

Cloudpermit application number  
CA-3523001-P-2025-105

**Applicant, Agent**

Last name stevanus	First name Jake	Corporation or partnership BMS construction
Street address [REDACTED]	Unit number 4	Lot / Con.
Municipality Waterloo	Province Ontario	Postal code N2J 4G8
Other phone	Mobile phone [REDACTED]	
Fax	Email jake@bmsconstruction.ca	

**Property owner, Payer**

Last name Balci	First name Eric	Corporation or partnership
Street address 4586 Victoria rd s	Unit number	Lot / Con.
Municipality Puslinch	Province On	Postal code N0b2j0
Other phone	Mobile phone [REDACTED]	
Fax	Email [REDACTED]	

**Subject Land Information**

Address	Legal description	Roll number
4586 VICTORIA RD S (Primary)	CON 8 REAR PT LOT 16	2301000006030250000

## Sworn Declaration of Applicant

Complete in the presence of a Commissioner for taking affidavits

I, BMS construction (Jake stevanus), solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the Applicant is accurate and that the information contained in the documents that accompany this application is accurate, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature of Applicant (sign in the presence of a Commissioner for taking affidavits)

Signature of Commissioner for taking affidavits

Municipality

Day, month, year

Township of Puslinch

29/MAY/2026

Place an imprint of your stamp below

Monika Alyse Famcombe, a Commissioner, etc.,  
Province of Ontario, for the Corporation of the  
Township of Puslinch.  
Expires February 14, 2027.

## Affidavit and signatures


### Applicant

The Jake stevanus, Applicant is required to agree to erect and maintain a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits. The sign will be provided to the applicant for posting on the property by Township planning staff along with instructions on how and where to post the sign. The sign must be posted at least 10 days prior to the Committee of Adjustment meeting date for the application and must remain on the property until the 20 day appeal period is expired.

### Notice with respect to collection of personal information

Personal information on this form is collected under the authority of the Planning Act. The information is used for the purpose of processing this application and administering the legislation and is maintained in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Questions regarding the collection of this information may be directed to the Township Clerk's office.

The Township of Puslinch is committed to providing accessible formats and communication supports for people with a disability. If another format would work better for you, please contact the Township Clerk's office for assistance.

 Digitally signed on 2026-04-27, 8:48:18 a.m. EDT by Jake stevanus.

**Send correspondence to**

Send correspondence to

 Owner(s)       Agent       Others

Who to send the Invoice to

 Owner       Agent       Other**Provide a description of the "entire" property**Concession  
con 8Lot  
lot 16Registered Plan Number  
roll # 23-01-000-006-03025-0000Area in Hectares  
0.447Area in Acres  
1.104Depth in Meters  
92Depth in Feet  
301Frontage in Meters  
48.56Frontage in Feet  
159.31Width of road allowance (if  
known)**Reason for Application**

Please indicate the Section of the Planning Act under which this application is being made

 Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.) Section 45(2) relates to a change to or expansion of an existing legal non- conforming use

What is the nature and extent of the relief that is being applied for?

Relief is required to permit an accessory structure to be setback 1.22 metres from the rear lot line where 2 metres is required. Accessory structure is not proposed to be habitable.

Why is it not possible to comply with the provisions of the by-law?

owner started building and was built too close to the property line

**What is the current Official Plan and zoning status?**Official Plan Designation  
secondary agriculturalZoning Designation  
agricultural

What is the access to the subject property?

 Provincial  
Highway Continually  
maintained  
municipal road Seasonally  
maintained  
municipal road Other Continually maintained  
county road

What is the name of the road or street that provides access to the subject property?

Victoria rd. S

If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

Existing and Proposed Service		
<b>Indicate the applicable water supply and sewage disposal:</b>		
Private Well	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Water	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Provincial Water Taking Permit	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Private Septic	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Communal Septic	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
Other Provincial Waste Water System	<input type="checkbox"/> Existing	<input type="checkbox"/> Proposed
How is storm drainage provided? *		
<input type="checkbox"/> Storm Sewers <input checked="" type="checkbox"/> Ditches <input checked="" type="checkbox"/> Swales <input type="checkbox"/> Other means		

Existing Subject and Abutting Property Land Uses, Buildings and their Locations	
What is the existing use of the subject property? residential house	What is the existing use of the abutting properties? farm land field and bush

Provide the following details for all existing buildings on the subject land		
Main Building Height in Meters 6.06	Main Building Height in Feet 20	Percentage Total Lot Coverage 7.15
Percentage Accessory Lot Coverage 1.86	Number of Parking Spaces 2	Number of Loading Spaces 0
Number of Floors 2	Total Floor Area in Square Meters 238.7	Total Floor Area in Square Feet 2569
Ground Floor Area (Exclude Basement) in Square Meters 238.7	Ground Floor Area (Exclude Basement) in Square Feet 2569	

Provide the following details for all buildings proposed for the subject land		
Main Building Height in Meters 5.1	Main Building Height in Feet 17 top of roof	Percentage Total Lot Coverage 3.92
Percentage Accessory Lot Coverage 3.92	Number of Parking Spaces 0	Number of Loading Spaces 0
Number of Floors 1	Total Floor Area in Square Meters 176.79	Total Floor Area in Square Feet 1904
Ground Floor Area (Exclude Basement) in Square Meters 176.79	Ground Floor Area (Exclude Basement) in Square Feet 1904	

**What is the location of all buildings existing and proposed for the subject property? (specify distances from front, rear and side lot lines)**

Front Yard in Meters main house - 36.7 , new building - 74	Front Yard in Feet main house-120 , new building - 242	Rear Yard in Meters main house - 36 , new building - 1.22
Rear Yard in Feet main house - 118 , new building - 4	Side Yard (interior) in Meters right side - main house- 15.3 , new building - 8.2	Side Yard (interior) in Feet right side - main house - 50 , new building - 26.9
Side Yard (Exterior) in Meters left side - main house - 16.4 , new building 17.2	Side Yard (Exterior) in Feet left side - main house - 53.8, new building - 55	

**What are the dates of acquisition and construction of subject property and building property**

Date of acquisition of subject property 2018	Date of construction of buildings property 1997	How long have the existing uses continued on the subject property? 1997
Has the owner previously applied for relief in respect of the subject property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

**Other Related Planning Applications**

Planning Application: Official Plan Amendment <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Zoning By-Law Amendment <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Planning Application: Plan of Subdivision <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Consent (Severance) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Planning Application: Site Plan <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Planning Application: Minor Variance <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Are there any easements on the subject property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Minor Variance: File Number	Minor Variance: Approval Authority	Minor Variance: Subject Lands
Minor Variance: Purpose rear set back	Minor Variance: Status	

**Minor Variance Application must be commissioned**

I understand that the required sketch must include the following information:

- |   |   |   |
|---|---|---|
| <input checked="" type="checkbox"/> The boundaries and dimensions of the subject land.                  | <input checked="" type="checkbox"/> The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines. | <input checked="" type="checkbox"/> The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks. |
| <input checked="" type="checkbox"/> The current uses on land that is adjacent to the subject land.      | <input checked="" type="checkbox"/> The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.  | <input checked="" type="checkbox"/> If access to the subject land is by water only, the location of the parking and docking facilities to be used.  |
| <input checked="" type="checkbox"/> The location and nature of any easement affecting the subject land. |   |   |

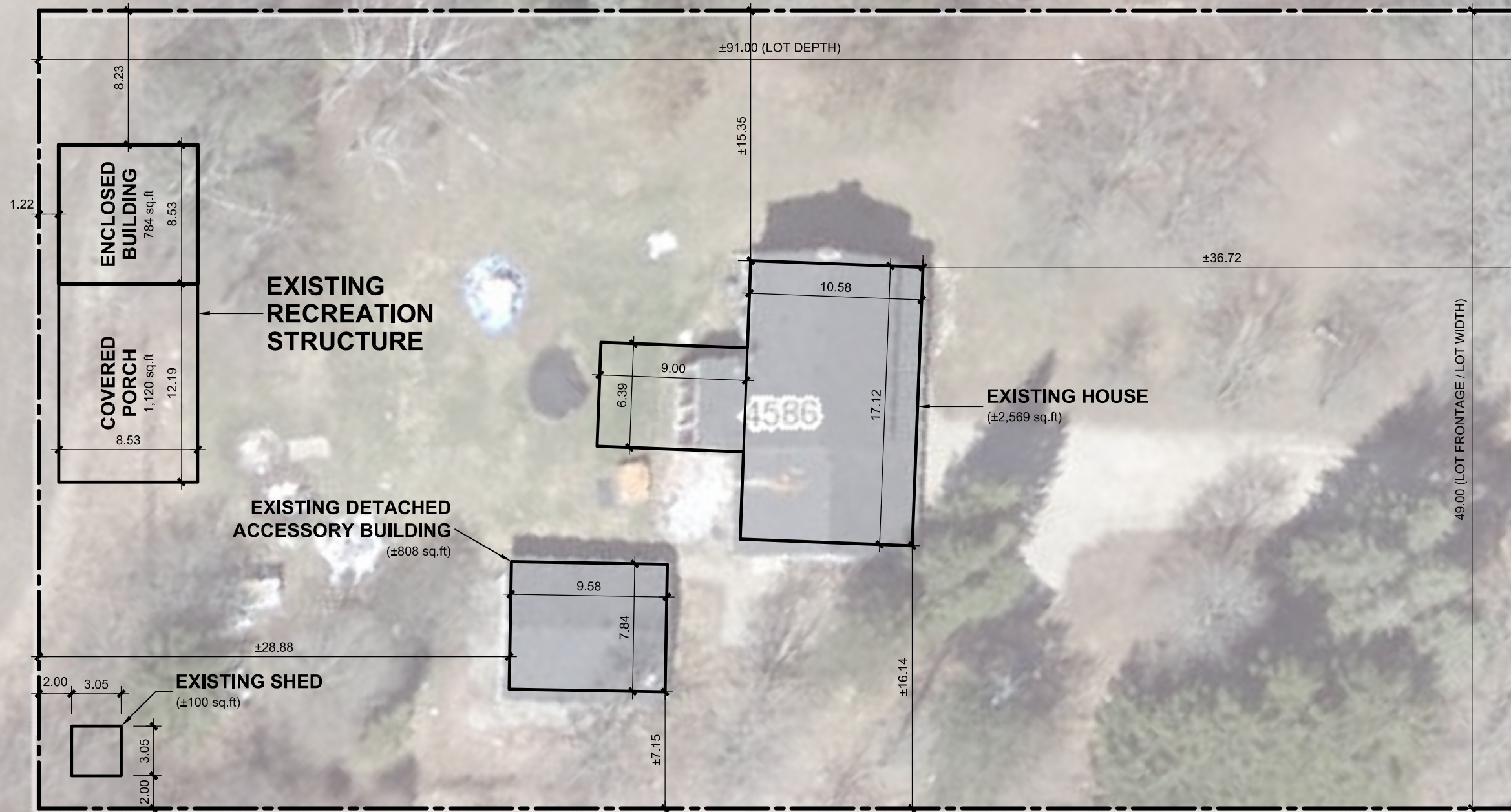
Please confirm the following

- I understand that prior to the Minor Variance Application being deemed complete it must be commissioned by all registered owners or the agent responsible for the application.

ADJACENT LAND USE:  
AGRICULTURAL

ADJACENT LAND USE:  
AGRICULTURAL

VICTORIA ROAD SOUTH  
(PUBLIC ROAD)



**SITE PLAN**  
SCALE 1:300

SITE LAYOUT TAKEN FROM REGION OF WELLINGTON COUNTY GIS MAPPING.  
(<https://sgis.wellington.ca/Maps/index.html?viewer=WellingtonCountyExternal>)

ADJACENT LAND USE:  
AGRICULTURAL

Project Title  
**BALCI DETACHED BUILDING**  
4586 VICTORIA ROAD SOUTH, PUSLINCH, ON

Drawing  
**SITE PLAN**

Scale 1:300	Dwg. # <b>SP1</b>
Date APRIL 2026	

Cloudpermit application number CA-3523001-P-2025-105
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**Applicant, Agent**

Last name stevanus	First name Jake	Corporation or partnership BMS construction
Street address [REDACTED]	Unit number 4	Lot / Con.
Municipality Waterloo	Province Ontario	Postal code N2J 4G8
Other phone	Mobile phone [REDACTED]	
Fax	Email jake@bmsconstruction.ca	

**Property owner, Payer**

Last name Balci	First name Eric	Corporation or partnership
Street address 4586 Victoria td s	Unit number	Lot / Con.
Municipality Puslinch	Province On	Postal code N0b2j0
Other phone	Mobile phone [REDACTED]	
Fax	Email [REDACTED]	

**Subject Land Information**

Address	Legal description	Roll number
4586 VICTORIA RD S (Primary)	CON 8 REAR PT LOT 16	2301000006030250000

## Sworn Declaration of Applicant

Complete in the presence of a Commissioner for taking affidavits

I, Eric Balci, solemnly declare that the information required under Schedule 1 to Ontario Regulation 545/06 and provided by the Applicant is accurate and that the information contained in the documents that accompany this application is accurate, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Signature of Applicant (sign in the presence of a Commissioner for taking affidavits)

Signature of Commissioner for taking affidavits

Municipality

Day, month, year

Place an imprint of your stamp below

## Affidavit and signatures


### Applicant

The Jake stevanus, Applicant is required to agree to erect and maintain a sign on the subject lands and to permit Township employees/representatives to enter the lands for site visits. The sign will be provided to the applicant for posting on the property by Township planning staff along with instructions on how and where to post the sign. The sign must be posted at least 10 days prior to the Committee of Adjustment meeting date for the application and must remain on the property until the 20 day appeal period is expired.

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 Digitally signed on 2026-04-15, 7:33:58 a.m. EDT by Jake stevanus.

Send correspondence to	
Send correspondence to <input checked="" type="checkbox"/> Owner(s) <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Others	
Who to send the Invoice to <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Agent <input type="checkbox"/> Other	

Provide a description of the "entire" property			
Concession con 8	Lot lot 16	Registered Plan Number roll # 23-01-000-006-03025-0000	
Area in Hectares 0.447	Area in Acres 1.104	Depth in Meters 92	
Depth in Feet 301	Frontage in Meters 48.56	Frontage in Feet 159.31	Width of road allowance (if known)

Reason for Application	
Please indicate the Section of the Planning Act under which this application is being made <input checked="" type="checkbox"/> Section 45(1) relates to a change to a by-law standard (e.g. setbacks, frontage, height, etc.) <input type="checkbox"/> Section 45(2) relates to a change to or expansion of an existing legal non- conforming use	
What is the nature and extent of the relief that is being applied for? building setting off back property line	Why is it not possible to comply with the provisions of the by-law? owner started building and was built too close to the property line

What is the current Official Plan and zoning status?	
Official Plan Designation secondary agricultural	Zoning Designation agricultural
What is the access to the subject property? <input type="checkbox"/> Provincial Highway <input checked="" type="checkbox"/> Continually maintained municipal road <input type="checkbox"/> Seasonally maintained municipal road <input type="checkbox"/> Other <input type="checkbox"/> Continually maintained county road	
What is the name of the road or street that provides access to the subject property? Victoria rd. S	If access is by water only, please describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land to the nearest public road.

Existing and Proposed Service		
<b>Indicate the applicable water supply and sewage disposal:</b>		
Private Well	<input checked="" type="checkbox"/> Existing	<input type="checkbox"/> Proposed
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The current uses on land that is adjacent to the subject land.



The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.



If access to the subject land is by water only, the location of the parking and docking facilities to be used.

The location and nature of any easement affecting the subject land.

Please confirm the following

I understand that prior to the Minor Variance Application being deemed complete it must be commissioned by all registered owners or the agent responsible for the application.

**DESIGN PARAMETERS:**

1. DESIGN LOADS ARE UNFACTORED UNLESS NOTED OTHERWISE.
  - A. CLIMATIC DESIGN DATA (GUELPH):  
 $S_s = 1.9 \text{ kPa}$   
 $S_r = 0.4 \text{ kPa}$   
 $q(1/50) = 0.36 \text{ kPa}$   
 $S_a(0.2) = 0.133$
  - B. ROOF (DEAD) =  $0.15 \text{ kPa}$
  - C. OCCUPANCY (LIVE) =  $1.9 \text{ kPa}$
2. FOUNDATIONS TO BEAR DIRECTLY ON MATERIAL SUITABLE FOR  $100 \text{ kPa}$  ( $2000 \text{ psf}$ ) BEARING PRESSURE, UNLESS NOTED OTHERWISE.
3. SLABS ON GRADE TO BEAR ON MATERIALS SUITABLE FOR  $25 \text{ kPa}$  ( $500 \text{ psf}$ ) BEARING PRESSURES.

**CONCRETE NOTES**

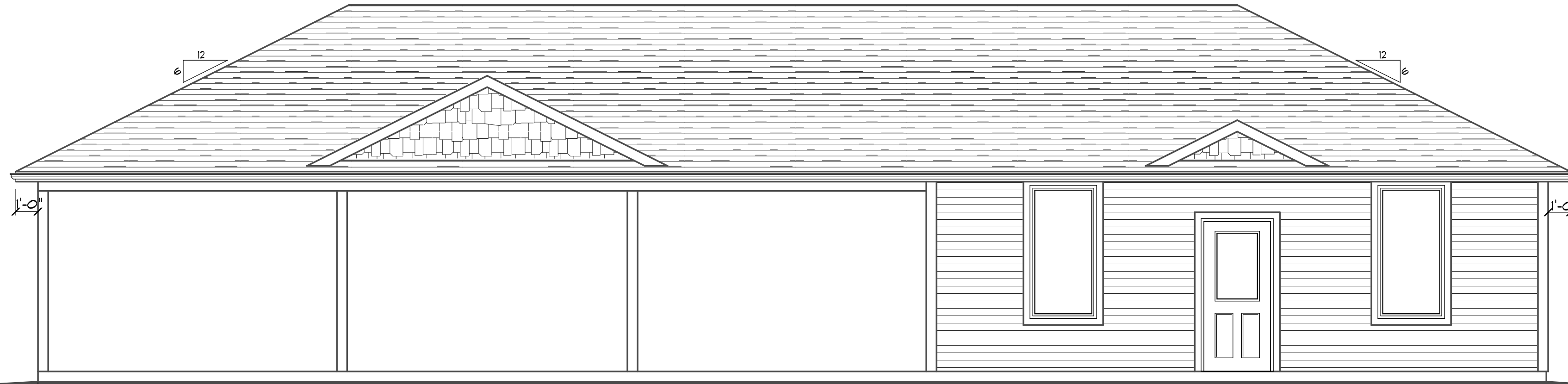
STRUCTURAL SLAB FOUNDATION AS PER P.ENG DESIGN & SPECIFICATIONS.

**FRAMING NOTES**

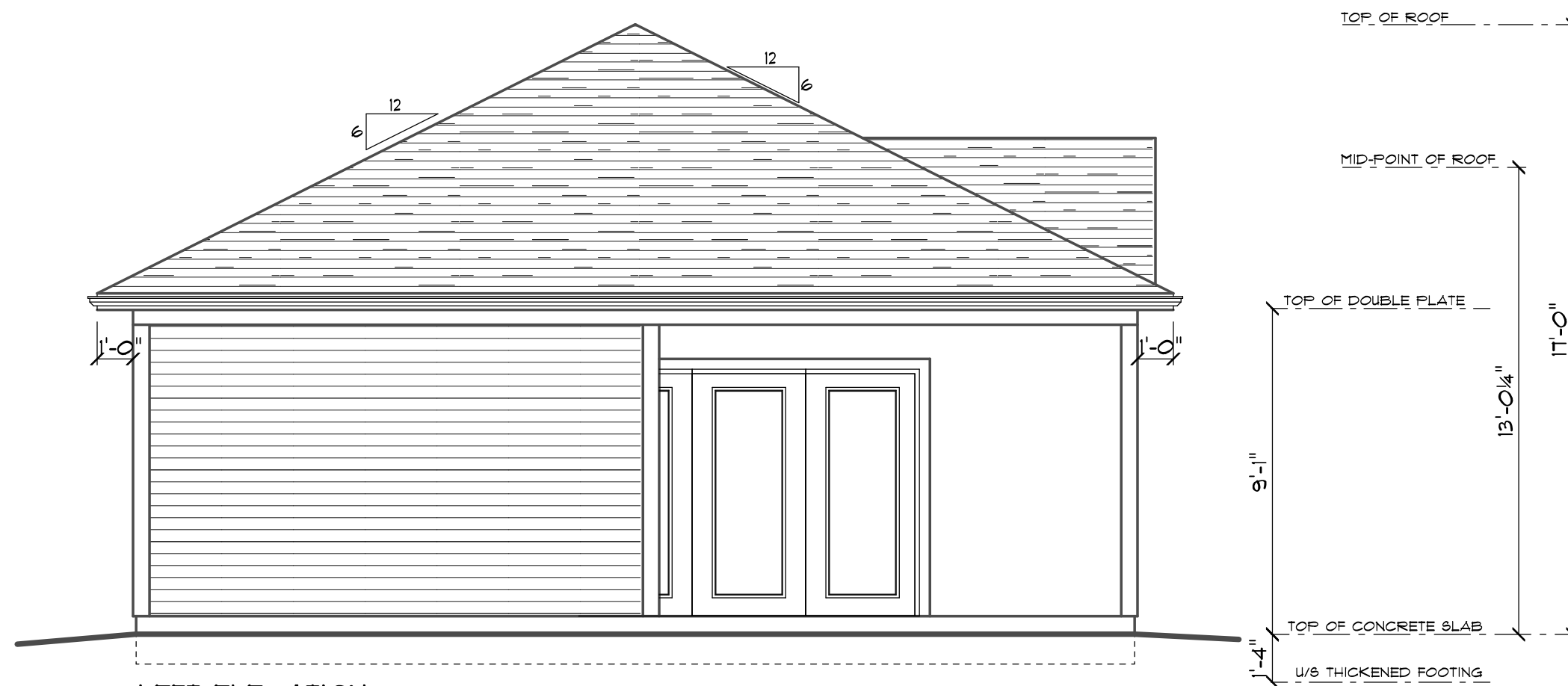
USE (3) 2"x8" HEADERS C/W 2-2x6 POSTS (1 JACK + 1 KING) UNLESS OTHERWISE NOTED.  
 TRUSSED ROOF AS PER MANUFACTURERS' SPECIFICATIONS.  
 ROOF OVER FRAME RAFTERS TO BE 2"x6" @ 16" O.C. C/W 2"x4" COLLAR TIES AS REQUIRED UNLESS OTHERWISE NOTED.  
 RIDGE, HIP AND VALLEY RAFTERS TO BE 2"x10" WITH SUPPORT AS REQUIRED UNLESS OTHERWISE NOTED.

**GENERAL NOTES**

ALL STEEL BEAMS & HSS COLUMNS TO BE GRADE 350W  
 ALL LUMBER TO BE SPF NO. 1/2 OR BETTER MINIMUM SOIL BEARING CAPACITY TO BE  $100 \text{ kPa}$  ( $2000 \text{ psf}$ )  
 PROVIDE SOLID BLOCKING @ WALLS ADJACENT TO WATER CLOSETS TO FACILITATE FUTURE WATER CLOSET GRAB BARS



**FRONT ELEVATION**



**LEFT ELEVATION**

**C. FREDE  
DESIGN INC.**

(519) 669-4780

ELMIRA, ONTARIO  
CRAIG.FREDE@SYMPATICO.CA

**CONTRACTORS NOTE**

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE DRAWINGS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING  
 DRAWINGS ARE NOT TO BE SCALED

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

CRAIG FREDE BCIN # 20343

C. FREDE DESIGN INC. BCIN # 41306

**BMS  
CONSTRUCTION**  
WATERLOO, ONTARIO

**BALCI DETACHED  
BUILDING**  
FUSLINCH, ONTARIO

DRAWING TITLE  
**FRONT & LEFT  
ELEVATIONS**

DRAWN C.F.	SCALE 1/4"=1'-0"	DRAWING NO. A-1
DATE MAR. 20, 2025	FILE NO. 500-100-25	

**\* ITEMS DESIGNED AS REQUESTED.**

**UNFACTORED DESIGN LOADS:**

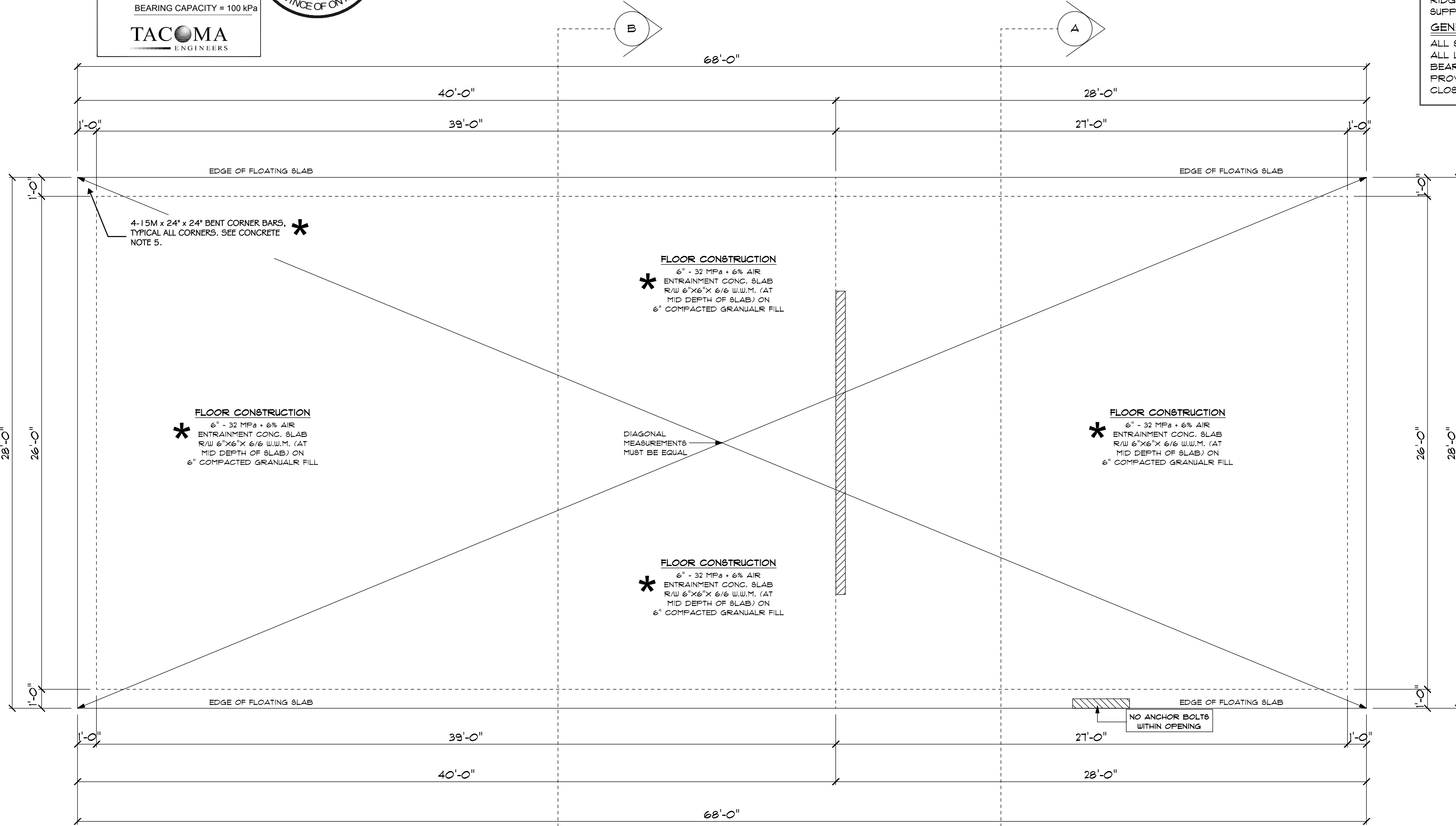
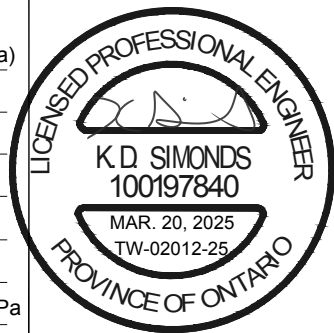
LIVE: SNOW = 1.45 kPa (Ss= 1.9kPa)

WIND:  $q(1/50) = 0.36$  kPa

DEAD: ROOF = 0.75 kPa

SOIL: MIN. ALLOWABLE SOIL BEARING CAPACITY = 100 kPa

**TACOMA ENGINEERS**



**SLAB PLAN**

**SITE & SOILS:**

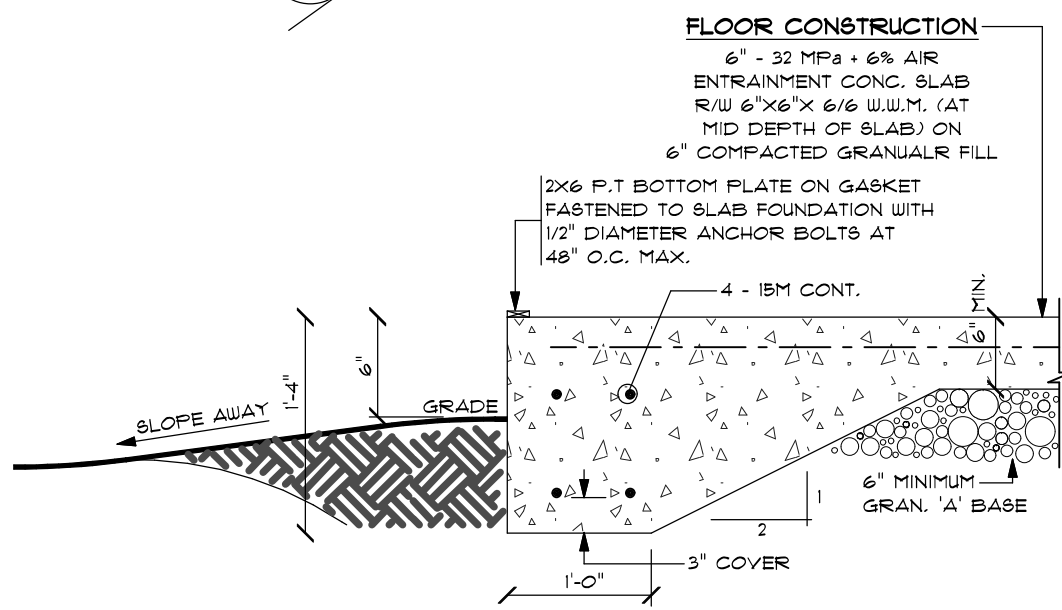
1. PREPARE THE AREA FOR PROPOSED STRUCTURE BY REMOVING ALL TOPSOIL AND ORGANIC MATERIAL FROM THE AREA OF THE BUILDING.
2. SLOPE FINAL GRADE AWAY FROM THE BUILDING.
3. BEAR SLAB ON GRANULAR FILL (6" MINIMUM) TO 98% STANDARD PROCTOR DENSITY OR 3/4" CRUSHED STONE ON SOUND ORIGINAL (NATIVE) SUBGRADE.
4. SUBGRADE SHALL BE SUITABLE FOR 100 kPa (2100 psf) SAFE BEARING

**CONCRETE:**

1. CONCRETE WORK SHALL CONFORM TO CAN/CSA-A23.1,2,3 FOR MATERIALS AND WORKMANSHIP.
 

CLASS OF CONCRETE	STRENGTH	W/C RATIO	AIR ENTRAINMENT
C2	32 MPa	0.45	5 - 8%
2. ALL CONCRETE SHALL BE KEPT MOIST DURING THE FIRST THREE DAYS OF CURING. DO NOT ADD WATER TO CONCRETE ON SITE.
3. ALL REBAR SHALL BE DEFORMED BARS WITH A MINIMUM YIELD STRENGTH OF 400 MPa. ALL LAP LENGTHS AS FOLLOWS:
  - A: 10M BARS - 450mm (18")
  - B: 15M BARS - 600mm (24")
4. PROVIDE A MINIMUM 9" LAP FOR WELDED WIRE MESH.
5. PROVIDE CONTINUOUS REINFORCING AROUND CORNERS WITH 15Mx24"x24" BENT DOWELS (FOUR DOWELS PER CORNER).
6. DO NOT SAWCUT SLAB.

THIS FLOATING SLAB FOUNDATION DESIGN IS FOR A 1 STOREY WOOD STUD FRAMED STRUCTURE WITH NO MASONRY. FOUNDATION DESIGN ONLY.



**\* SLAB DETAIL**

**GENERAL NOTES**

1. THIS DESIGN HAS BEEN COMPLETED TO THE 2012 ONTARIO BUILDING CODE.
2. SLOPE THE FINAL GRADE TO DRAIN AWAY FROM BUILDING.
3. CONTACT TACOMA ENGINEERS FOR CONSTRUCTION REVIEWS AS REQUIRED BY THE LOCAL MUNICIPALITY.
4. PREPARE THE AREA FOR PROPOSED STRUCTURE BY REMOVING ALL TOPSOIL AND ORGANIC MATERIAL FROM THE AREA OF THE BUILDING.
5. SUBGRADE SHALL BE SUITABLE FOR 15 kPa (1500 psf) SAFE BEARING AND IS TO BE NON-FROST SUSCEPTIBLE.
6. ALL REBAR SHALL BE DEFORMED BARS WITH A MINIMUM YIELD STRENGTH OF 400 MPa. ALL LAPS AS FOLLOWS:
  - A: 10M BARS - 450mm (18")
  - B: 15M BARS - 600mm (24")
7. PROVIDE A MINIMUM 9" LAP FOR WELDED WIRE MESH.
8. PROVIDE CONTINUOUS REINFORCING AROUND CORNERS WITH 15Mx24"x24" BENT DOWELS (FOUR DOWELS PER CORNER)
9. BEAR SLAB ON GRAN. FILL (6" MIN.) COMPACTED TO 98% STANDARD PROCTOR DENSITY OR 3/4" CRUSHED STONE ON SOUND ORIGINAL SUBGRADE.
10. DO NOT PROVIDE SAWCUTS OR CONTROL JOINTS IN SLAB.
11. CONCRETE WORK SHALL CONFORM TO CAN/CSA-A23.1,2,3 FOR MATERIALS & WORKMANSHIP.
 

CLASS OF CONCRETE	STRENGTH	W/C RATIO	AIR ENTRAINMENT
C-1	32 MPa	0.45	5 TO 8%
12. USE HIGH FREQUENCY VIBRATION TO PLACE ALL CONCRETE.
13. ALL CONCRETE SHALL BE KEPT MOIST DURING THE FIRST THREE DAYS OF CURING.
14. DO NOT ADD WATER TO CONCRETE ON SITE.
15. CHAIRS SHALL BE USED TO MAINTAIN THE SPECIFIED CONCRETE COVER.

**CONCRETE NOTES**  
 STRUCTURAL SLAB FOUNDATION AS PER P.ENG DESIGN & SPECIFICATIONS.  
**FRAMING NOTES**  
 USE (3) 2"x8" HEADERS C/W 2-2x6 POSTS (1 JACK + 1 KING) UNLESS OTHERWISE NOTED.  
 TRUSSED ROOF AS PER MANUFACTURERS' SPECIFICATIONS.  
 ROOF OVER FRAME RAFTERS TO BE 2"x6" @ 16" O.C. C/W 2"x4" COLLAR TIES AS REQUIRED UNLESS OTHERWISE NOTED.  
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**GENERAL NOTES**  
 ALL STEEL BEAMS & HSS COLUMNS TO BE GRADE 350W  
 ALL LUMBER TO BE SPF NO. 1/2 OR BETTER MINIMUM SOIL BEARING CAPACITY TO BE 100kPa (2000psf)  
 PROVIDE SOLID BLOCKING @ WALLS ADJACENT TO WATER CLOSETS TO FACILITATE FUTURE WATER CLOSET GRAB BARS

**C. FREDE DESIGN INC.**  
 (519) 669-4780  
 ELMIRA, ONTARIO  
 CRAIG.FREDE@SYMPATICO.CA

**CONTRACTORS NOTE**

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE DRAWINGS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING  
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

CRAIG FREDE BCIN # 20343  
 C. FREDE DESIGN INC. BCIN # 41306

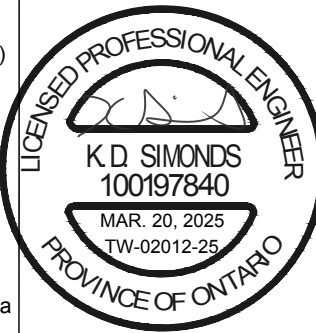
**BMS CONSTRUCTION**  
 WATERLOO, ONTARIO

**BALCI DETACHED BUILDING**  
 PUSLINCH, ONTARIO

DRAWING TITLE  
**SLAB PLAN & SLAB DETAIL**

DRAWN C.F.	SCALE 1/4"=1'-0"	DRAWING NO. <b>A-2</b>
DATE MAR. 20, 2025	FILE NO. 500-100-25	

**\* ITEMS DESIGNED AS REQUESTED.**  
 UNFACTORED DESIGN LOADS:  
 LIVE: SNOW = 1.45 kPa (Ss = 1.9kPa)  
 WIND: q(1/50) = 0.36 kPa  
 DEAD: ROOF = 0.75 kPa  
 SOIL: MIN. ALLOWABLE SOIL BEARING CAPACITY = 100 kPa  
**TACOMA ENGINEERS**



**\* SHEARWALL HOLDDOWN SCHEDULE**

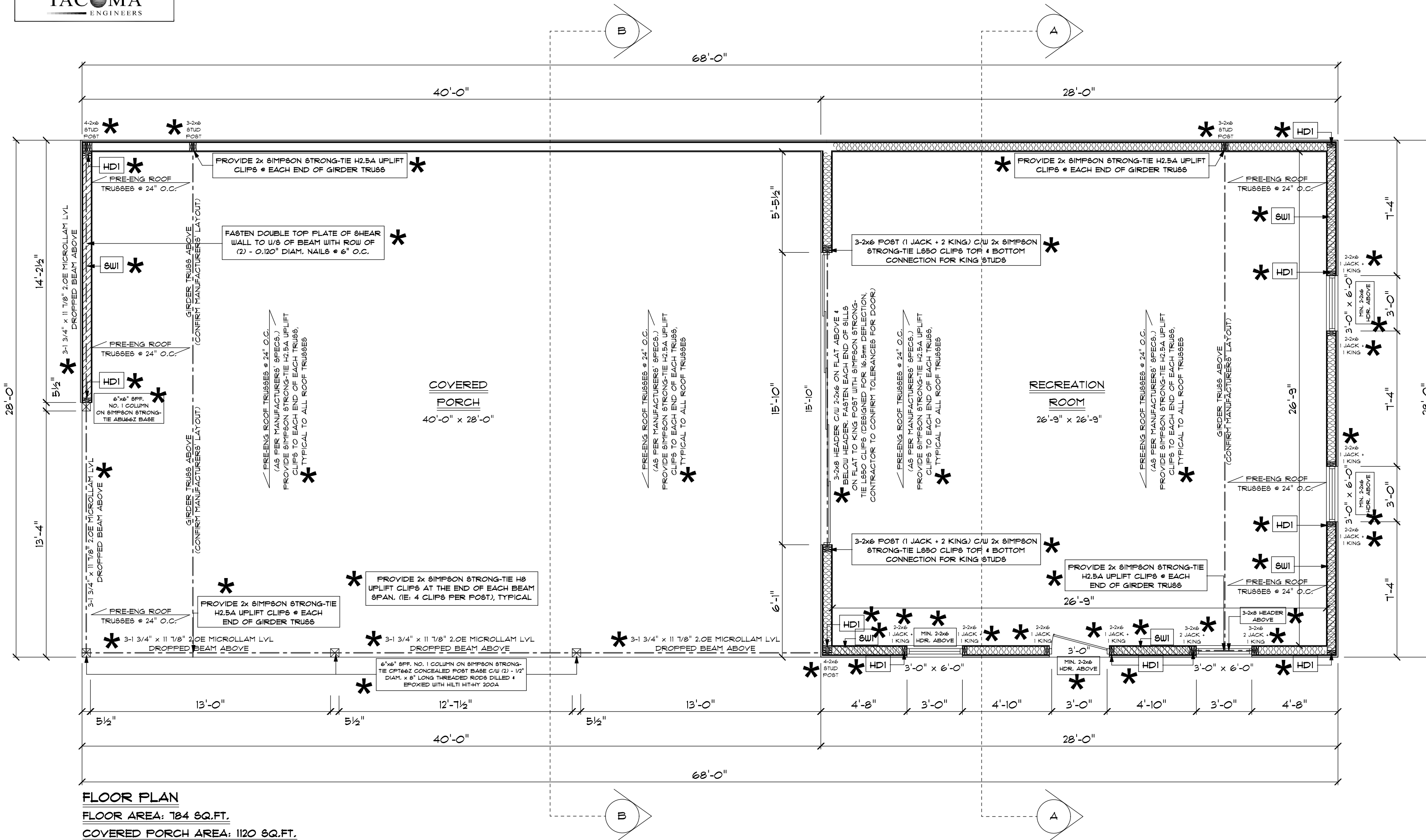
HDI	2-2x6 STUD AT EACH END OF ALL SHEAR WALL SEGMENTS WITH SIMPSON STRONG-TIE HDU4 HOLDDOWNS C/W 10-2 1/2" LONG SDS SCREWS & 5/8" DIAM. THREADED ROD DRILLED & EPOXIED WITH HILTI HIT-HY-200 W/ 10" EMBEDMENT INTO SLAB
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**\* SHEARWALL SCHEDULE**

MARK	SHEATHING	EDGE NAILING	INTERIOR NAILING	BLOCKING	BOTTOM PLATE ANCHORS
SW1	1/2" O.S.B./PLYWOOD ON ONE SIDES OF STUDS	2 1/2" AIR NAILS (0.120 DIAM.) @ 4" O.C. MAX AT PERIMETER	2 1/2" AIR NAILS (0.120 DIAM.) @ 12" O.C. MAX AT STUDS	SOLID BLOCKING BETWEEN STUDS AT ALL PANEL EDGES	1/2" DIAM. x 8" LONG SIMPSON STRONG-TIE TITEN HD ANCHORS @ 24" O.C.

**NOTES**  
 1. PERIMETER MEANS AROUND THE INDIVIDUAL OSB PANEL EDGES WHERE NAILING TO STUD OR 2x EDGE BLOCKING. ALL OSB PANEL JOINTS MUST BE BLOCKED TO MATCH WALL STUD SIZE TO FACILITATE PERIMETER NAILING.  
 2. DO NOT OVERDRIVE NAILS INTO OSB PANELS. NAILS CAN ONLY BE OVERDRIVE 1/16".

**CONCRETE NOTES**  
 STRUCTURAL SLAB FOUNDATION AS PER P.ENG DESIGN & SPECIFICATIONS.  
**FRAMING NOTES**  
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**FLOOR PLAN**  
 FLOOR AREA: 184 SQ.FT.  
 COVERED PORCH AREA: 1120 SQ.FT.

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**BMS CONSTRUCTION**  
 WATERLOO, ONTARIO

**BALCI DETACHED BUILDING**  
 PUSLINC, ONTARIO

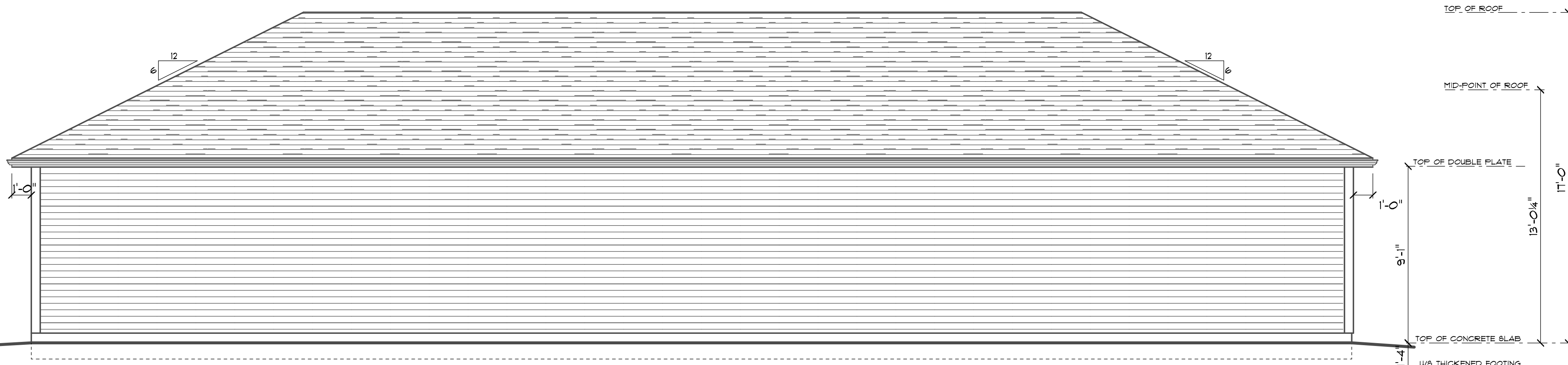
DRAWING TITLE  
**FLOOR PLAN**

DRAWN C.F.	SCALE 1/4"=1'-0"	DRAWING NO. A-3
DATE MAR. 20, 2025	FILE NO. 500-100-25	

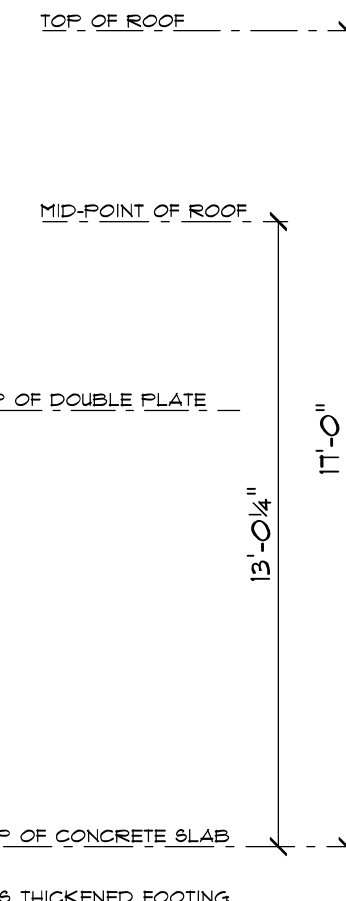
**CONCRETE NOTES**  
 STRUCTURAL SLAB FOUNDATION AS PER P.ENG DESIGN & SPECIFICATIONS.

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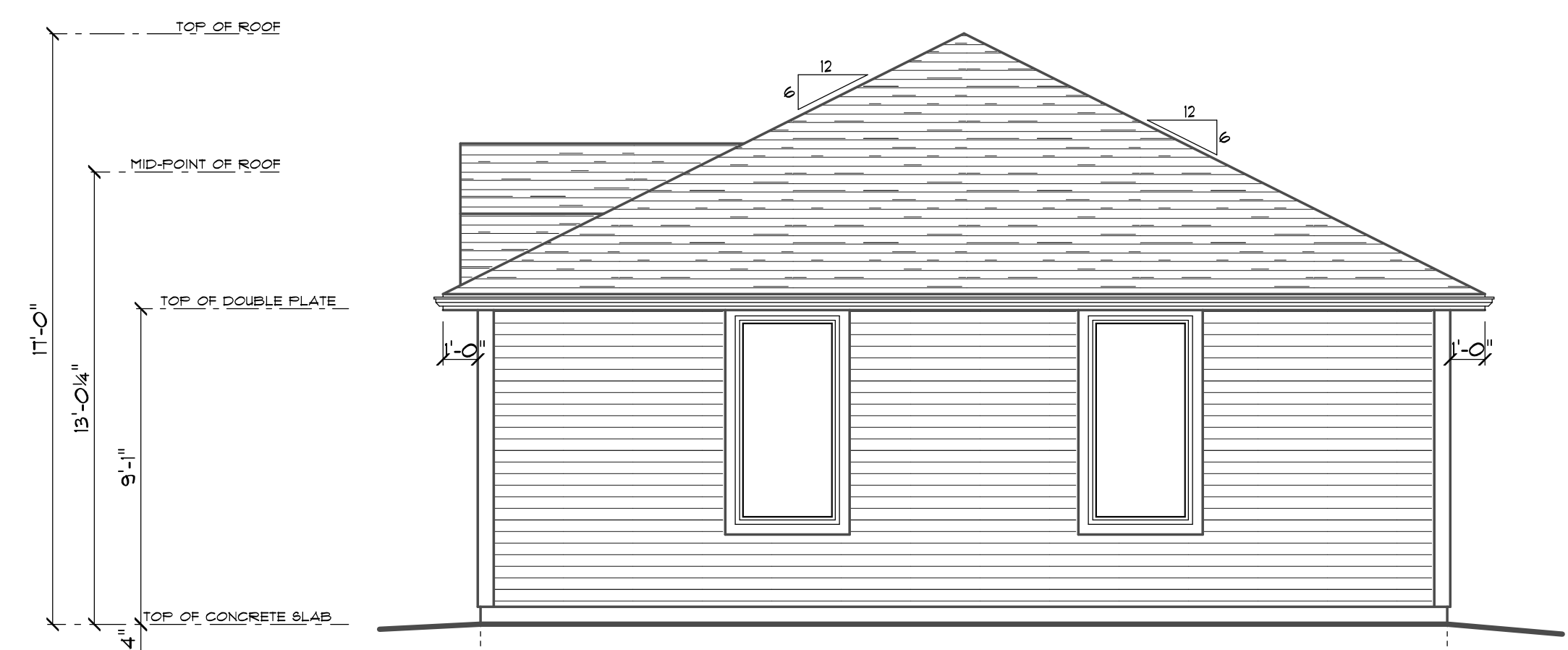
**REAR ELEVATION**



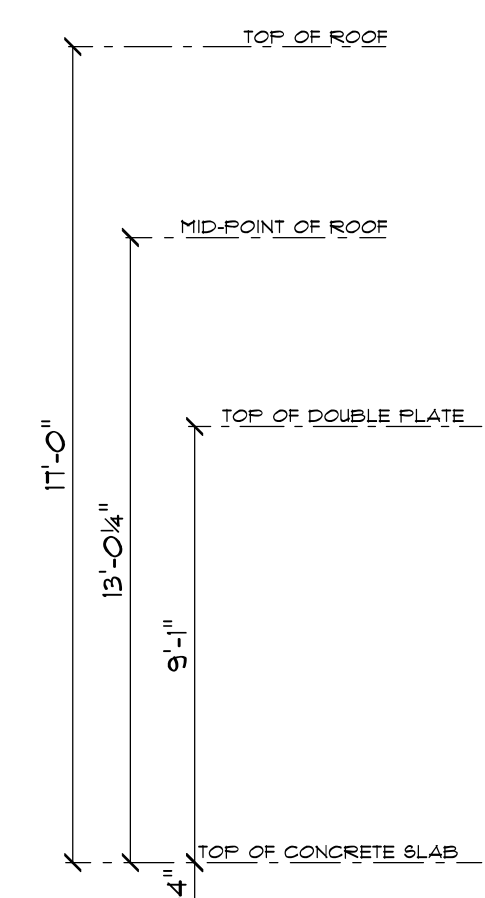
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**RIGHT ELEVATION**



**BMS  
 CONSTRUCTION**  
 WATERLOO, ONTARIO

**BALCI DETACHED  
 BUILDING**  
 PUSLINCH, ONTARIO

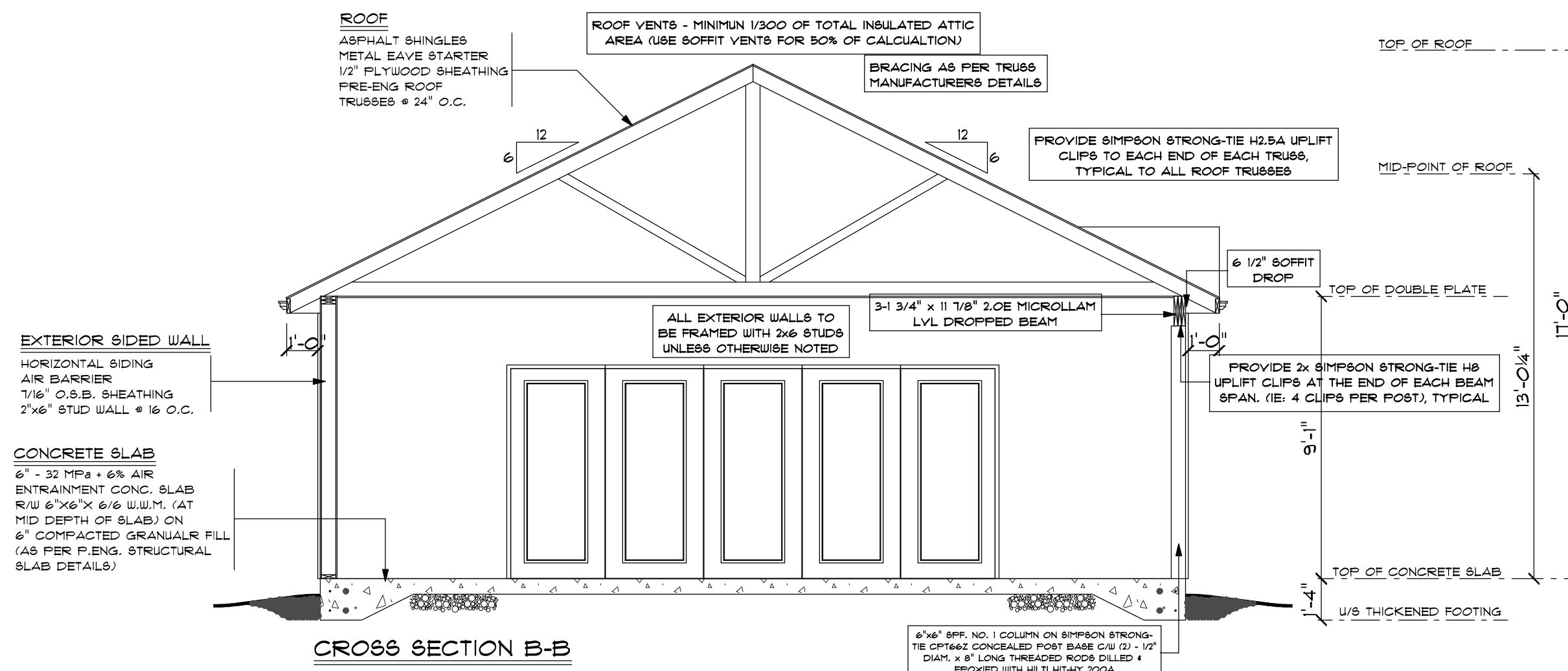
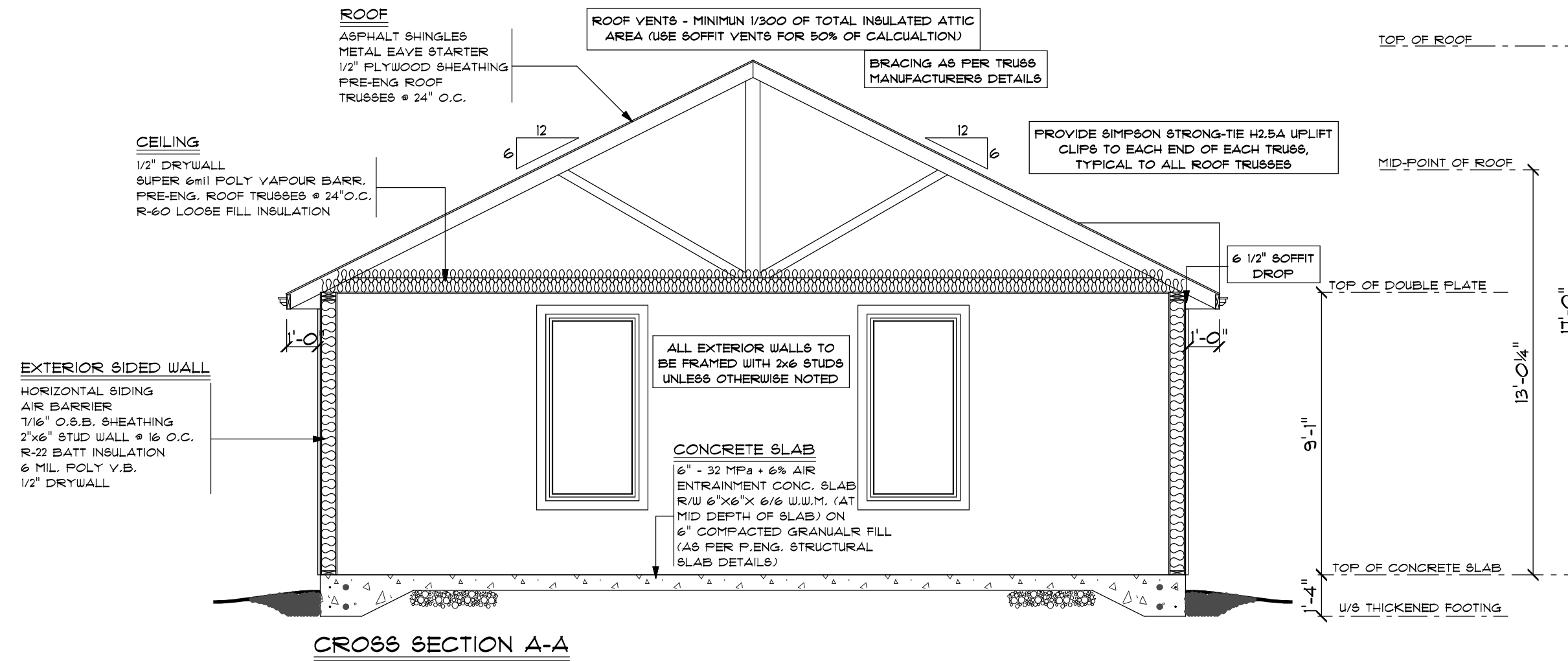
DRAWING TITLE  
**REAR & RIGHT  
 ELEVATIONS**

DRAWN C.F.	SCALE 1/4"=1'-0"	DRAWING NO. <b>A-4</b>
DATE MAR. 20, 2025	FILE NO. 500-100-25	

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**BMS  
 CONSTRUCTION**  
 WATERLOO, ONTARIO

**BALCI DETACHED  
 BUILDING**  
 PUSLINCH, ONTARIO

DRAWING TITLE  
**CROSS SECTIONS**

DRAWN C.F.	SCALE 1/4"=1'-0"	DRAWING NO. <b>A-5</b>
DATE MAR. 20, 2025	FILE NO. 500-100-25	