	140,500 sf 13,053 m ²	5,000 sf 465 m ²		135,500 sf 12,588 m ²						
	140,500 sf 13,053 m ²									

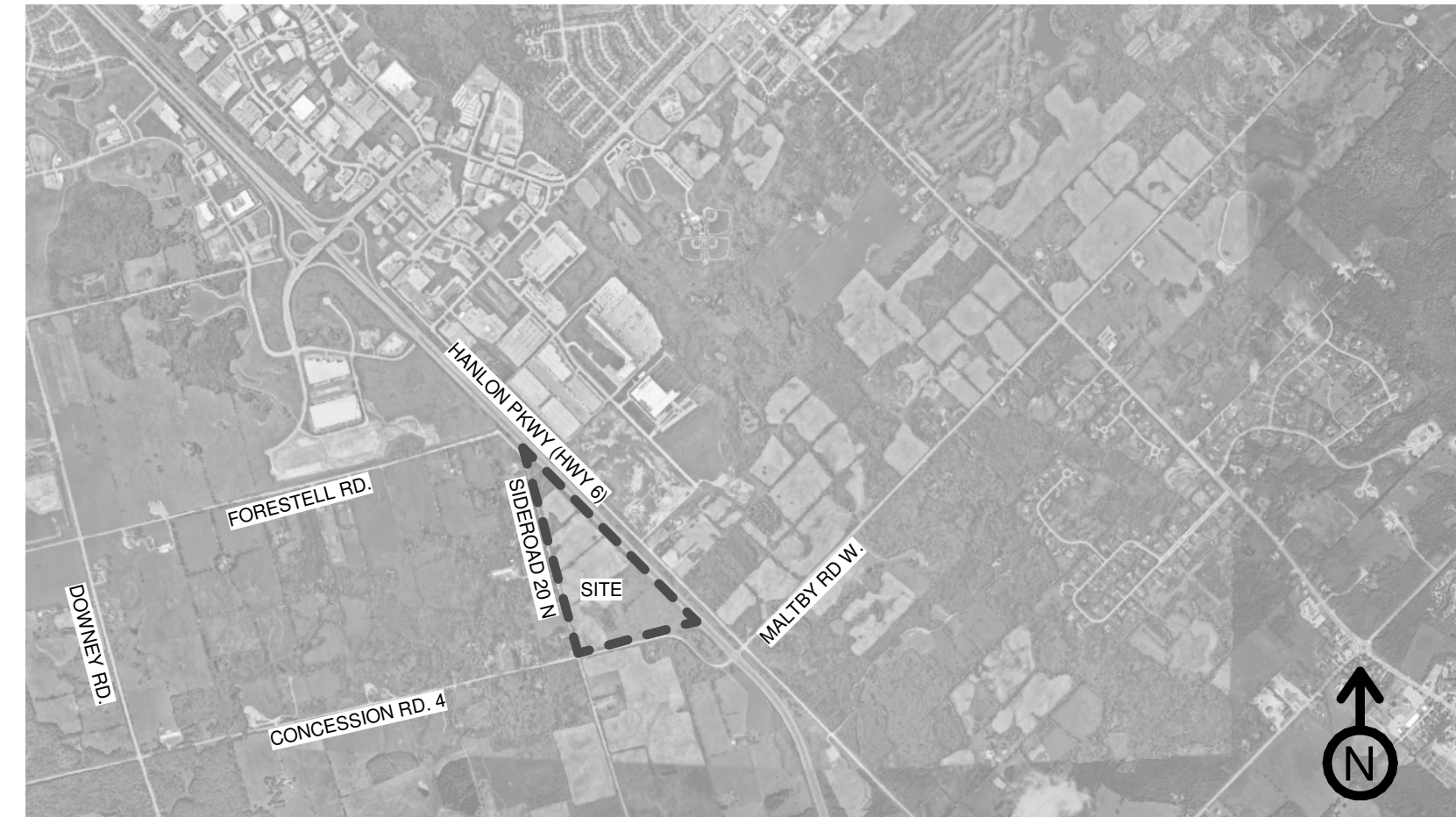
Gym	15,000 sf 1,394 m ²							15,000 sf 1,394 m ²		
	15,000 sf 1,394 m ²									

Daycare	10,000 sf 929 m ²								10,000 s.f 929 m ²	
	10,000 sf 929 m ²									

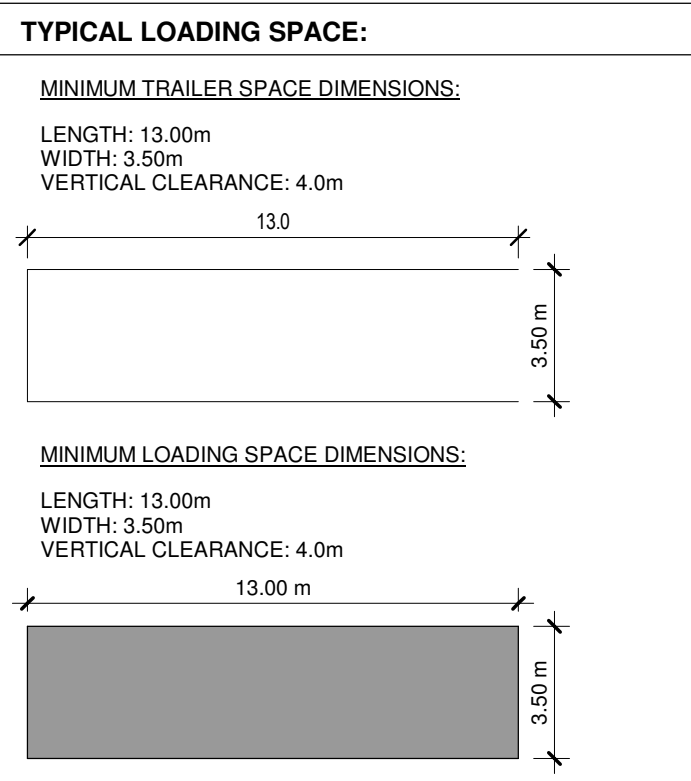
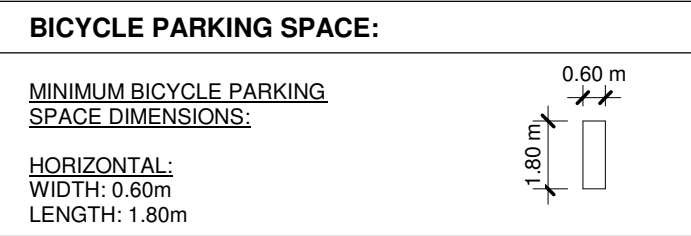
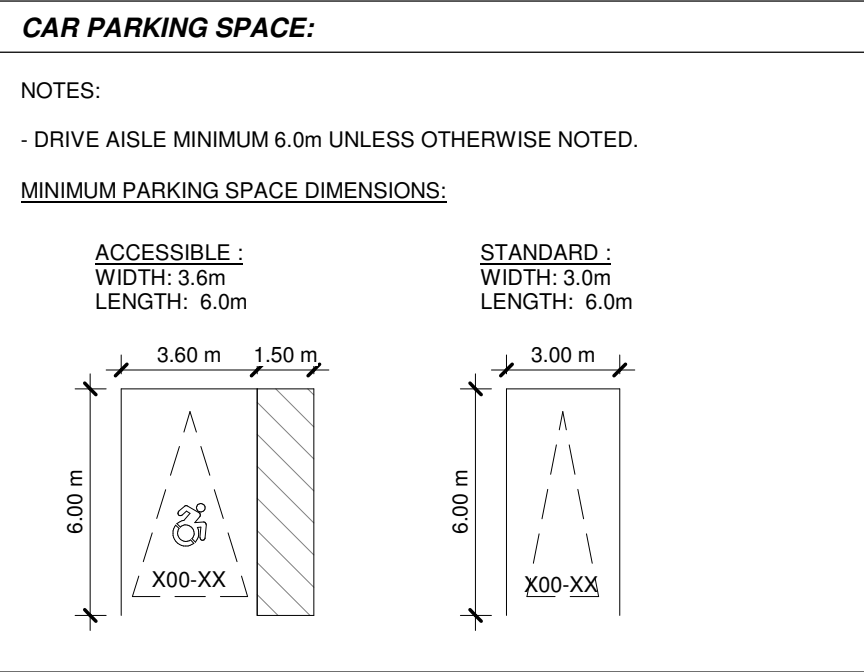
Total GCA	1,025,500 sf 95,271 m ²	65,000 sf 6,039 m ²	487,500 sf 45,290 m ²	398,000 sf 36,975 m ²	25,000 sf 2,323 m ²	20,000 sf 1,858 m ²	5,000 sf 465 m ²	15,000 sf 1,394 m ²	10,000 sf 929 m ²	
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VEHICULAR PARKING		
TENANT	REQUIRED	PROVIDED
Industrial Building #1, #2, #3	*Refer to Traffic Impact Study prepared by GHD Limited for details.	801
Gym		70
Daycare		23
TOTAL PARKING		894
ACCESSIBLE PARKING		
All Buildings	*Refer to Traffic Impact Study prepared by GHD Limited for details.	26

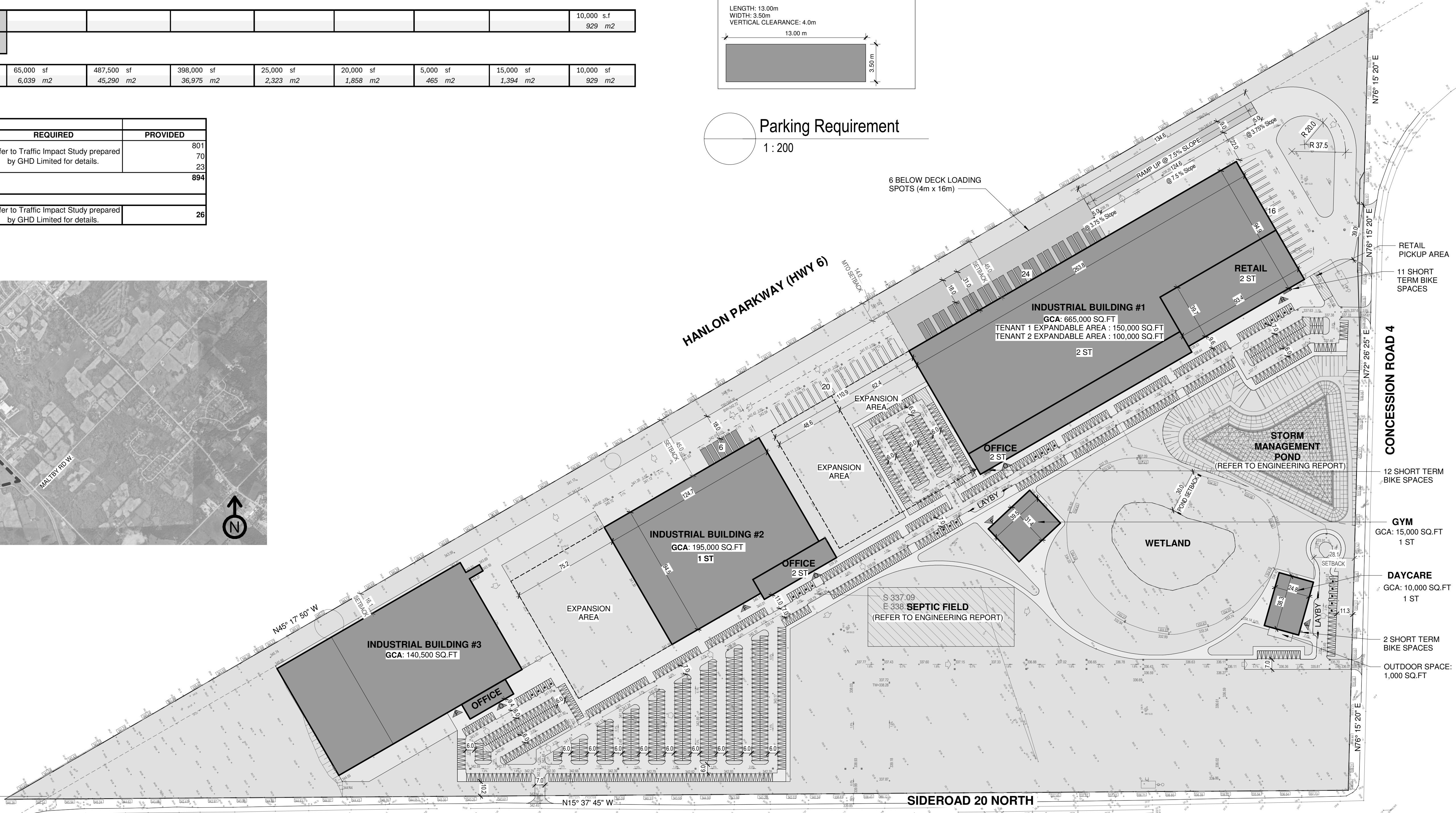
Sweeny and Co Architects Inc.



Context Map
1 : 1



Parking Requirement
1 : 200



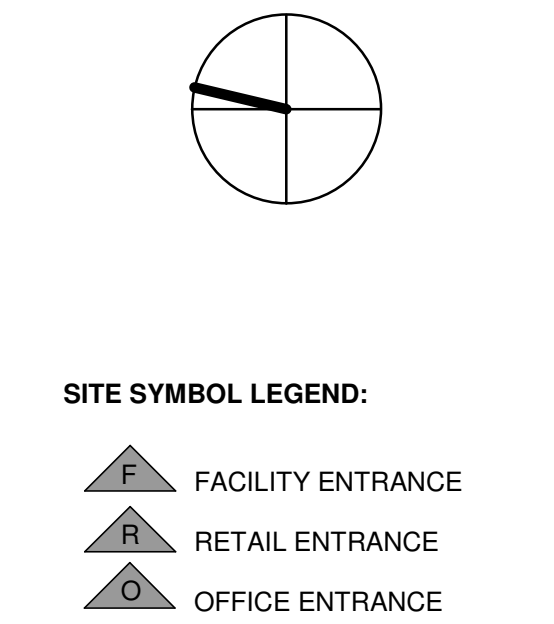
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED yy-mm-dd

ISSUED FOR OPA / ZBA 2025-02-07



Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
Puslinch Industrial
4631 Sideroad 20 N
Puslinch Township

OWNER
Estill Innovation Hub

DWG TITLE
**Site Plan, Contact Plan,
Area Statistics**

DATE: 2025-01-30
SCALE: As indicated
DRAWN : AT
CHECKED : GD
PROJ. No.: 2421

DWG No.
AC103



AERIAL VIEW LOOKING NORTH



AERIAL VIEW LOOKING WEST

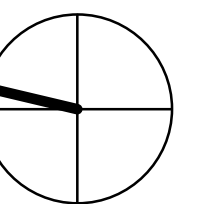
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34 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
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PROJ. NAME
Puslinch Industrial
631 Sideroad 20 N
Puslinch Township

OWNER
Estill Innovation Hub

Site Plan Renderings

DATE:	2025-01-27	
SCALE:		
DRAWN:	AT	
CHECKED:	JG	
PROJ. No.:	2421	DWG No.

AC105